



MINUTES

GENERAL MEETING

Wednesday, 17 March 2021

**The Council Chambers
91 - 93 Bloomfield Street
CLEVELAND QLD**

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**GENERAL MEETING
HELD AT THE COUNCIL CHAMBERS, 91 - 93 BLOOMFIELD STREET, CLEVELAND QLD
ON WEDNESDAY, 17 MARCH 2021 AT 9.30AM**

1 DECLARATION OF OPENING

The Deputy Mayor declared the meeting open at 9:31am and acknowledged the Quandamooka people, who are the traditional custodians of the land on which Council meets.

The Deputy Mayor also paid Council's respect to their elders, past and present, and extended that respect to other indigenous Australians who were present.

2 RECORD OF ATTENDANCE AND LEAVE OF ABSENCE

MEMBERS PRESENT: Cr Karen Williams (Mayor) via teleconference, Cr Wendy Boglary (Division 1), Cr Peter Mitchell (Division 2), Cr Paul Gollè (Division 3), Cr Lance Hewlett (Division 4), Cr Mark Edwards (Division 5) via teleconference, Cr Julie Talty (Deputy Mayor and Division 6), Cr Rowanne McKenzie (Division 7), Cr Tracey Huges (Division 8), Cr Adelia Berridge (Division 9), Cr Paul Bishop (Division 10)

EXECUTIVE LEADERSHIP TEAM: Andrew Chesterman (Chief Executive Officer), John Oberhardt (General Manager Organisational Services), Louise Rusan (General Manager Community & Customer Services), Dr Nicole Davis (General Manager Infrastructure & Operations), Deborah Corbett-Hall (Chief Financial Officer), Andrew Ross (General Counsel), Amanda Daly (Head of People, Culture and Organisational Performance)

MINUTES: Lizzi Striplin (Corporate Meetings & Registers Team Leader), Natalie Merlehan (Corporate Meetings & Registers Coordinator)

TELECONFERENCING**COUNCIL RESOLUTION 2021/54**

Moved by: Cr Paul Bishop

Seconded by: Cr Rowanne McKenzie

That Mayor Karen Williams be permitted to participate in the meeting by teleconferencing.

CARRIED 8/0

Crs Wendy Boglary, Peter Mitchell, Lance Hewlett, Julie Talty, Rowanne McKenzie, Tracey Huges, Adelia Berridge and Paul Bishop voted FOR the motion.

Cr Paul Gollè had not yet entered the meeting.

Crs Karen Williams and Mark Edwards did not participate in the vote.

COUNCIL RESOLUTION 2021/55

Moved by: Cr Wendy Boglary

Seconded by: Cr Peter Mitchell

That Councillor Mark Edwards be permitted to participate in the meeting by teleconferencing.

CARRIED 9/0

Crs Karen Williams, Wendy Boglary, Peter Mitchell, Lance Hewlett, Julie Talty, Rowanne McKenzie, Tracey Huges, Adelia Berridge and Paul Bishop voted FOR the motion.

Cr Paul Gollè had not entered the meeting.

Cr Mark Edwards did not participate in the vote.

LEAVE OF ABSENCE

Nil

COUNCILLOR ABSENCES DURING THE MEETING

Mayor Karen Williams entered the meeting via teleconference at 9.33am

Cr Mark Edwards entered the meeting via teleconference at 9.33am

Cr Paul Gollè entered the meeting at 9:37am (during Item 3)

Mayor Karen Williams left the meeting at 10:38am (after Item 14.2)

Cr Paul Gollè left the meeting at 10:40am (during Item 14.3) and returned at 11:33am (after Item 14.3)

Cr Tracey Huges left the meeting at 10:40am and returned at 10:44am (during Item 14.3)

Cr Adelia Berridge left the meeting at 11:17am (during closed session for Item 14.3) and returned at 11:33am (after Item 14.3).

Cr Tracey Huges left the meeting at 2:06pm and returned at 2.09pm (during closed session)

3 DEVOTIONAL SEGMENT

Pastor Peter Grieves of C3 Church Redland Bay and a member of the Minister's Fellowship, led Council in a brief Devotional segment.

4 RECOGNITION OF ACHIEVEMENT

Nil

5 RECEIPT AND CONFIRMATION OF MINUTES**COUNCIL RESOLUTION 2021/56**

Moved by: Cr Tracey Huges

Seconded by: Cr Rowanne McKenzie

That the minutes of the General Meeting held on 17 February 2021 be confirmed.

CARRIED 11/0

Crs Karen Williams, Wendy Boglary, Peter Mitchell, Paul Gollè, Lance Hewlett, Mark Edwards, Julie Talty, Rowanne McKenzie, Tracey Huges, Adelia Berridge and Paul Bishop voted FOR the motion.

6 DECLARATION OF PRESCRIBED CONFLICT OF INTERESTS AND DECLARABLE CONFLICT OF INTERESTS**6.1 DECLARABLE CONFLICT OF INTEREST – CR KAREN WILLIAMS**

Mayor Karen Williams declared a Declarable Conflict of Interest regarding Shoreline Development, stating that previous social media and complaints were dismissed, alleging that she had a conflict of interest on Shoreline Development, Fox & Bell and Fiteni Homes. Complaints were alleged due to the sale of her deceased mother's property and rental of office space in 2011.

COUNCIL RESOLUTION 2021/57

Moved by: Cr Rowanne McKenzie

Seconded by: Cr Peter Mitchell

That Councillor Karen Williams may participate in future Statutory Meetings (including voting on the matter), and Non-Statutory and Informal Meetings in relation to Shoreline Development, Fox & Bell and Fiteni Homes.

CARRIED 10/0

Crs Wendy Boglary, Peter Mitchell, Paul Gollè, Lance Hewlett, Mark Edwards, Julie Talty, Rowanne McKenzie, Tracey Huges, Adelia Berridge and Paul Bishop voted FOR the motion.

Cr Karen Williams did not participate in the vote.

6.2 DECLARABLE CONFLICT OF INTEREST – CR ROWANNE MCKENZIE

Councillor Rowanne McKenzie declared a Declarable Conflict of Interest in Item 19.5 *Heritage Major Amendment 03/19 and Interim Protection Options to Safeguard Local Heritage Places Prior to the Commencement of Heritage Major Amendment 03/19*, stating that an owner of a property in this item is a customer of her company - True Blue Line Boring Pty Ltd.

Councillor McKenzie considered her position and was firmly of the opinion that she could participate in the discussion and vote on the matter in the public interest.

A motion was put as follows:

COUNCIL RESOLUTION 2021/58

Moved by: Cr Peter Mitchell

Seconded by: Cr Tracey Huges

That Councillor Rowanne McKenzie may participate in the meeting in relation to Item 19.5 *Heritage Major Amendment 03/19 and Interim Protection Options to Safeguard Local Heritage Places Prior to the Commencement of Heritage Major Amendment 03/19*, including voting on the matter.

CARRIED 10/0

Crs Karen Williams, Wendy Boglary, Peter Mitchell, Paul Gollè, Lance Hewlett, Mark Edwards, Julie Talty, Tracey Huges, Adelia Berridge and Paul Bishop voted FOR the motion.

Cr Rowanne McKenzie did not participate in the vote.

7 MATTERS OUTSTANDING FROM PREVIOUS COUNCIL MEETINGS**7.1 INVESTIGATIONS TO POTENTIALLY ACQUIRE ADDITIONAL LAND FOR SPORT AND RECREATION PURPOSES**

At the General Meeting 18 December 2019 (Item 19.3 refers), Council resolved as follows:

That the petition be received and referred to the Chief Executive Officer for consideration and a report to the local government.

A report will be brought to a future meeting of Council.

7.2 SOUTHERN REDLAND BAY EXPANSION AREA (SRBEA) - CONFIRMING THE PREFERRED APPROACH FOR PLANNING INVESTIGATIONS

At the General Meeting 2 September 2020, (Item 14.3 refers), Council resolved as follows:

That Council resolves that this item lie on the table and be brought back to a future General Meeting of Council.

This report will be brought to a future meeting of Council.

7.3 NOTICE OF MOTION - MAJOR AMENDMENT TO THE CITY PLAN - ENVIRONMENTAL CORRIDORS

At the General Meeting 4 November 2020 (Item 17.1 refers), Council resolved as follows:

That Council resolves as follows:

- 1. To undertake an urgent review regarding options to provide an enhanced level of statutory land use planning protection to environmental corridors within the Urban Footprint as identified in the Wildlife Connections Plan 2018-2028.*
- 2. To request officers undertake the following:*
 - a) Prepare a report to Council outlining the findings of the review, as well as recommended changes to City Plan by the end of February 2021.*
 - b) Prepare a major amendment pursuant to Part 4 of the Minister's Guideline's and Rules under the Planning Act 2016, if required, incorporating the proposed changes to City Plan as supported by Council by the end of May 2021.*
 - c) Consult with each divisional councillor regarding changes to City Plan that may be recommended.*

A report addressing 1 and 2a) of this matter was presented at the General Meeting of 17 February 2021.

A report addressing 2b) of this matter was discussed at item 19.2.

A report addressing 2c) of this matter will be presented at a statutory meeting of Council by the end of May 2021.

7.4 OPPORTUNITIES FOR SHORT STAY FACILITIES FOR SELF-CONTAINED RECREATIONAL VEHICLES AND CARAVANS ON REDLANDS COAST

At the General Meeting 18 November 2020 (Item 15.2 refers), Council resolved as follows:

That Council resolves as follows:

1. *To note the contents of the report including:*
 - a) *The assessment criteria used to determine suitable sites at Attachment 3 – Essential and Desirable Criteria.*
 - b) *The assessment of all identified sites at Attachment 4 – Site Suitability Assessment.*
 - c) *The preferred sites at Attachment 5 – Preferred Sites.*
2. *That a report be brought back to Council with further details including the preferred operational model and indicative costs of minor infrastructure for the preferred sites.*
3. *To endorse the undertaking of an economic needs assessment for short stay, non-commercial camping of self-contained RVs and caravans in Redlands Coast within four (4) months, subject to budget approval.*
4. *To communicate the current opportunities and limitations for not-for-profit and community based organisations to provide for short stay basic camping ground options in Redlands Coast for self-contained RVs and caravans.*

A report will be brought to a future meeting of Council.

7.5 REDLANDS ECONOMIC DEVELOPMENT ADVISORY BOARD UPDATE

At the General Meeting 2 December 2020 (Item 14.4 refers), Council resolved as follows:

That Council resolves as follows:

1. *To note this report.*
2. *To note the Redlands Economic Development Advisory Board Annual Report 2019-20 (Attachment 1).*
3. *To note that officers will undertake a review of the Redlands Economic Development Advisory Board and provide a further report to Council.*

A report will be brought to a future meeting of Council.

7.6 NOTICE OF MOTION - REQUEST AMENDMENTS TO LOCAL LAW 2 (ANIMAL MANAGEMENT) 2015, SUBORDINATE LOCAL LAW 2 (ANIMAL MANAGEMENT) 2015 AND SUBORDINATE LOCAL LAW 1.5 (KEEPING OF ANIMALS) 2015

At the General Meeting 2 December 2020 (Item 17.1 refers), Council resolved as follows:

That Council resolves as follows:

1. *To request officers prepare a report to Council regarding the existing prohibition on the number of dogs that can be kept on a property. The report will outline the options available to change the number of dogs allowable on a property, to include:*

Option 1 – Activity based assessment:

- a) Benchmarking with other Councils will be undertaken.*
- b) Flexibility on number of dogs for specific activities i.e. Show dogs and foster providers.*

Option 2 – Number of dogs permitted based on property size:

- a) Benchmarking with other Councils will be undertaken.*
- b) Property size and zoning considerations.*

Option 3 – existing criteria modifications

The current local laws provide for a three dog permit, the next available option is a kennel permit. Consideration to be given to additional steps in between based on assessment criteria.

The following Local Laws will require amendments to accommodate a change in the number of dogs permitted on a property.

- a) Local Law No. 2 (Animal Management) 2015.*
- b) Subordinate Local Law No. 2 (Animal Management) 2015*
- c) Subordinate Local Law No 1.5 (Keeping of Animals) 2015*

2. *To request officers to include in the report options available for cat registrations:*

Option 1 – Reduction in registration fees for compliant owners

Owners who are able to demonstrate responsible cat ownership:

- a) Cat enclosures*
- b) Fence rollers*
- c) Other deterrents*

Option 2 – Stepped increase in registration fees for non-compliant owners

Potential to increase the registration fees where:

- a) Complaints have been received about the cat i.e. straying*
- b) Process to subsequently reduce the fee when compliance is achieved.*

3. *That the report be brought to a General Meeting of Council prior to the close of Quarter One, 2021.*

A report addressing this Notice of Motion will be brought to a future meeting of Council.

7.7 EXPRESSIONS OF INTEREST CAMPAIGN - REDLANDS COAST TOURIST AND COMMUNITY DESTINATION, MACARTHUR ST, ALEXANDRA HILLS

At the General Meeting 2 December 2020 (Item 19.2 refers), Council resolved as follows:

That Council resolves as follows:

- 1. To note the outcomes of the Expressions of Interest Campaign for a Tourist Park and associated community uses that has now finished, and that no tourism-related proposals were received.*
- 2. To hold discussions with proponents of non-tourism related purposes to understand how other proposals may fit into the planning for development of the land that align with Council's policies and plans.*
- 3. To workshop with Councillors, the outcome of these discussions.*
- 4. To provide a further report to Council in regards to the site upon completion of item 3 above.*
- 5. That this report and attachments remain confidential to ensure proposed commercial arrangements and details pertaining to individuals are kept private, subject to maintaining the confidentiality of legally privileged and commercial in confidence information.*

A report will be brought to a future meeting of Council.

7.8 REPORT REVIEWING THE FUTURE OPERATIONS OF REDLAND INVESTMENT CORPORATION PTY LTD (RIC)

At the General Meeting 16 December 2020 (Item 19.1 refers), Council resolved as follows:

That Council resolves to request the Chief Executive Officer to:

- 1. Review the objectives of Redland Investment Corporation and develop options for an operating model that supports Council's future economic development and place-making projects.*
- 2. Undertake a review of Council's Economic Development Advisory Board in conjunction with this review.*
- 3. Prepare a report for Council by 30 June 2021 that positions Redland Investment Corporation or an alternative structure to drive the Redlands Coast economic recovery and more generally its longer term economic development.*
- 4. Note this report will be published with the meeting minutes, subject to maintaining Attachment 1, Redland Investment Corporation Commercial Summary, as confidential and commercial in confidence.*

A report will be brought to a meeting of Council by 30 June 2021.

7.9 NOTICE OF MOTION - CR WENDY BOGLARY - INVESTIGATION INTO THE PURCHASE OF CONSERVATION LAND

At the General Meeting 20 January 2021 (Item 17.1 refers), Council resolved as follows:

That Council resolves that a confidential report be tabled at a future General Meeting of Council, investigating the purchase of conservation land.

A report addressing this item was discussed at Item 19.3.

7.10 NOTICE OF MOTION - CR WENDY BOGLARY - INVESTIGATION INTO PURCHASE OF LAND AT ORMISTON

At the General Meeting 17 February 2021 (Item 17.1 refers), Council resolved as follows:

That Council resolves as follow:

1. *That a confidential report be tabled at a future General Meeting of Council, investigating the purchase of land at Ormiston and detailing proposed funding sources, including the potential sale of surplus Council property.*
2. *To maintain the Background to this motion as confidential, subject to maintaining the confidentiality of commercial-in-confidence information.*

A report addressing this item was discussed at Item 19.4.

8 MAYORAL MINUTE

Nil

9 PUBLIC PARTICIPATION

There was no public participation as the meeting was closed to the public due to the COVID-19 restrictions and subsequent *Local Government Regulations 2012* provisions.

10 PETITIONS AND PRESENTATIONS

Nil

11 MOTION TO ALTER THE ORDER OF BUSINESS**11.1 MOTION TO WITHDRAW AN ITEM****PROCEDURAL RESOLUTION 2021/59**

Moved by: Cr Paul Gollè

That Item 17.1 *Notice of Motion Cr Golle – Freshwater Bodies* be withdrawn.

CARRIED 11/0

Crs Karen Williams, Wendy Boglary, Peter Mitchell, Paul Gollè, Lance Hewlett, Mark Edwards, Julie Talty, Rowanne McKenzie, Tracey Huges, Adelia Berridge and Paul Bishop voted FOR the motion.

12 REPORTS FROM THE OFFICE OF THE CEO

Nil

13 REPORTS FROM ORGANISATIONAL SERVICES**13.1 FEBRUARY 2021 MONTHLY FINANCIAL REPORT****Objective Reference:** A5268081**Authorising Officer:** Michael D Wilson, Service Manager, Financial Planning**Responsible Officer:** Michael D Wilson, Service Manager, Financial Planning**Report Author:** Udaya Panambala Arachchilage, Corporate Financial Reporting Manager**Attachments:** 1. Monthly Financial Report RCC February 2021 [↓](#)**PURPOSE**

To note the year to date financial results as at 28 February 2021.

BACKGROUND

Council adopts an annual budget and then reports on performance against the budget on a monthly basis. This is not only a legislative requirement but enables the organisation to periodically review its financial performance and position and respond to changes in community requirements, market forces or other outside influences.

ISSUES***2020-21 Budget review***

Council adopted its revised budget at the General Meeting on 17 February 2021 and the revised budget numbers are reflected in this report.

Interim audit 2020-2021

The 2020-2021 Queensland Audit Office (QAO) interim audit commenced on 8 March and is expected to be completed by 26 March. As per previous years, this visit affords the opportunity for interim reviews to be undertaken on Council's systems and controls. The interim management report will be reviewed as part of 2020-2021 year-end audit.

Development of Budget 2021-2022

Council officers are currently compiling submissions for the 2021-2022 annual budget.

STRATEGIC IMPLICATIONS

Council has either achieved or favourably exceeded the following key financial stability and sustainability ratios as at the end of February 2021.

- Operating surplus ratio
- Net financial liabilities
- Level of dependence on general rate revenue
- Ability to pay our bills – current ratio
- Ability to repay our debt – debt servicing ratio
- Cash balance
- Cash balances – cash capacity in months
- Longer term financial stability – debt to asset ratio
- Operating performance

- Interest coverage ratio

The following ratio did not meet the target at the end of February 2021:

- Asset sustainability ratio

The asset sustainability ratio did not meet the target at the end of February 2021 and continues to be a stretch target for Council with renewal spends of \$16.21M and depreciation expense of \$37.71M year to date on infrastructure assets. This ratio is an indication of how Council currently maintains, replaces and renews its existing infrastructure assets as they reach the end of their useful lives. Capital spend on non-renewal projects increases the asset base and therefore increases depreciation expense, resulting in a lower asset sustainability ratio.

Council's Capital Portfolio Prioritisation Administrative Directive demonstrates its commitment to maintaining existing infrastructure and the adoption of a renewal strategy for its existing assets ahead of 'upgrade' and/or 'new' works.

Legislative Requirements

The February 2021 financial reports are presented in accordance with the legislative requirement of section 204(2) of the *Local Government Regulation 2012*, requiring the Chief Executive Officer to present the financial report to a monthly Council meeting.

Risk Management

The February 2021 financial reports have been noted by the Executive Leadership Team and relevant officers who can provide further clarification and advice around actual to budget variances.

Financial

There is no direct financial impact to Council as a result of this report; however it provides an indication of financial outcomes at the end of February 2021.

People

Nil impact expected as the purpose of the attached report is to provide financial information to Council based upon actual versus budgeted financial activity.

Environmental

Nil impact expected as the purpose of the attached report is to provide financial information to Council based upon actual versus budgeted financial activity.

Social

Nil impact expected as the purpose of the attached report is to provide financial information to Council based upon actual versus budgeted financial activity.

Human Rights

There are no human rights implications for this report as the purpose of the attached report is to provide financial information to Council based upon actual versus budgeted financial activity.

Alignment with Council's Policy and Plans

This report has a relationship with the following items of Council's 2018-2023 Corporate Plan:

8. Inclusive and ethical governance

Deep engagement, quality leadership at all levels, transparent and accountable democratic processes and a spirit of partnership between the community and Council will enrich residents' participation in local decision-making to achieve the community's Redlands 2030 vision and goals.

- 8.2 Council produces and delivers against sustainable financial forecasts as a result of best practice Capital and Asset Management Plans that guide project planning and service delivery across the city.

CONSULTATION

Consulted	Date	Comment
Council departmental officers	Year to date February 2021	Consulted on financial results and outcomes
Financial Services Group officers	Year to date February 2021	Consulted on financial results and outcomes
Executive Leadership Team and Senior Leadership Team	Year to date February 2021	Recipients of variance analysis between actual and budget. Consulted as required

OPTIONS

Option One

That Council resolves to note the financial position, results and ratios for February 2021 as presented in the attached Monthly Financial Report.

Option Two

That Council resolves to request additional information.

OFFICER'S RECOMMENDATION/COUNCIL RESOLUTION 2021/60

Moved by: Cr Paul Bishop

Seconded by: Cr Rowanne McKenzie

That Council resolves to note the financial position, results and ratios for February 2021 as presented in the attached Monthly Financial Report.

CARRIED 11/0

Crs Karen Williams, Wendy Boglary, Peter Mitchell, Paul Gollè, Lance Hewlett, Mark Edwards, Julie Talty, Rowanne McKenzie, Tracey Huges, Adelia Berridge and Paul Bishop voted FOR the motion.



Monthly Financial Report

February 2021



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1. EXECUTIVE SUMMARY

This monthly report illustrates the financial performance and position of Redland City Council compared to its adopted budget at an organisational level for the period ended 28 February 2021. The year to date and annual revised budget referred to in this report incorporates the changes from budget review adopted by Council on 17 February 2021.

Key Financial Highlights and Overview

Key Financial Results (\$000)	Annual Revised Budget	YTD Revised Budget	YTD Actual	YTD Variance	YTD Variance %	Status Favourable ✓ Unfavourable ✗
Operating Surplus / (Deficit)	(1,397)	9,925	16,527	6,602	67%	✓
Recurrent Revenue	304,599	209,916	207,710	(2,206)	-1%	✗
Recurrent Expenditure	305,996	199,991	191,183	(8,808)	-4%	✓
Capital Works Expenditure	102,202	40,522	31,167	(9,355)	-23%	✓
Closing Cash & Cash Equivalents	167,495	202,646	204,295	1,649	1%	✓

Council reported a year to date operating surplus of \$16.53M which is favourable to budget by \$6.60M due to less than budget recurrent expenditure. The favourable variance in recurrent expenditure is mainly due to timing of contractor cost expenditure. Of note, interest income is lower than budget due to lower than expected interest rates on investments.

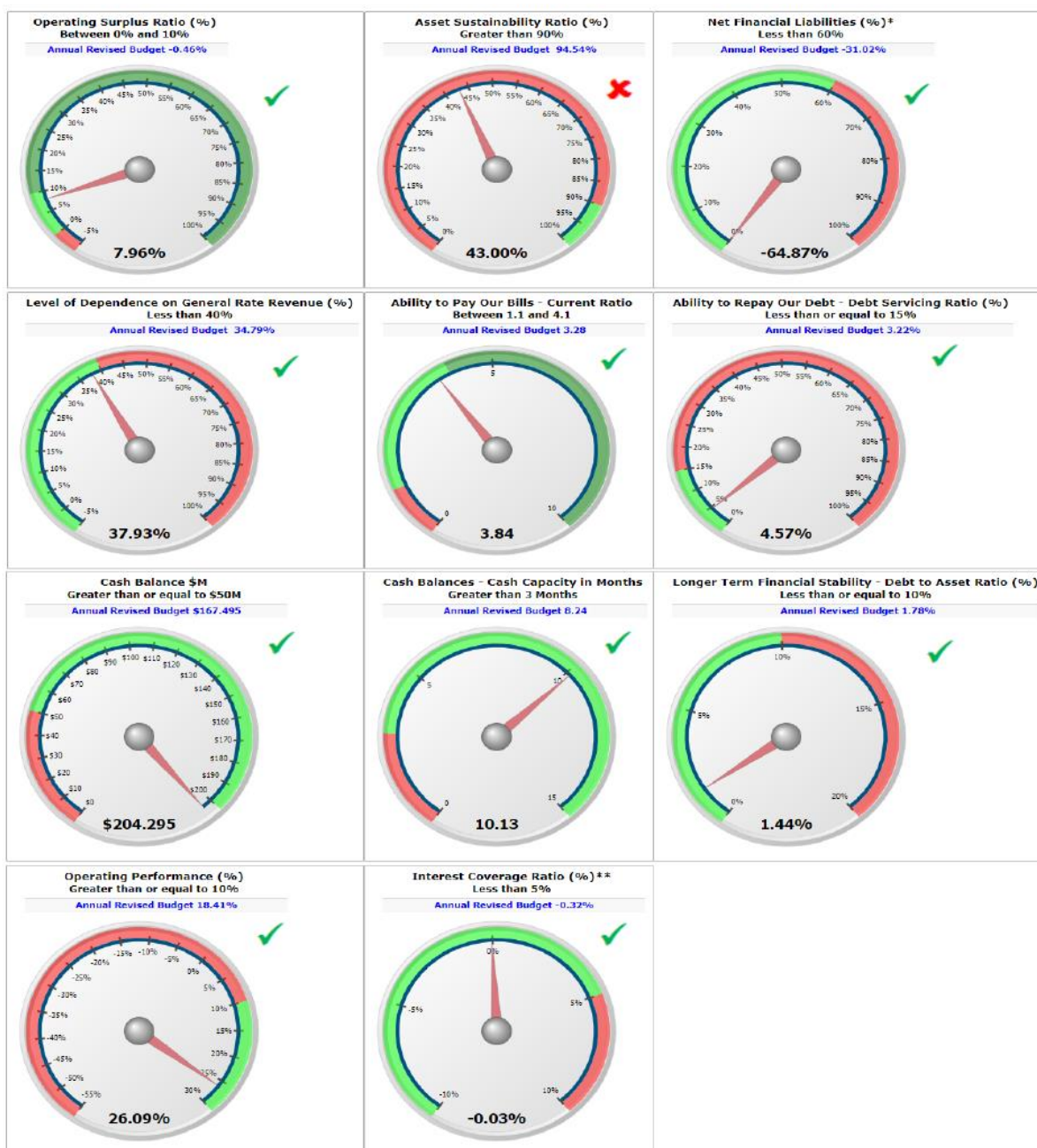
Capital grants, subsidies and contributions are below budget due to timing of developer cash contributions.

Council's capital works expenditure is below budget by \$9.36M mainly due to timing of works for a number of infrastructure projects including computer system upgrade, Road Renewal - Vienna Road Alexandra Hills, Acquisition of Birkdale Land and SES Redland Bay. The variance is also due to timing of procurement for Annual Desktop Replacement Program.

Constrained cash reserves represent 50% of the cash balance.

2. KEY PERFORMANCE INDICATORS

■ Target met
 ■ Target exceeded
 ■ Target not met



* The net financial liabilities ratio exceeds the target range when current assets are greater than total liabilities (and the ratio is negative)

** The interest coverage ratio exceeds the target range when interest revenue is greater than interest expense (and the ratio is negative)

Monthly Financial Report

3. STATEMENT OF COMPREHENSIVE INCOME

STATEMENT OF COMPREHENSIVE INCOME					
For the period ending 28 February 2021					
	Annual	Annual	YTD	YTD	YTD
	Original Budget \$000	Revised Budget \$000	Revised Budget \$000	Actual \$000	Variance \$000
Recurrent revenue					
Rates charges	108,926	108,926	81,450	81,036	(414)
Levies and utility charges	160,082	160,082	107,170	105,635	(1,535)
Less: Pensioner remissions and rebates	(3,430)	(3,430)	(2,544)	(2,627)	(83)
Fees	13,554	13,999	9,069	9,796	727
Rental income	956	1,069	573	730	157
Interest received	2,999	2,899	1,899	1,343	(556)
Sales revenue	3,630	3,740	2,601	2,263	(338)
Other income	533	712	583	963	380
Grants, subsidies and contributions	14,896	16,603	9,115	8,571	(544)
Total recurrent revenue	302,146	304,599	209,916	207,710	(2,206)
Recurrent expenses					
Employee benefits	91,988	93,095	61,778	61,112	(666)
Materials and services	145,591	146,725	94,022	87,011	(7,011)
Finance costs	2,382	2,382	1,587	1,606	19
Depreciation and amortisation	64,938	64,931	43,338	42,697	(641)
Other expenditure	520	509	338	182	(156)
Net internal costs	(1,800)	(1,646)	(1,072)	(1,425)	(353)
Total recurrent expenses	303,619	305,996	199,991	191,183	(8,808)
OPERATING SURPLUS / (DEFICIT)	(1,473)	(1,397)	9,925	16,527	6,602
Capital revenue					
Grants, subsidies and contributions	25,922	37,486	18,143	12,045	(6,098)
Non-cash contributions	3,480	3,480	54	-	(54)
Total capital revenue	29,402	40,966	18,197	12,045	(6,152)
Capital expenses					
(Gain) / loss on disposal of non-current assets	289	289	192	726	534
Total capital expenses	289	289	192	726	534
TOTAL INCOME	331,548	345,565	228,113	219,755	(8,358)
TOTAL EXPENSES	303,908	306,285	200,183	191,909	(8,274)
NET RESULT	27,641	39,280	27,930	27,846	(84)
Other comprehensive income / (loss)					
Items that will not be reclassified to a net result					
Revaluation of property, plant and equipment	-	-	-	-	-
TOTAL COMPREHENSIVE INCOME	27,641	39,280	27,930	27,846	(84)

Monthly Financial Report

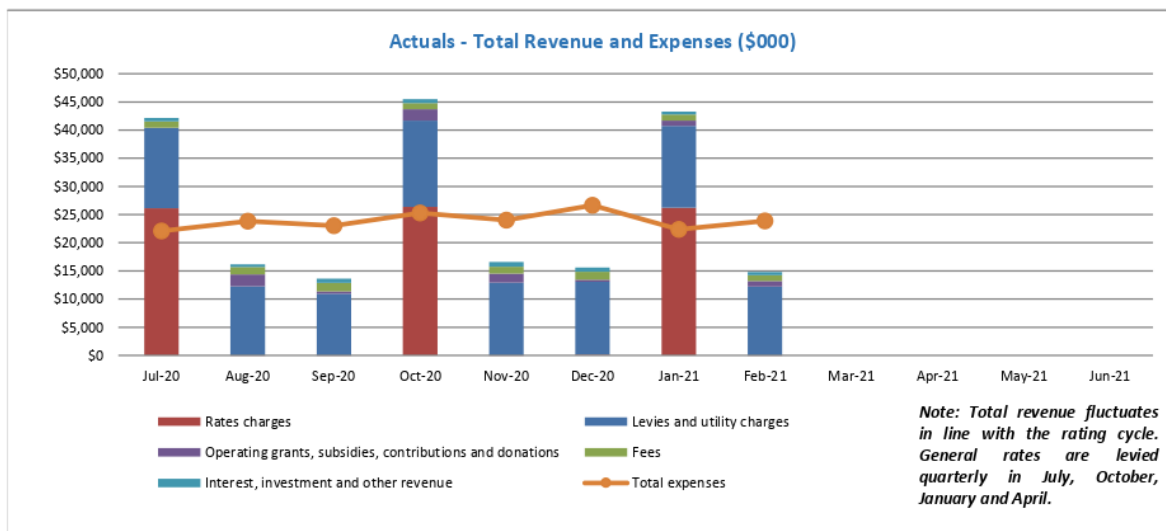
3. STATEMENT OF COMPREHENSIVE INCOME - CONTINUED

LEVIES AND UTILITY CHARGES ANALYSIS					
For the period ending 28 February 2021					
	Annual	Annual	YTD	YTD	YTD
	Original	Revised	Revised Budget	Actual	Variance
	Budget	Budget	Budget	\$000	\$000
	\$000	\$000	\$000		
Levies and utility charges					
Refuse collection rate charge	29,127	29,127	19,326	19,499	173
SES separate charge	497	497	372	371	(1)
Environment separate charge	8,388	8,388	6,290	6,253	(37)
Separate charge landfill remediation	2,163	2,163	1,438	1,434	(4)
Wastewater charges	47,842	47,842	31,788	31,628	(160)
Water access charges	20,120	20,120	13,368	13,370	2
Water consumption charges	51,945	51,945	34,588	33,080	(1,508)
Total levies and utility charges	160,082	160,082	107,170	105,635	(1,535)

MATERIALS AND SERVICES ANALYSIS					
For the period ending 28 February 2021					
	Annual	Annual	YTD	YTD	YTD
	Original	Revised	Revised Budget	Actual	Variance
	Budget	Budget	Budget	\$000	\$000
	\$000	\$000	\$000		
Materials and services					
Contractors	38,549	39,064	25,424	21,203	(4,221)
Consultants	2,813	3,374	1,934	1,111	(823)
Other Council outsourcing costs*	23,063	21,199	13,556	12,720	(836)
Purchase of materials	53,059	54,776	34,884	35,363	479
Office administration costs	11,685	11,656	7,378	7,304	(74)
Electricity charges	5,748	5,743	3,828	3,597	(231)
Plant operations	3,548	3,545	2,293	1,893	(400)
Information technology resources	3,067	3,470	2,356	1,879	(477)
General insurance	1,646	1,457	976	882	(94)
Community assistance**	1,777	1,814	969	707	(262)
Other material and service expenses	636	627	424	352	(72)
Total materials and services	145,591	146,725	94,022	87,011	(7,011)

* Other Council outsourcing costs are various outsourced costs including refuse collection and disposal, waste disposal, legal services, traffic control, external training, valuation fees, etc.

** Community assistance costs represent community related costs including community grants, exhibitions and awards, donations and sponsorships.



Monthly Financial Report

4. STATEMENT OF FINANCIAL POSITION

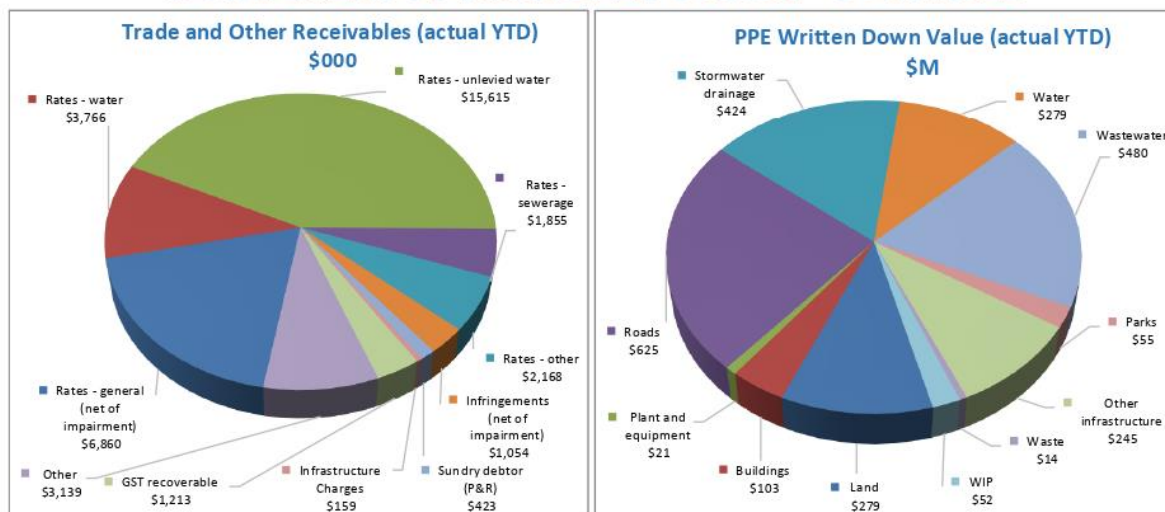
STATEMENT OF FINANCIAL POSITION As at 28 February 2021				
	Annual Original Budget \$000	Annual Revised Budget \$000	YTD Revised Budget \$000	YTD Actual \$000
CURRENT ASSETS				
Cash and cash equivalents	169,264	167,495	202,646	204,295
Trade and other receivables*	45,924	44,200	45,388	36,252
Inventories	918	853	863	801
Non-current assets held for sale	-	118	118	-
Other current assets	1,955	2,956	2,956	2,440
Total current assets	218,061	215,621	251,971	243,788
NON-CURRENT ASSETS				
Investment property	1,091	1,225	1,225	1,225
Property, plant and equipment	2,572,288	2,629,009	2,585,574	2,577,309
Intangible assets	486	1,682	1,829	1,836
Right-of-use assets	5,919	5,876	6,229	6,179
Other financial assets	73	73	73	73
Investment in other entities**	13,101	13,101	13,101	12,657
Total non-current assets	2,592,958	2,650,965	2,608,031	2,599,279
TOTAL ASSETS	2,811,018	2,866,586	2,860,002	2,843,067
CURRENT LIABILITIES				
Trade and other payables	28,839	41,895	47,205	29,027
Borrowings - current	6,361	8,326	8,326	8,326
Lease liability - current	1,302	1,294	1,294	1,294
Provisions - current	10,769	12,188	12,930	13,773
Other current liabilities	-	1,960	10,510	11,058
Total current liabilities	47,271	65,663	80,265	63,478
NON-CURRENT LIABILITIES				
Borrowings - non-current	37,900	35,840	25,631	25,620
Lease liability - non-current	5,481	5,469	5,839	5,788
Provisions - non-current	15,120	14,162	14,162	14,162
Total non-current liabilities	58,501	55,470	45,632	45,570
TOTAL LIABILITIES	105,772	121,133	125,897	109,048
NET COMMUNITY ASSETS	2,705,246	2,745,453	2,734,105	2,734,019
COMMUNITY EQUITY				
Asset revaluation surplus	1,008,120	1,035,840	1,035,840	1,035,840
Retained surplus	1,580,316	1,605,281	1,588,752	1,595,871
Constrained cash reserves	116,810	104,333	109,513	102,308
TOTAL COMMUNITY EQUITY	2,705,246	2,745,453	2,734,105	2,734,019

* Included \$1m loan drawn down by Redland Investment Corporation (RIC) in February 2021. Current loan receivable from RIC is \$1.09m.

** \$444k movement is due to transfer back of 521 Old Cleveland Road East Birkdale land from RIC to Council. This amount is also reflected as an increase in Property plant & equipment.

Monthly Financial Report

4. STATEMENT OF FINANCIAL POSITION - CONTINUED



RIGHT-OF-USE ASSETS				
For the period ending 28 February 2021				
	Annual Original Budget \$000	Annual Revised Budget \$000	YTD Revised Budget \$000	YTD Actual Balance \$000
Right-of-use asset				
Buildings	2,780	2,697	2,904	2,919
Land	2,763	2,815	2,945	2,964
Plant and Equipment	376	364	380	296
Closing balance	5,919	5,876	6,229	6,179

PROPERTY, PLANT AND EQUIPMENT (PPE) MOVEMENT*				
For the period ending 28 February 2021				
	Annual Original Budget \$000	Annual Revised Budget \$000	YTD Revised Budget \$000	YTD Actual Balance \$000
PPE movement				
Opening balance (includes WIP from previous years)	2,556,325	2,588,458	2,588,458	2,588,458
Acquisitions, Asset transfers and WIP in year movement	81,096	105,684	40,576	31,506
Depreciation in year	(63,282)	(63,282)	(42,188)	(41,357)
Disposals	(1,851)	(1,851)	(1,272)	(1,301)
Other adjustments**	-	-	-	3
Closing balance	2,572,288	2,629,009	2,585,574	2,577,309

* This table includes movement relating to property, plant and equipment only and is exclusive of intangible assets.

** Other adjustments include transfers between asset classes, revaluation adjustments, prior period adjustments and depreciation thereon.

Monthly Financial Report

5. STATEMENT OF CASH FLOWS

STATEMENT OF CASH FLOWS For the period ending 28 February 2021				
	Annual Original Budget \$000	Annual Revised Budget \$000	YTD Revised Budget \$000	YTD Actual \$000
CASH FLOWS FROM OPERATING ACTIVITIES				
Receipts from customers	276,486	278,920	200,156	207,618
Payments to suppliers and employees	(239,435)	(241,818)	(151,978)	(159,205)
	37,051	37,101	48,178	48,413
Interest received	2,999	2,899	1,899	1,343
Rental income	956	1,069	573	730
Non-capital grants and contributions	14,483	16,189	9,098	8,616
Borrowing costs	(2,052)	(2,052)	(2,052)	(2,048)
Right-of-use assets interest expense	(144)	(144)	(97)	(98)
Net cash inflow / (outflow) from operating activities	53,294	55,063	57,599	56,956
CASH FLOWS FROM INVESTING ACTIVITIES				
Payments for property, plant and equipment	(77,614)	(102,202)	(40,522)	(31,062)
Payments for intangible assets	-	-	-	(105)
Proceeds from sale of property, plant and equipment	1,562	1,562	1,080	693
Capital grants, subsidies and contributions	25,922	39,186	19,843	14,268
Other cash flows from investing activities*	-	-	-	(1,000)
Net cash inflow / (outflow) from investing activities	(50,131)	(61,455)	(19,599)	(17,206)
CASH FLOWS FROM FINANCING ACTIVITIES				
Proceeds of borrowings	9,612	9,612	-	-
Repayment of borrowings	(6,361)	(6,361)	(6,361)	(6,369)
Right-of-use lease payment	(1,294)	(1,265)	(894)	(987)
Net cash inflow / (outflow) from financing activities	1,957	1,986	(7,255)	(7,356)
Net increase / (decrease) in cash held	5,120	(4,406)	30,745	32,394
Cash and cash equivalents at the beginning of the year	164,145	171,901	171,901	171,901
Cash and cash equivalents at the end of the financial year / period	169,264	167,495	202,646	204,295

Cash Inflow (actual YTD)

Category	Percentage
Utility charges	49%
Rates charges	33%
Fees	5%
Operating grants and contributions	4%
Interest received	1%
Capital grants, subsidies and contributions	6%
Other cash receipts	2%

Cash Outflow (actual YTD)

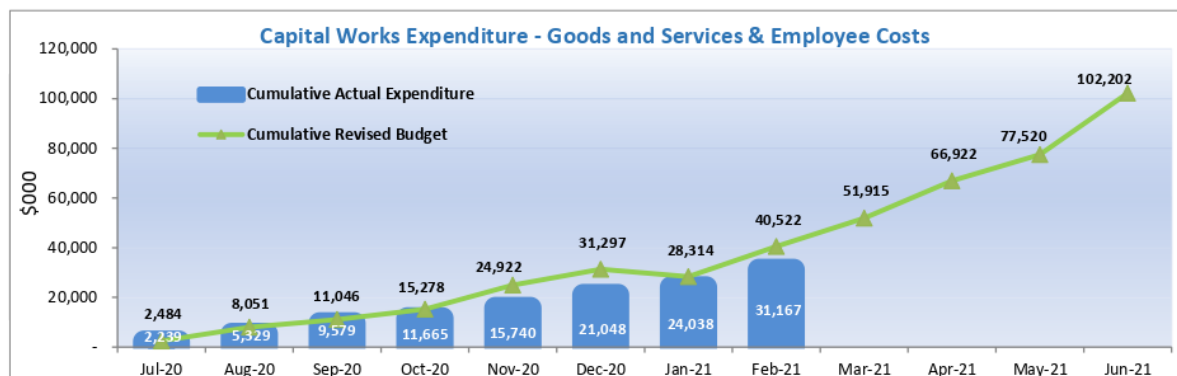
Category	Percentage
Materials and services	48%
Employee costs	32%
Payments for property, plant and equipment	15%
Repayment of borrowings	4%
Borrowing costs	1%

Total Cash Funding (Actual YTD)	233,268	Total Cash Expenditure (Actual YTD)	200,874
Total Cash Funding (Annual Revised Budget)	349,437	Total Cash Expenditure (Annual Revised Budget)	353,842
% of Budget Achieved YTD	67%	% of Budget Achieved YTD	57%

* Loan drawn down by RIC in February 2021.

Monthly Financial Report

6. CAPITAL EXPENDITURE

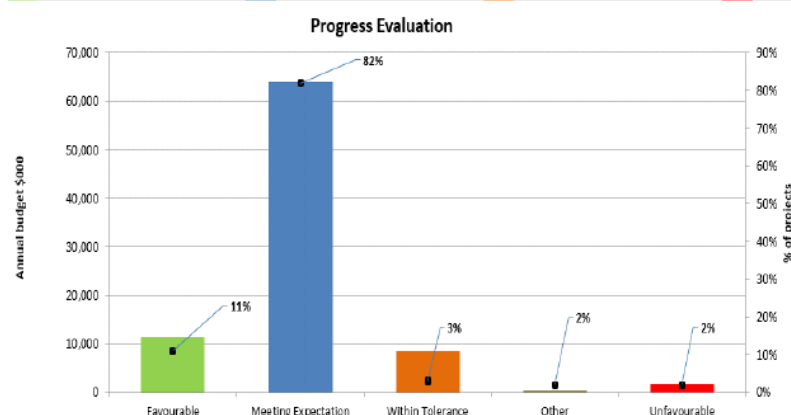


	Annual Revised Budget \$000	YTD Revised Budget \$000	YTD Actual \$000	YTD Variance \$000
Capitalised goods and services *	93,416	34,536	26,698	(7,838)
Capitalised employee costs	8,786	5,986	4,469	(1,517)
Total	102,202	40,522	31,167	(9,355)

* Excludes 521 Old Cleveland Road East Birkdale land transferred back from RIC to Council.

7. PROGRAM AND PROJECT UPDATE

Favourable (budget under/schedule on track)	Meeting expectations (budget and schedule on track)	Within tolerance (either budget and schedule not on track)	Unfavourable (budget and schedule not on track)	Other (Schedule to be tracked)
--	--	--	---	-----------------------------------



Programs and projects are what Council uses to introduce change to achieve corporate outcomes. They allow new infrastructure, products, systems, procedures and services to be delivered. Projects may be undertaken on a standalone basis or as part of a program. Programs and projects may span multiple financial years.

Council is currently progressing more than 100 programs and projects.

Notable Projects

The status of two notable projects are as follows:

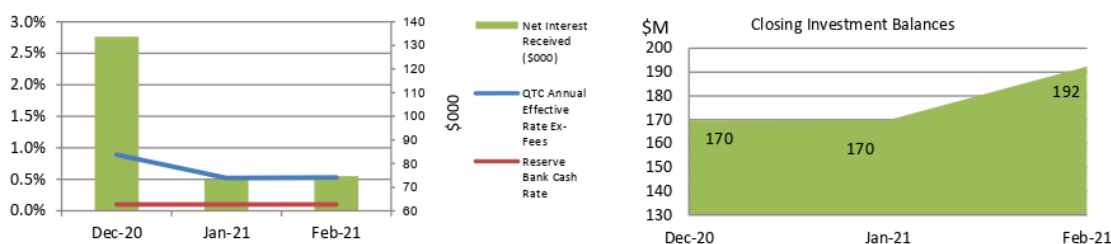
Project description	Progress
Amity Point Coastal Protection - Active erosion at the 'Basin' located at the southern end of Amity Point Campground has been underway over a period of time and is now impacting on the amenity and operation of the campground. This includes undermining of utility infrastructure and the campground internal road. The erosion has now progressed from the foreshore reserve into the property leased to Straddie Camping. This project will protect the foreshore from erosion pressure and allow access across the foreshore for campground patrons.	Meeting Expectations
RPAC Pile wind hoist renewal project - Renewal/upgrade of Pile Wind Hoist - Concert Hall overhead bars/fly system includes installation of digital system to accurately monitor usage, installation of wireless operating control system.	Meeting Expectations

Monthly Financial Report

8. INVESTMENT & BORROWINGS REPORT

For the period ending 28 February 2021

INVESTMENT RETURNS - QUEENSLAND TREASURY CORPORATION (QTC)



Total QTC Investment at End of Month was \$192.31M

Council investments are currently held predominantly in the Capital Guaranteed Cash Fund, which is a fund operated by the Queensland Treasury Corporation (QTC). In October 2020 \$10M was invested in a term deposit of Commonwealth Bank of Australia (CBA) to maximise interest earnings.

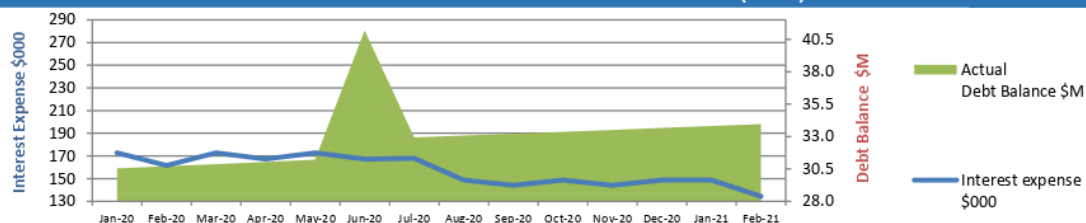
The movement in interest earned is indicative of both the interest rate and the surplus cash balances held, the latter of which is affected by business cash flow requirements on a monthly basis as well as the rating cycle.

Note: the Reserve Bank reduced the cash rate down to 0.10% during November 2020.

On a daily basis, cash surplus to requirements is deposited with QTC to earn higher interest as QTC is offering a higher rate than what is achieved from Council's transactional bank accounts. The current annual effective interest rate paid by QTC is 0.53%. Term deposit rates are being monitored to identify investment opportunities to ensure Council maximises its interest earnings.

Council adopted its Investment Policy (POL-3013) in June 2020 for the 2020/2021 financial year

BORROWINGS AND BORROWING COSTS (QTC)



The existing loan accounts were converted to fixed rate loans on 1 April 2016 following a QTC restructure of loans and policies. In line with Council's debt policy, debt repayment of \$8.42M, being \$6.37M principal and \$2.05M interest has been made *annually* for 2020/2021 which will result in the loans being repaid approximately one year earlier.

The debt balance shows a decrease as the Annual Debt Service Payment (ADSP) was made during July 2020. Interest will accrue monthly on a daily balance until next ADSP in July 2021 which is reflected in the increasing debt balance.

In June 2020 additional borrowings of \$9.80M were undertaken as part of Council's Capital Works Plan.

Total Borrowings at End of Month were \$33.95M

Council adopted its Debt Policy (POL-1838) in June 2020 for the 2020/2021 financial year

BORROWINGS

For the period ending 28 February 2021

	Annual Original Budget \$'000	Annual Revised Budget \$'000	YTD Revised Budget \$'000	YTD Actual Balance \$'000
Borrowings				
Opening balance	(41,273)	(41,178)	(41,178)	(41,178)
Accrued interest on borrowings	(1,789)	(1,789)	(1,192)	(1,185)
Interest paid on borrowings	2,052	2,052	2,052	2,048
Principal repaid	6,361	6,361	6,361	6,369
Loan drawdown	(9,612)	(9,612)	-	-
Closing balance	(44,261)	(44,166)	(33,957)	(33,946)

Monthly Financial Report

9. CONSTRAINED CASH RESERVES

Reserves as at 28 February 2021	Purpose of reserve	Opening Balance	To Reserve	From Reserve	Closing Balance
		\$000	\$000	\$000	\$000
Special Projects Reserve:					
Aquatic Paradise Revetment Wall Reserve	To fund Aquatic Paradise revetment wall works program	2	20	(1)	21
Weinam Creek Reserve	Maintenance and improvements associated with Weinam Creek projects	-	307	(307)	-
Waste Levy Reserve	To fund Waste Levy Program	-	3,276	(2,811)	465
Raby Bay Revetment Wall Reserve	To fund Raby Bay revetment wall works program	2,093	2,135	(440)	3,788
Fleet Plant & Capital Equipment Reserve	To support the long term fleet replacement program	2,536	682	(854)	2,364
		4,631	6,420	(4,413)	6,638
Constrained Works Reserve:					
Public Parks Trunk Infrastructure Reserve	Capital projects for public parks trunk infrastructure	6,662	934	(1,020)	6,576
Land for Community Facilities Trunk Infrastructure Reserve	Land for community facilities trunk infrastructure	3,086	933	-	4,019
Water Supply Trunk Infrastructure Reserve	Upgrade, expansion or new projects for water supply trunk infrastructure	14,626	75	(297)	14,404
Sewerage Trunk Infrastructure Reserve	Upgrade, expansion or new projects for sewerage trunk infrastructure	10,909	1,047	(1,399)	10,557
Local Roads Trunk Infrastructure Reserve	Capital projects for local roads trunk infrastructure	33,731	2,663	(1,081)	35,313
Cycleways Trunk Infrastructure Reserve	Capital projects for cycleways trunk infrastructure	11,923	966	(138)	12,751
Stormwater Trunk Infrastructure Reserve	Capital projects for stormwater trunk infrastructure	10,842	313	(1,478)	9,677
Tree Planting Reserve	Acquisition and planting of trees on footpaths	103	52	(5)	150
Koala Tree off-set Planting Reserve	Acquisition and planting of trees for koala habitat	12	-	(12)	-
		91,894	6,983	(5,430)	93,447
Separate Charge Reserve:					
Environment Charge Maintenance Reserve	Ongoing conservation and maintenance operations	-	6,257	(5,067)	1,190
SES Separate Charge Reserve	On-going costs of maintaining the Redland SES	38	371	(233)	176
		38	6,628	(5,300)	1,366
Special Charge Reserve - Canals:					
Aquatic Paradise Canal Reserve*	Maintenance and repairs of Aquatic Paradise canals	758	-	-	758
Sovereign Waters Lake Reserve*	Maintenance and repairs of Sovereign Lake	431	-	-	431
1718 Raby Bay Canal Reserve	Service, facility or activity of works in respect of the canals of the Raby Bay canal estate	219	-	-	219
1718 Aquatic Paradise Canal Reserve	Service, facility or activity of works in respect of the canals of the Aquatic Paradise canal estate	(495)	-	-	(495)
1718 Sovereign Waters Lake Reserve	Service, facility or activity of works in respect of the lake	(56)	-	-	(56)
		857	-	-	857
TOTALS		97,420	20,031	(15,143)	102,308
		Closing cash and cash equivalents			204,295
		Reserves as percentage of cash balance			50%

*No interest charged for these reserves February 2021 year to date due to low prevailing interest rate.

Monthly Financial Report

10. CITY WATER STATEMENTS

CITY WATER SUMMARY OPERATING STATEMENT					
For the period ending 28 February 2021					
	Annual Original Budget \$000	Annual Revised Budget \$000	YTD Revised Budget \$000	YTD Actual \$000	YTD Variance \$000
Total revenue	122,970	124,190	82,985	80,310	(2,675)
Total expenses	71,469	71,476	46,672	46,526	(146)
Earnings before interest, tax and depreciation (EBITD)	51,501	52,714	36,313	33,784	(2,529)
External interest expense	71	71	47	74	27
Internal interest expense	10,621	10,621	7,081	7,081	-
Depreciation	24,142	24,142	16,094	15,910	(184)
Operating surplus / (deficit)	16,667	17,880	13,091	10,719	(2,372)
CITY WATER CAPITAL FUNDING STATEMENT					
For the period ending 28 February 2021					
	Annual Original Budget \$000	Annual Revised Budget \$000	YTD Revised Budget \$000	YTD Actual \$000	YTD Variance \$000
Capital contributions, donations, grants and subsidies	2,537	2,537	1,691	1,229	(462)
Net transfer (to) / from constrained capital reserves	(2,365)	(374)	(396)	207	603
Non-cash contributions	3,399	3,399	-	-	-
Funding from utility revenue	8,568	10,373	3,396	1,424	(1,972)
Total sources of capital funding	12,138	15,936	4,691	2,860	(1,831)
Contributed assets	3,399	3,399	-	-	-
Capitalised expenditure	8,258	12,056	4,370	2,104	(2,266)
Loan redemption	482	482	321	756	435
Total application of capital funds	12,138	15,936	4,691	2,860	(1,831)

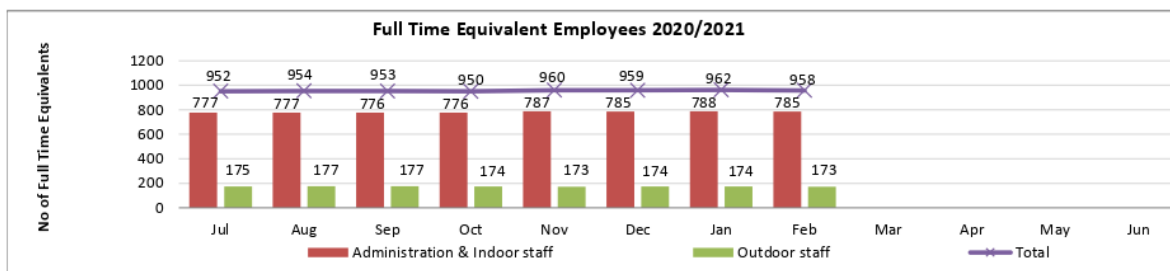
11. CITY WASTE STATEMENTS

CITY WASTE OPERATING STATEMENT					
For the period ending 28 February 2021					
	Annual Original Budget \$000	Annual Revised Budget \$000	YTD Revised Budget \$000	YTD Actual \$000	YTD Variance \$000
Total revenue	35,715	35,639	24,116	23,954	(162)
Total expenses	27,427	27,280	17,830	18,269	439
Earnings before interest, tax and depreciation (EBITD)	8,288	8,359	6,286	5,685	(601)
External interest expense	17	17	12	12	-
Depreciation	327	327	218	222	4
Operating surplus / (deficit)	7,943	8,014	6,056	5,451	(605)
CITY WASTE CAPITAL FUNDING STATEMENT					
For the period ending 28 February 2021					
	Annual Original Budget \$000	Annual Revised Budget \$000	YTD Revised Budget \$000	YTD Actual \$000	YTD Variance \$000
Non-cash contributions	-	-	-	-	-
Funding from utility revenue	924	2,729	1,730	1,605	(125)
Total sources of capital funding	924	2,729	1,730	1,605	(125)
Capitalised expenditure	779	2,584	1,595	1,477	(118)
Loan redemption	145	145	135	128	(7)
Total application of capital funds	924	2,729	1,730	1,605	(125)

Monthly Financial Report

12. APPENDIX: ADDITIONAL AND NON-FINANCIAL INFORMATION

Workforce Reporting



February 2021: Headcount	Employee Type			
Department Level	Casual	Full Time	Part Time	Total
Office of CEO and People, Culture and Organisational Performance	9	38	9	56
Organisational Services	4	201	18	223
Community and Customer Services	45	290	67	402
Infrastructure and Operations	8	347	18	373
Total	66	876	112	1,054

Note: Full Time Equivalent Employees includes all full time employees at a value of 1 and all other employees, at a value less than 1. The table above demonstrates the headcount by department. Following Ourspace, the table includes contract of service and temporary personnel. It includes casual staff in their non-substantive roles as at the end of the period where relevant.

Overdue Rates Debtors & Statistics

Days Overdue	Feb-21	% Overdue	Feb-20	% Overdue	\$ Variance	% Variance	Rates & Charges Statistics		Feb-21	Feb-20
0 - 30	\$7,411,763	3.3%	\$7,974,268	3.8%	-\$562,505	-0.5%	Levied (Billed) Rates & Charges since 1 July 2020		\$211,269,225	\$201,873,541
31 - 60	\$0	0.0%	\$812	0.0%	-\$812	0.0%	Rate arrears b/fwd 1 July 2020		\$12,988,652	\$9,452,770
61 - 90	\$0	0.0%	\$0	0.0%	\$0	0.0%	Total		\$224,257,877	\$211,326,310
91 - 180	\$2,156,052	1.0%	\$2,388,153	1.1%	-\$232,101	-0.1%	Balance of overdue rates & charges		\$14,709,877	\$14,818,205
>180	\$5,142,062	2.3%	\$4,454,972	2.1%	\$687,090	0.2%	Percentage Overdue		6.6%	7.0%
Total	\$14,709,877	6.6%	\$14,818,205	7.0%	-\$108,328	-0.4%				

13. GLOSSARY

Key Terms

Written Down Value:

This is the value of an asset after accounting for depreciation or amortisation, and it is also called book value or net book value.

Work In Progress:

This represents an unfinished project that costs are still being added to. When a project is completed, the costs will be either capitalised (allocated to relevant asset class) or written off.

Definition of Ratios

Operating Surplus Ratio*:

This is an indicator of the extent to which revenues raised cover operational expenses only or are available for capital funding purposes

Net Operating Surplus
Total Operating Revenue

Asset Sustainability Ratio*:

This ratio indicates whether Council is renewing or replacing existing non-financial assets at the same rate that its overall stock of assets is wearing out

Capital Expenditure on Replacement of Infrastructure Assets (Renewals)
Depreciation Expenditure on Infrastructure Assets

Net Financial Liabilities*:

This is an indicator of the extent to which the net financial liabilities of Council can be serviced by operating revenues

Total Liabilities - Current Assets
Total Operating Revenue

Level of Dependence on General Rate Revenue:

This ratio measures Council's reliance on operating revenue from general rates (excludes utility revenues)

General Rates - Pensioner Remissions
Total Operating Revenue - Gain on Sale of Developed Land

Current Ratio:

This measures the extent to which Council has liquid assets available to meet short term financial obligations

Current Assets
Current Liabilities

Debt Servicing Ratio:

This indicates Council's ability to meet current debt instalments with recurrent revenue

Interest Expense*** + Loan Redemption^
Total Operating Revenue - Gain on Sale of Developed Land

Cash Balance - \$M:

Cash balance includes cash on hand, cash at bank and other short term investments.

Cash Held at Period End

Cash Capacity in Months:

This provides an indication as to the number of months cash held at period end would cover operating cash outflows

Cash Held at Period End
[[Cash Operating Costs + Interest Expense] / Period in Year]

Longer Term Financial Stability - Debt to Asset Ratio:

This is total debt as a percentage of total assets, i.e. to what extent will our long term debt be covered by total assets

Current and Non-current Debt**
Total Assets

Operating Performance:

This ratio provides an indication of Council's cash flow capabilities

Net Cash from Operations + Interest Revenue and Expense
Cash Operating Revenue + Interest Revenue

Interest Coverage Ratio:

This ratio demonstrates the extent to which operating revenues are being used to meet the financing charges

Net Interest Expense on Debt Service***
Total Operating Revenue

* These targets are set to be achieved on average over the longer term and therefore are not necessarily expected to be met on a monthly basis.

** Debt includes lease liabilities.

*** Interest expense includes interest on leases.

^ Loan redemption includes lease redemption.

13.2 OPERATIONAL PLAN QUARTERLY PERFORMANCE REPORT DECEMBER 2020**Objective Reference:** A5268078**Authorising Officer:** Deborah Corbett-Hall, Acting General Manager, Organisational Services**Responsible Officer:** Tony Beynon, Group Manager Corporate Governance**Report Author:** Lorraine Lee, Senior Adviser Corporate Planning and Performance**Attachments:** 1. Operational Plan Quarterly Performance Report December 2020 [↓](#)**PURPOSE**

To provide an update on the progress of the Operational Plan 2020-2021 from 1 October to 31 December 2020.

BACKGROUND

The *Local Government Act 2009* (the Act) requires Council to adopt an operational plan each year. The Operational Plan 2020-2021 forms an important part of Council's strategic planning process and sets out the work Council plans to deliver towards achievement of the Corporate Plan 2018-2023.

The *Local Government Regulation 2012* also requires the Chief Executive Officer to present a written assessment of Council's progress towards implementing the annual Operational Plan at meetings of Council, at least quarterly.

ISSUES

The Operational Plan 2020-2021 defines 68 significant activities that Council plans to undertake during the year. Table 1 details the status of planned activities undertaken in quarter two.

The attached Operational Plan Quarterly Performance Report December 2020 provides a status update and comment summarising overall progress for each of the 68 significant activities in quarter two. The information in the report has been provided by the responsible departments for each significant activity.

Of the 68 significant activities, 67 are on track, and one is being monitored. The activity being monitored is:

7.4.1 - Continue to review volunteer engagement in Redland City Council.

Table 1

Status of significant activities in the Operational Plan 2020-2021	
On Track	67
Monitor	1
Total	68

Carried forward significant activity

One significant activity has been carried forward from the Operational Plan 2019-2020. This activity will be monitored through the Operational Plan Quarterly Performance Report.

Significant activity carried forward from the Operational Plan 2019-2020	Status
5.1.7 - Implement actions outlined in the Cleveland Centre Traffic and Transport Action Plan 2019-2020.	Monitor

Summary

A more detailed summary of the progress of each significant activity for quarter two is outlined in the attached Operational Plan Quarterly Performance Report December 2020.

STRATEGIC IMPLICATIONS**Legislative Requirements**

Council's Operational Plan 2020-2021 is an important statutory document which sets out the significant activities that Council plans to deliver for the financial year. The significant activities directly contribute to outcomes specified in the Corporate Plan 2018-2023. Tracking progress against this plan provides a useful assessment of Council's performance in delivering against its plans.

The *Local Government Regulation 2012* (section 174) states that "the chief executive officer must present a written assessment of the local government's progress towards implementing the annual operational plan at meetings of the local government held at regular intervals not more than 3 months". Under the same section of the regulation, Council is allowed to amend the plan at any time before the end of the financial year.

Risk Management

The risk of not delivering against Council's Operational Plan is that Council does not achieve the commitments set out in the longer term corporate and community plans. Each significant activity has associated risks which are managed by the relevant area of Council.

Financial

The Operational Plan 2020-2021 was funded from the 2020-2021 Annual Budget.

People

Significant activities listed in the Operational Plan 2020-2021 are managed by the responsible Council group. The status and comments for each significant activity in the attached report are provided by the relevant group. The report is compiled by the Strategy and Governance Unit. Although delivery of the plan itself is dependent on staff resources and some significant activities relate to people issues, there are no direct impacts on people resulting from this report.

Environmental

Some significant activities within the Operational Plan 2020-2021 directly contribute to Council's environmental commitments. However, this report does not have any direct environmental impacts.

Social

Some significant activities within the Operational Plan 2020-2021 directly contribute to Council's social commitment. However, this report does not have any direct social impacts.

Human Rights

There are no human rights implications associated with this report.

Alignment with Council's Policy and Plans

Council's Operational Plan 2020-2021 outlines planned significant activities against the eight key outcomes in the Corporate Plan 2018-2023. As such, it is a key planning document and consistent with both the Corporate Plan 2018-2023 and the Redlands 2030 Community Plan.

Council adopted a new corporate Plan on 16 December 2020, for commencement on 1 July 2021. Council's new Corporate Plan *'Our Future Redlands – A Corporate Plan to 2026 and Beyond'* provides Council with a framework for forward planning and future delivery of services and infrastructure.

This quarterly operation plan is in response to Council's current Corporate Plan 2018-2023 and will be followed by two further quarterly reports before the current Corporate Plan concludes on 30 June 2021.

CONSULTATION

Consulted	Date	Comments
Office of CEO: People, Culture and Organisational Performance	December 2020	The status and comments have been provided by the officers involved in delivering the particular significant activities within the Operational Plan 2020-2021.
Organisational Services: General Manager Organisational Services	December 2020	The status and comments have been provided by the officers involved in delivering the particular significant activities within the Operational Plan 2020-2021.
Community and Customer Services: General Manager Community and Customer Services	December 2020	The status and comments have been provided by the officers involved in delivering the particular significant activities within the Operational Plan 2020-2021.
Infrastructure and Operations: General Manager Infrastructure and Operations	December 2020	The status and comments have been provided by the officers involved in delivering the particular significant activities within the Operational Plan 2020-2021.

OPTIONS

Option One

That Council resolves to note the Operational Plan Quarterly Performance Report December 2020.

Option Two

That Council requests additional information in relation to the attached Operational Plan Quarterly Performance Report December 2020.

OFFICER'S RECOMMENDATION/COUNCIL RESOLUTION 2021/61

Moved by: Cr Mark Edwards

Seconded by: Cr Peter Mitchell

That Council resolves to note the Operational Plan Quarterly Performance Report December 2020

CARRIED 11/0

Crs Karen Williams, Wendy Boglary, Peter Mitchell, Paul Gollè, Lance Hewlett, Mark Edwards, Julie Talty, Rowanne McKenzie, Tracey Huges, Adelia Berridge and Paul Bishop voted FOR the motion.



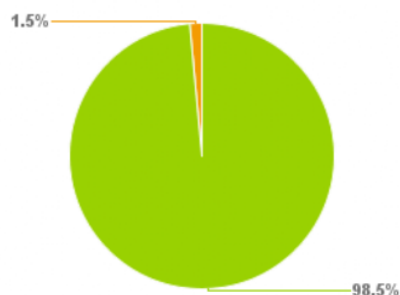
Operational Plan 2020 - 2021

October to December 2020

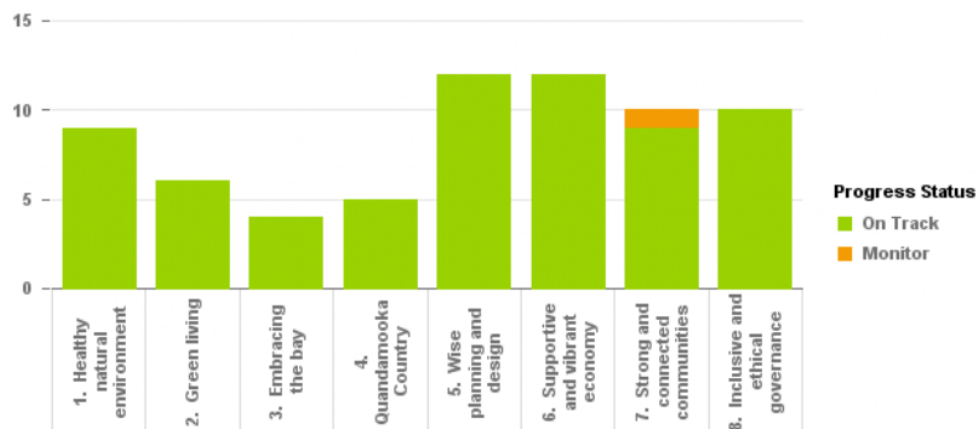


Vision Outcome – Quarter Summary

Vision Outcome	On Track	Monitor	Total
1 Healthy natural environment	9	0	9
2 Green living	6	0	6
3 Embracing the bay	4	0	4
4 Quandamooka Country	5	0	5
5 Wise planning and design	12	0	12
6 Supportive and vibrant economy	12	0	12
7 Strong and connected communities	9	1	10
8 Inclusive and ethical governance	10	0	10
Total	67	1	68



Progress Status
■ On Track ■ Monitor

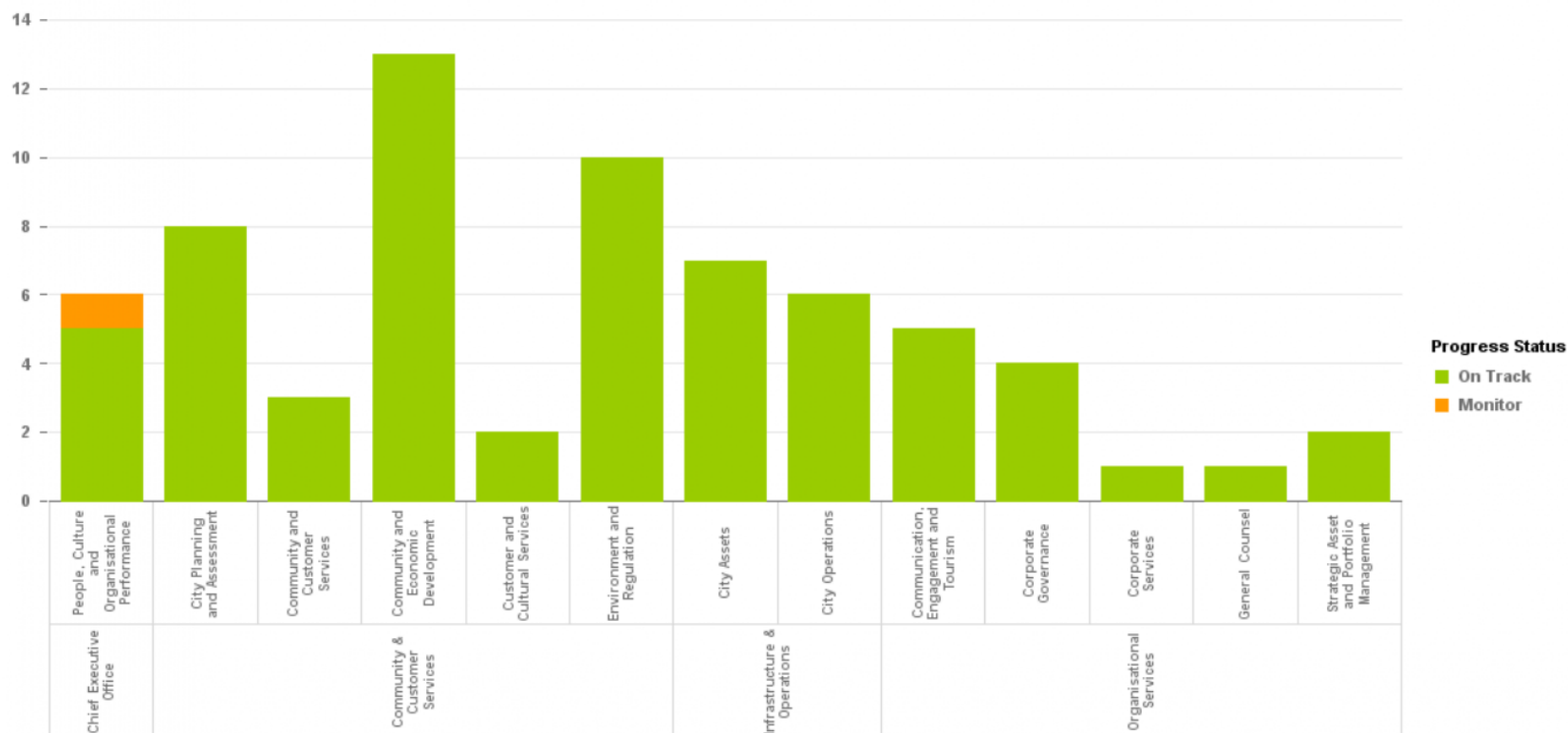


- On Track** The significant activity is progressing on time and on budget and is on track for delivery.
- Monitor** There are issues with timeframes and/or budget but it is still expected that with close monitoring the significant activity will be delivered.
- Complete** The significant activity has been delivered.
- Concern** There are significant delays or budget issues and it is unlikely that the significant activity will be delivered.
- Cancelled** The significant activity has been cancelled.

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Organisational Performance – Quarter Summary

Department	On Track	Monitor	Total
Chief Executive Office	5	1	6
Community & Customer Services	36	0	36
Infrastructure & Operations	13	0	13
Organisational Services	13	0	13
Total	67	1	68

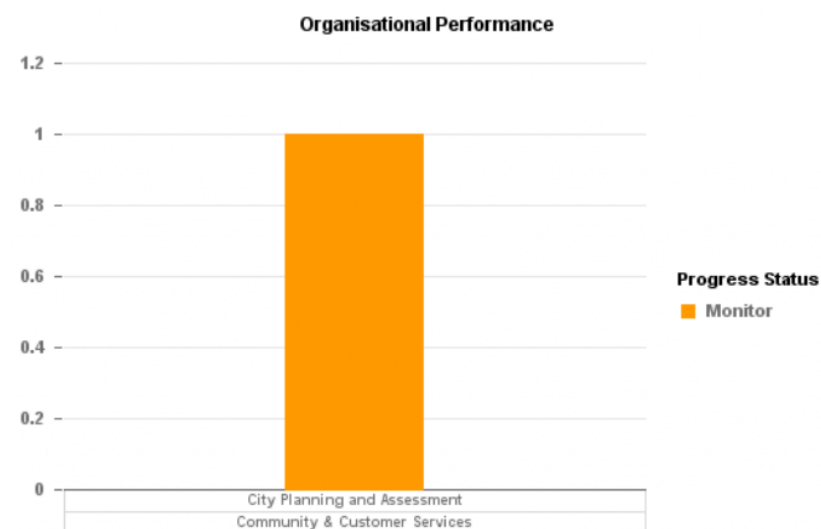
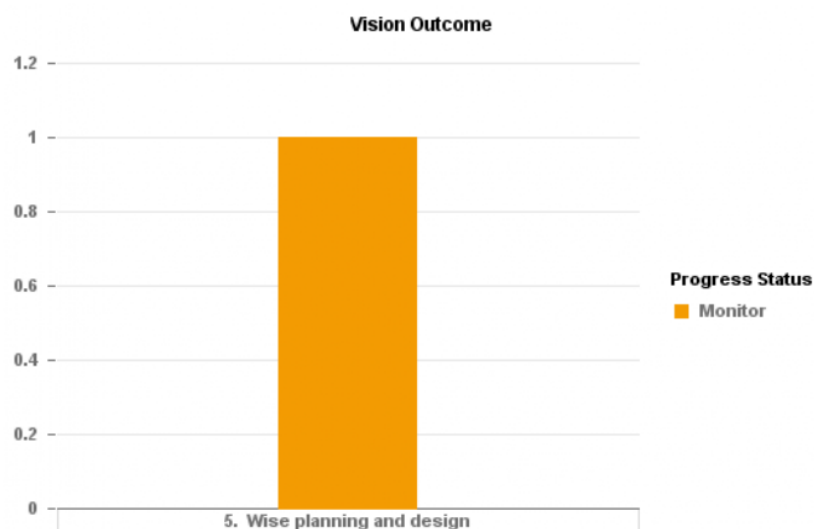


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Carried Forward – Quarter Summary

Activities from Operational Plan 2019-2020

Vision Outcome	Monitor	Total
5 Wise planning and design	1	1
Total	1	1



- On Track** The significant activity is progressing on time and on budget and is on track for delivery
- Monitor** There are issues with timeframes and/or budget but it is still expected that with close monitoring the significant activity will be delivered.
- Complete** The significant activity has been delivered.
- Concern** There are significant delays or budget issues and it is unlikely that the significant activity will be delivered
- Cancelled** The significant activity has been cancelled.

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1. Healthy natural environment

2023 Strategic Outcomes

1.1 Redland's natural assets including flora, fauna, habitats, biodiversity, ecosystems and waterways are managed, maintained and monitored.

1.2 Threatened species are maintained and protected, including the vulnerable koala species.

1.3 Community and private landholder stewardship of natural assets increases.

1.4 Visitors experience our natural assets through high standard facilities, trails, interpretation and low impact commercial ventures.

Significant Activity	Op Plan Ref	Key Accountable	Status	Comment
Plan and progress a program to improve conservation management and protect natural assets.	1.1.1	Infrastructure & Operations	On Track	Redland City Council's conservation management improvement program incorporates undertaking weed management, revegetation works and fire management activities across Redlands Coast. During quarter two, weed management was undertaken in over 320 sites, while 16,245 plants were planted within conservation reserves. This included 10,000 in Mount Cotton, 1,391 in Alexandra Hills and 900 in Capalaba. Council staff attended four significant wild fires at the Birkdale Land, Greater Glider Reserve in Alexandra Hills and two at Heinemann Road in Mount Cotton. Proactive slashing of 830 fuel reduction zones was undertaken throughout the city as well as slashing 319 blocks. This equated to a volume of 8,821 hectares of slashing conducted during the quarter.
Provide clear guidelines on how Redland City Council will meet its biosecurity obligations, inform the Redlands Coast community and manage invasive plants, pest fish and pest animals under the Redlands Coast Biosecurity Plan 2018-2023.	1.1.2	Community & Customer Services	On Track	The Redlands Coast Biosecurity Plan continued to be updated based on stakeholder feedback. Digital biosecurity training has been initiated for officers. Meetings were held with operational areas of Council including those with biosecurity responsibilities to discuss action plan implementation as well as forward planning. Officers continued to participate in meetings and workshops with Biosecurity Queensland and the Local Government Association of Queensland.
Geographically identify and provide priority actions for the management, enhancement and protection of core wildlife habitat and facilitate improved connection of wildlife corridors in alignment with the Wildlife Connections Plan 2018-2028.	1.1.3	Community & Customer Services	On Track	Implementation of the Wildlife Connections Plan 2018-2028 continued, with an updated list and map produced of all current properties that fall within strategic priority area layers, and to identify areas of Council land outside of primary priority areas. Officers continued monitoring flying fox roosts.

Significant Activity	Op Plan Ref	Key Accountable	Status	Comment
Conduct erosion and sediment control regulation to minimise environmental impacts from approved development activities.	1.1.4	Community & Customer Services	On Track	24 requests for investigation into potential contaminate release concerns were received and responded to during quarter two. Twelve investigations have been concluded, with 12 still ongoing. Officers have continued to undertake proactive compliance inspections and monitoring across the city's major development sites. Seventeen proactive cases have been opened, with seven remaining active for monitoring. Council officers supported the running of an industry-based erosion and sediment control demonstration day, facilitated by Healthy Land and Water and the International Erosion Control Association. To build internal capacity, Council also supported the running of an erosion and sediment control demonstration event for officers in partnership with Healthy Land and Water.
Continue to progress a program to plant one million native plants across Redlands Coast by 2026.	1.1.5	Infrastructure & Operations	On Track	The One Million Plant Program aims to have planted one million plants by 2026. During quarter two, 16,245 plants were planted within 19 conservation reserves which included 10,000 at Homestead Place, Mount Cotton, 1,391 at MacArthur Street, Alexandra Hills and 900 at Barber Drive, Capalaba. Since the beginning of the program 413,531 plants were planted by Council operational teams and Community Bushcare groups across the mainland and bay islands.
Implement management actions for a viable koala population and conserve and manage suitable habitat, in accordance with the Redland City Council Koala Conservation Action Plan 2016-2021.	1.2.1	Community & Customer Services	On Track	Officers continued to engage with the Department of Environment and Science and other councils in relation to the State Government's South East Queensland Koala Conservation Strategy 2020-2025. Continuation of the roll-out of programs based on the 2020-2021 implementation actions under Council's Koala Conservation Strategy 2016-2021.
Enhance community education, awareness and involvement in environmental and wildlife management.	1.2.2	Community & Customer Services	On Track	<p>A community koala awareness campaign continued via social media platforms including Snapchat, Inmobi and Facebook. Phase two of Redlands Coast Koala Watch was launched in December 2020 to further test community engagement with project objectives.</p> <p>The Annual North Stradbroke Island urban koala survey was undertaken, with koalas identified at Amity Point (49 including six joeys) and Flinders Beach (three including one joey).</p> <p>Flying fox education occurred at the IndigiScapes Halloween event with Bat Conservation and Rescue Queensland Inc.</p> <p>Redlands 24hr Wildlife Rescue service continued to operate 24/7 and received 2,379 calls.</p> <p>Redlands Wildlife Care Network (8am-5pm) received 1,415 calls for assistance.</p> <p>Redlands Afterhours Wildlife Ambulance (5pm-8am) received 964 calls for assistance.</p>

Significant Activity	Op Plan Ref	Key Accountable	Status	Comment
Achieve improved environmental outcomes through extension programs delivered in accordance with adopted environmental strategies and plans.	1.3.1	Community & Customer Services	On Track	<p>Environmental Partnerships (EP) extension programs continued to focus on community areas identified in strategic area priority mapping. 2,837 plants were provided to, and planted by, extension program participants. 93 visits were made to private properties to provide environmental education and support. An upcycling gardening workshop and a fungi identification workshop were held at IndigiScapes to educate the community on the importance of sustainability and inter-relationships between our natural assets and our ecosystems. IndigiScapes tours were well attended during the quarter, also raising awareness of natural assets and the important role they play in the natural environment.</p> <p>Cane toad trap implementation continued, with additional traps installed on private properties. A large amount of barbed wire was removed from EP properties to allow safe movement for wildlife across the landscape. Social media was used to support landholder environmental education and stewardship. This resulted in more interaction and discussion online between officers and private landholders, and increased knowledge within the community.</p> <p>Community Bushcare volunteer groups remain active across Redlands Coast, with many groups having a summer break in December 2020 due to the hot weather. Bushcare officers undertook 13 extension visits to support groups with onsite training and planning. Groups planted 852 native plants at various Bushcare sites to improve habitat values. Community Bushcare volunteers were encouraged to promote their activities for education and engagement purposes to the broader community through provision of a social media workshop. Annual First Aid training was provided to Bushcare volunteer first-aiders to ensure health and safety requirements continue to be met, so that volunteers can achieve their on-ground outcomes safely. An end-of-year Bushcare volunteer recognition event was held to celebrate the achievements and milestones of the Bushcare groups and volunteers. Annual awards aligning with the objectives of the Bushcare Program were presented to groups.</p>
Enhance the visitor experience of natural assets across Redlands Coast.	1.4.1	Infrastructure & Operations	On Track	<p>Council continued a number of enhancement projects as well as key maintenance works during quarter two. Significant repair and upgrades were undertaken on the IndigiScape Centre boardwalks. The Clarke Street Carpark entrance to Redland Track Park was identified as a high use area which had become degraded therefore Council re-profiled the entrance to improve access and safety. One creek crossing was rebuilt at the Swamp Box Conservation Area after being washed away in the December storms. Considerable work was undertaken at the popular Bayview Conservation Area. The work included horse tie ups and mounting blocks which were relocated to the day use area, in order to create a greater experience for horse riders. The entrance to the multi-use/horse trail was upgraded as well as the Banksia loop walking trail. Unlawful motorbike access from the Native Dog entrance was identified as a safety concern and fencing upgrades were undertaken.</p>

2. Green living

2023 Strategic Outcomes

2.1 Council's policies and plans support ecologically sustainable development and respond to climate change issues.

2.2 Sustainable building design (for example, solar panels and water tanks) is supported through education and advocacy.

2.3 Council's waste management plans address current and future needs, and include plans for closed landfills and regional collaboration.

2.4 Council and the community actively recycle and reduce waste.

2.5 Transport planning reflects a desire to maximise economic, environmental and liveability outcomes through quality road design, public transport, pedestrian and cycling strategies.

Significant Activity	Op Plan Ref	Key Accountable	Status	Comment
Monitor Redland City Council's emissions and carbon footprint, and implement reduction strategies.	2.1.1	Community & Customer Services	On Track	Council continued to maintain and improve Council's carbon and energy dashboard.
Provide educational opportunities to the Redlands Coast community.	2.2.1	Community & Customer Services	On Track	<p>Social media posts in quarter two had a sustainability theme, including National Recycling week in November 2020. Twenty social media posts were shared on the IndigiScapes Facebook page.</p> <p>A new social media campaign was developed, which aims to have a monthly post on the IndigiScapes Facebook page to promote a variety of education opportunities and services to the community.</p>
Plan and deliver waste management services to meet current and future needs across Redlands Coast.	2.3.1	Infrastructure & Operations	On Track	Site investigations continued at Judy Holt Park closed landfill to meet commitments made to the Department of Environment and Science. Consultants provided reports on their investigations and the likely consequences of various remediation options. A workshop on remediation options was held in late November 2020.
Provide kerbside recycling bins and encourage the Redlands Coast community to increase their recycling.	2.4.1	Infrastructure & Operations	On Track	A Council green waste campaign resulted in an additional 530 green waste bins being distributed across the city. This initiative diverted an estimated 53,000 kilograms of green waste from landfill. Council recorded 187 new recycle bin request services, 11 additional bin services and a further 109 exchange service requests (residents upsized to larger capacity recycle bins). In November, the Mayor launched a new recycling station at IndigiScapes. This afforded the opportunity for the community to recycle items unable to be recycled in residential recycling (yellow-lid) kerbside bins. Items that continue to be accepted here are X-Rays, CD's/DVD's/VHS, cassette tapes and small e-waste, beauty products, old art supplies and rubber flip flops. In an initiative to reduce the recycle bin contamination rates, which is a direct cost to Council and the community, Council launched an advertising campaign detailing what should and shouldn't be placed in residential recycling bins. The end of quarter two finished with a joint state and local campaign and competition promoting waste reduction during the Christmas period.
Manage planning for transport initiatives and services, and advocate for public transport across Redlands Coast.	2.5.1	Community & Customer Services	On Track	<p>The Redland Bay Marina Car-Share Trial, a six-month trial to test the acceptance and potential of car-share schemes targeted to benefit the Southern Moreton Bay Islands community, continued.</p> <p>A six-month trial of short-term parking for 26 parking spaces in Middle Street and Bloomfield Street, Cleveland commenced in December 2020. The trial seeks to balance parking management options in the core of Cleveland CBD by providing short-term parking spaces.</p>

Significant Activity	Op Plan Ref	Key Accountable	Status	Comment
Expand the footpath and cycleway network.	2.5.2	Infrastructure & Operations	On Track	<p>Eight footpath and one cycleway projects were completed totalling 1,019 metres, including:</p> <p>Cycle Path: Valley Road and No.16-54 Jacob Street at Wellington Pt - 150m</p> <p>Footpaths: Weippin Street at Cleveland - 284m Weippin Street at Cleveland (Wellington Street to Existing) - 267m Serpentine Creek Road at Redland Bay - 59m 676 Old Cleveland Road East at Wellington Point - 12m No.31 Boundary Street to Main Road, Redland Bay - 66m Hardy Road, Birkdale - 71m Laurette Avenue, Thornlands - 67m Allan Day Drive, Wellington Point (Boat Ramp to Car Park) - 43m</p> <p>The Kinross Cycleway connection (from Kinross Road, Thornlands to Weippin Street Cleveland) detailed design continued to be developed.</p>

3. Embracing the bay

2023 Strategic Outcomes

3.1 Council collaborates with partners to understand, nurture and protect Moreton Bay's marine health and values.

3.2 Communities on the islands and foreshores enjoy equitable access to development opportunities and community services.

3.3 Our community is ready for and adapting to changing coastlines, storm tide and severe weather.

3.4 Redland City's residents and visitors can easily access the foreshore and use recreation infrastructure for boating and non-boating activities.

Significant Activity	Op Plan Ref	Key Accountable	Status	Comment
Monitor and develop strategies aimed at identifying priority areas to inform decision making and improve aquatic environments.	3.1.1	Community & Customer Services	On Track	<p>Council continued to participate in partnerships with Healthy Land and Water and the Council of Mayors SEQ. Officers contributed to various regional working groups associated with these partnerships such as the Moreton Bay Ramsar Wetland Stakeholder Network, the Monitoring and Evaluation Steering Committee, South East Queensland's Water by Design Steering Committee and the Resilient Rivers Initiative. A Council officer is currently the chair of the Water by Design Steering Committee.</p> <p>Progress continued on the review of Council's waterways monitoring programs to ensure these programs meet current and future needs. A contractor was engaged, with a proposed start date in early 2021, to deliver the Ambient Waterways Monitoring program, focusing on investigations of identified concerns.</p> <p>Officers continued to progress the development of the Redlands Coast Bay and Creeks Plan, incorporating opportunities to deliver on the Council-endorsed Lower Brisbane-Redland Coastal Catchment Action Plan (CAP). Project development was initiated for two on-group works projects associated with delivery of the CAP.</p>
Work with island communities to identify and understand community service issues and responses.	3.2.1	Infrastructure & Operations	On Track	<p>Council has continued to work with the State Government and Bay Islands Conservation Incorporated to progress the establishment of the proposed botanical garden on Russell Island. Council's grants program supported two local COVID-19 focused community recovery programs during quarter two. With the modifying of COVID-19 restrictions, a range of community activities including fitness classes, training sessions and sport and recreation events have recommenced at Council's four halls and venues on the Southern Moreton Bay Islands. Council officers have continued to support sport and recreation clubs and regular hall hirers through communication, including facilitating telephone sessions with like-minded groups in the aim to share innovations initiated during this period.</p>
Continue to develop and implement the Redland City Council Coastal Hazard Adaptation Strategy.	3.3.1	Infrastructure & Operations	On Track	<p>The Redland City Council Coastal Hazard Adaptation Strategy underwent community consultation in late 2020. Technical work on the Coochiemudlo Island Shoreline Erosion Management Plan (SEMP) and Amity Point SEMP Implementation Plan were finalised by the project consultants.</p>
Improve access provisions to Moreton Bay.	3.4.1	Infrastructure & Operations	On Track	<p>Council is developing a foreshore access policy and plan, to guide the provision of new and upgraded foreshore access infrastructure. Scoping and background information gathering has commenced.</p> <p>Council commenced the design for two new foreshore access ramps and the planning work for a new boat ramp, as well as the upgrade of land-side facilities at a number of existing boat ramps.</p>

4. Quandamooka Country

2023 Strategic Outcomes

4.1 Council's organisational and staff capacity to deliver positive outcomes for Aboriginal communities, including the Quandamooka People, is improved through policy, cultural awareness training and cultural heritage training for elected members and Council staff.

4.2 Council's and the community's respect and understanding of the Quandamooka Peoples' relationship with their traditional land and waters continue to improve.

4.3 Council continues to support and resource the delivery of commitments under the Indigenous Land Use Agreement (ILUA) with the Quandamooka People.

4.4 Council works with the Quandamooka Traditional Owners to help them achieve their goal of establishing North Stradbroke Island (Minjerribah) as a global eco-cultural tourism destination.

Significant Activity	Op Plan Ref	Key Accountable	Status	Comment
Implement culturally appropriate protocols and promote traditional knowledge.	4.1.1	Organisational Services	On Track	Twenty-four employees attended Quandamooka Cultural Day Training. An additional cultural training program, Neembeba Binung Gana (look, listen, understand) Elders Cultural Day, run by Minjerribah Moorgumpin Elders-in-Council began and was attended by 16 people. Numbers were slightly reduced due to COVID-19 restrictions.
Promote awareness and understanding of Quandamooka culture.	4.2.1	Organisational Services	On Track	Where known, Jandai language names were used in a variety of media communications, and a fortnightly acknowledgement of Redlands Coast Traditional Owners was included in print advertising. National Aborigines and Islanders Day Observance Committee Week activities in November 2020 were promoted through print and social media channels. Quandamooka culture and Council partnerships were noted throughout Council's 2019-2020 Annual Report. Business as usual practice of including acknowledgment of Country and Elders in speeches continued.
Promote Indigenous events and celebrate Quandamooka and Aboriginal and Torres Strait Islander culture.	4.2.2	Organisational Services	On Track	National Aborigines and Islanders Day Observance Committee (NAIDOC) week celebrations were held in November 2020. During NAIDOC celebrations Council unveiled the 'Kanara Malara - One People' vehicle wrap on its library courier van and named 26 employees as NAIDOC ambassadors. Joshua Walker and the Yulu Burri Ba dancers performed and a smoking ceremony was held. Aunty Merle performed a Welcome to Country at the NAIDOC Ambassadors event. Indigenous Information sessions continued to be delivered across the organisation.
Support delivery of Indigenous Land Use Agreement (ILUA) commitments.	4.3.1	Organisational Services	On Track	Council continued to manage the Indigenous Land Use Agreement (ILUA) sub-committees and monitor progress of ILUA activities. The 1st Quarter ILUA quarterly report for 2020-2021 year was presented to the Executive Leadership Team in October 2020.
Contribute to the implementation of the Queensland Government's Minjerribah Futures transition program and the Redland City Council Economic Development Framework 2014-2041.	4.4.1	Community & Customer Services	On Track	Council engaged with Quandamooka Yoolooburabee Corporation (QYAC) for the development of the new Corporate Plan that includes catalyst projects and key initiatives. Council also engaged with QYAC representatives on Minjerribah/North Stradbroke Island, undertook a tour of QYAC tourism facilities, and met with new Quandamooka tourism operators on the island to assist with marketing these facilities as well as tourism offerings.

5. Wise planning and design

2023 Strategic Outcomes

5.1 Growth and development in the city is sustainably managed through the adoption and implementation of the Redland City Plan and Local Government Infrastructure Plan.

5.2 Redland City's character and liveability are enhanced through a program of master planning, place-making and centre improvement strategies, including maximising opportunities through the catalyst Toondah Harbour Priority Development Area and Redlands Health and Wellness Precinct projects to build a strong and connected Cleveland.

5.3 An effective and efficient development assessment process delivers quality development that is consistent with legislation, best practice and community expectations.

5.4 Regional collaboration and targeted advocacy drives external funding for key infrastructure upgrades and enhanced community outcomes.

Significant Activity	Op Plan Ref	Key Accountable	Status	Comment
Manage planning for transport initiatives and services across Redlands Coast.	5.1.1	Community & Customer Services	On Track	The second deployment of the RACQ Smart Shuttle was initiated at Raby Bay. The objective of the Raby Bay deployment is to understand the capabilities of an autonomous vehicle in a more complex traffic environment, and its ability to operate as a passenger transport service.
Ensure infrastructure necessary to support growth across Redlands Coast is provided through the development assessment process and capital works program.	5.1.2	Community & Customer Services	On Track	Local Government Infrastructure Plan projects continued to be delivered as part of development approvals, and are progressively being scheduled through capital works programming and budget reviews for delivery by Council.
Develop a wastewater treatment plant strategy and master plan.	5.1.3	Infrastructure & Operations	On Track	The Redland City Council Wastewater Treatment Strategic Planning Study Draft Report was prepared and an internal review has commenced.
Develop solutions to upgrade the Capalaba Wastewater Treatment Plant.	5.1.4	Infrastructure & Operations	On Track	Upgrade solutions for the Capalaba Wastewater Treatment Plant have been considered in the Redland City Council Wastewater Treatment Strategic Planning Study Draft Report. While the Strategic Planning Study is being finalised, minor upgrades to allow for the continued operation of the current treatment plant have been identified and scheduled.
Finalise the Cleveland Centre Traffic and Transport Strategy.	5.1.5	Community & Customer Services	On Track	The Cleveland Centre Traffic and Transport Strategy has been renamed to the Cleveland Centre Local Area Transport Plan (Cleveland Centre LATP) to align with the Redlands Coast Transport Strategy. The draft LATP is currently being reviewed by the project team, and a community engagement campaign is in development.

Significant Activity	Op Plan Ref	Key Accountable	Status	Comment
Maintain the Redland City Plan to ensure it reflects best practice and is responsive to Redlands Coast community expectations.	5.1.6	Community & Customer Services	On Track	<p>An administrative and minor amendment of City Plan commenced on 18 November 2020. At the General Meeting on 4 November 2020 Council resolved to submit City Plan Major Amendment Package (04/20): Medium Density Residential zone code review to the Planning Minister for the purpose of completing a State interest review, in accordance with the process outlined in the Minister's Guideline and Rules. The proposed amendment will remain confidential until such time that it is released for public consultation, subject to Council and Ministerial approval or Council resolves not to proceed with the amendment.</p> <p>At the General Meeting on 2 December 2020 Council resolved to confirm the scope of potential amendments that may be included within the next General Major Amendment Package 02/20. Officers commenced investigating and drafting the content of the proposed general major amendment package, which will be presented in a report to a future general meeting. The content of the proposed General Major Amendment Package 02/20 will remain confidential until such time as it is released for public consultation or Council resolves not to proceed with the proposed amendment.</p>
Implement actions outlined in the Cleveland Centre Traffic and Transport Action Plan 2019-2020. (Carried forward 2019-2020)	5.1.7	Community & Customer Services	Monitor	Council resolved to commence a short-term parking trial in Cleveland CBD, which commenced in December 2020. The trial seeks to balance parking management options in the core of Cleveland CBD by providing short-term parking spaces.
Coordinate a place management program for key activity centres and contribute to master planning for precincts.	5.2.1	Community & Customer Services	On Track	Council noted the Redlands Health and Wellness Precinct (RHWP) Concept Design, Planning and Strategy Stage 3 Report and authorised further investigations for the delivery of the RHWP, which includes exploring further collaboration with project partners and key stakeholders. Council engaged a Manager Centres Program to develop a centre/precinct management and place making approach.
Coordinate planning and guidance for future development and infrastructure delivery for local areas across Redlands Coast.	5.2.2	Community & Customer Services	On Track	<p>Council is still awaiting approval from the Planning Minister to proceed to public consultation on the South West Victoria Point Local Plan – Major Amendment Package (05/19). Once received a further report will be presented to Council at a future general meeting to address any conditions which may be imposed by the Planning Minister, and to seek approval to commence public consultation.</p> <p>Council recently completed an initial round of public consultation on the draft preferred future land use intents for the Southern Thomlands Potential Future Growth Area. The consultation period ran from 28 September 2020 until 20 November 2020 during which time more than 200 submissions were received. Council officers are currently reviewing the submissions and will prepare a public submission report for consideration by Council at a future general meeting.</p>
Identify and protect places of European heritage significance.	5.2.3	Community & Customer Services	On Track	<p>A proposed major amendment to include additional properties in the Heritage Schedule (schedule 7) of City Plan recently completed public consultation in accordance with the requirements of the Queensland Heritage Act 1992 and the process identified in the Minister's Guidelines and Rules under the Planning Act 2016. The consultation period ran from 12 October 2020 to 4 December 2020, with 36 submissions being received.</p> <p>Council officers have commenced reviewing the submissions received and are preparing a public consultation report for consideration by Council at a future general meeting.</p>
Progress the Redlands Coast Adventure Sports Precinct Project.	5.2.4	Community & Customer Services	On Track	Council continued planning for the Redlands Coast Adventure Sports Precinct, an integrated Aquatic Centre and Olympic standard Canoe-Kayak Slalom facility to provide additional sport, recreation and emergency services education and training facilities for the city. Engagement was maintained with the State Government 2032 Olympic and Paralympic Games Taskforce regarding the event city opportunity for the precinct. A meeting of the Redlands Coast Adventure Sports Precinct Industry Stakeholder Reference Group was scheduled for 21 January 2021.

Significant Activity	Op Plan Ref	Key Accountable	Status	Comment
Maintain effective systems and processes that underpin quality and timely decision making for development applications.	5.3.1	Community & Customer Services	On Track	Ongoing improvement to systems and processes for development applications were made to ensure good decision making in a timely manner. This included refining event processes to accurately calculate legislative target dates automatically and scoping of a replacement system for PD Online to deliver a more user-friendly interface for customers seeking information on development applications within the city.
Contribute to implementation of a South East Queensland (SEQ) City Deal.	5.4.1	Community & Customer Services	On Track	The South East Queensland (SEQ) City Deal continued to be progressed through the Council of Mayors Economic Development Working Group. The State Government has confirmed it intends to progress the City Deal post-election.

6. Supportive and vibrant economy

2023 Strategic Outcomes

6.1 Council supports infrastructure that encourages business and tourism growth.

6.2 Redland City delivers events, activities and performances that bring economic and social benefits to the community.

6.3 Council's involvement in the State Government's North Stradbroke Island Economic Transition Committee supports and aligns with Council's strategic objectives, which help deliver long-term economic sustainability for North Stradbroke Island (Minjerrabah).

6.4 Council receives a return on the community's investment in land to enhance economic and community outcomes.

6.5 Growth in key sectors identified in Council's Economic Development Framework is supported through the development and implementation of action plans by the Industry Economic Development Advisory Board.

6.6 Development will be facilitated specifically in the Toondah Harbour Priority Development Area (PDA) and Weinam Creek PDA with a focus on economic growth.

Significant Activity	Op Plan Ref	Key Accountable	Status	Comment
Develop Redlands Coast Destination Management Plan 2021-2026.	6.1.1	Organisational Services	On Track	<p>Council continued the development of the new Redlands Coast Tourism Destination Management Plan 2021-2026, which included further consultation with industry stakeholders including the Redlands Coast Tourism Subcommittee, Brisbane Economic Development Agency and the principal consultant EarthCheck.</p> <p>Council continued to promote Redlands Coast in destination marketing initiatives including the development of visitor e-newsletters, Facebook, Instagram and the Visit Redlands Coast website and blogs to promote tourism experiences and events with posts viewed by more than 103,091 people. Council developed and promoted online blogs and media releases promoting local tourism experiences as Christmas gifts and places to explore on Redlands Coast during the school holidays.</p> <p>The Redlands Coast Tourism Subcommittee, chaired by Council and comprising tourism industry representatives, met twice.</p> <p>Council continued to partner with the Queensland Government's Department of Tourism, Innovation and Sport, Brisbane Economic Development Agency and Tourism and Events Queensland to promote North Stradbroke Island/Minjerrabah tourism business deals, special offers and experience development programs.</p> <p>The Redlands Coast Visitor Information Centre received more than 1,159 walk in, written and telephone visitor enquiries, and received more than 10,997 views on the tourism website. A total of 26,801 people were reached on Facebook with 32 posts, while 61,614 people were reached on Instagram with 34 posts.</p>
Implement the Redlands Coast Smart and Connected Cities Strategy.	6.1.2	Community & Customer Services	On Track	<p>Internal review of the draft Redlands Coast Smart and Connected City Strategy continued, with draft strategic objectives refined.</p>

Significant Activity	Op Plan Ref	Key Accountable	Status	Comment
Deliver actions in the Redland City Events Strategy and Action Plan 2017-2022.	6.2.1	Organisational Services	On Track	<p>Council continued to deliver actions in the Redland City Events Strategy and Action Plan 2017-2022 including further development of Council's online What's on calendar, Redlands Coast events portal and local event supplier register and further updates to the Redlands Coast Event Information Kit. Council delivered six COVID-19 safe events attended by more than 8,162 people. Events included the five-day Christmas on the Coast event, Diner en Rouge - Musique en Rouge, Mayoral Prayer Breakfast, Citizenship Ceremony and two internal events - the Mayor and CEO Employee Excellence Awards and the National Aborigines and Islanders Day Observance Committee (NAIDOC) Ambassador Event.</p> <p>Council facilitated the delivery of 17 community events attended by more than 11,200 people. Events included Queensland Triathlon Series, Redlands Coast Business and Job Expo, NAIDOC celebration and awards events, movies in the park and community music concerts in the park events and a variety of markets across Redlands Coast. Council continued to support local event operators to comply with the Queensland Government's COVID-19 restrictions on events and gatherings including three industry e-newsletters. Council officers conducted 18 Red Team meetings with community event organisers.</p>
Deliver events, activities and workshops that contribute to bringing economic and social benefits for the Redlands Coast community.	6.2.2	Community & Customer Services	On Track	<p>The majority of community networks that officers are involved in have moved to online platforms, which are functioning effectively. The Redlands Young Leaders Group continued to meet on a regular basis face-to-face with appropriate social distancing. The third Business Brews was held at Bacchus Brewery in Capalaba on 10 December 2020, with a range of speakers and attendees including 19 manufacturing businesses and government representatives. Council provided a Sponsorship Grant and supported the 2020 Redlands Coast Business and Job Expo, which was held on 19 November 2020 at the Alexandra Hills Hotel and Conference Centre.</p>
Continue to roll-out the city's new destination brand, Redlands Coast - Naturally Wonderful.	6.2.3	Organisational Services	On Track	<p>The Redlands Coast brand was promoted through a collaboration with the Victoria Point Shopping Centre in which the Redlands Coast app was used for an augmented reality Halloween experience. The experience involved shoppers downloading the Redland Coast App to do a virtual trick or treat through the centre, which provided a COVID-safe way for Redlands Coast to offer a Halloween experience to the community. Promotion of the event and the app occurred via social media, print and billboard advertising. The Halloween promotion resulted in 340 new user sign ups to the app, which brings the total users on the app to 1,905. The Redlands Coast brand also continued to generate awareness via two websites, social media and digital advertising as well as Council-owned bus shelters. In addition, the Redlands Coast brand was also heavily promoted through Council's end of year events including the Christmas by the Coast festival.</p>
Coordinate Redland City Council's involvement in the implementation of the Queensland Government's Minjerribah Futures transition program.	6.3.1	Community & Customer Services	On Track	<p>Council continued to work closely with the Queensland Government on the implementation of the Queensland Government's Minjerribah Futures Program.</p>
Identify and develop strategic opportunities for Redland City Council land holdings.	6.4.1	Community & Customer Services	On Track	<p>Redland Investment Corporation and the preferred developer, Shayher Group, continued working together during quarter two, to negotiate commercial agreements, refine the commercial proposal and the master plan for the Capalaba Town Centre redevelopment.</p>
Provide secretariat support for the Redland City Economic Development Advisory Board (EDAB).	6.5.1	Community & Customer Services	On Track	<p>The Redlands Economic Development Advisory Board Annual Report 2019-2020 and report on the 16th Economic Development Advisory Board Meeting was noted by Council at the General Meeting on 2 December 2020. Council also noted that a review of the Redlands Economic Development Advisory Board is to be undertaken, with a further report to be brought back to Council for consideration by 30 June 2021.</p>

Significant Activity	Op Plan Ref	Key Accountable	Status	Comment
Deliver industry-enabling action plans and a targeted investment attraction strategy.	6.5.2	Community & Customer Services	On Track	The Redlands Health and Wellness Precinct (RHWP) is a key initiative under the Redland City Health Care and Social Assistance Industry Sector Plan 2018-2023 as well as the Redland City Education and Training Industry Sector Plan 2018-2023. Council noted the Redlands Health and Wellness Precinct Concept Design, Planning and Strategy Stage 3 Report and authorised further investigations for the delivery of the RHWP including continued collaboration with project partners. The development of a draft Manufacturing Industry Sector Plan continued to be progressed, with stakeholder and industry engagement scheduled in the first quarter of 2021. Work on strengthening the network of manufacturing businesses through Business Brews event continued under the State Government's Regional Skills and Investment Strategy Program.
Review Redland City Council's economic recovery response to COVID-19.	6.5.3	Community & Customer Services	On Track	Council continued to develop the Social and Economic Recovery Plan, with targeted support mechanisms and assistance for business and community organisations. Council continued to work with key businesses and stakeholders through the Financial and Economic Recovery Taskforce, with its second meeting held on 5 November 2020. An update on the results of the business surveys and the impact of COVID-19 on various economic measures was presented at the meeting.
Facilitate the Toondah Harbour Priority Development Area (PDA) in partnership with Economic Development Queensland.	6.6.1	Community & Customer Services	On Track	The Toondah Harbour Priority Development Area Environment Impact Studies neared completion, with a draft set to be released to the public in early 2021.
Facilitate the development of the Weinam Creek Priority Development Area (PDA) in partnership with Economic Development Queensland.	6.6.2	Community & Customer Services	On Track	CCTV cameras were installed and operational at the Moores Road Car Park as part of Stage 1 of the Weinam Creek Priority Development Area (PDA) Revitalisation project, allowing the car park to be opened for use to the public. The master plan for the Weinam Creek PDA project was submitted to Economic Development Queensland, and will be assessed over the coming months.

7. Strong and connected communities

2023 Strategic Outcomes

7.1 Festivals, events and activities bring together and support greater connectivity between cross-sections of the community.

7.2 Council maximises community benefit from the use of its parklands and facilities by improving access to, and the quality and shared use of, public spaces and facilities by groups for sporting, recreational and community activities.

7.3 Council's assessment of community issues and needs provides timely opportunities to pursue grants and partnerships that realise long-term benefits.

7.4 Council supports volunteerism and participation in civic projects through clear and supportive Council processes to reduce red-tape, and engage and recruit volunteers for Council projects.

7.5 The community's preparedness for disasters is improved through community education, training and strong partnerships between Council and other agencies.

Significant Activity	Op Plan Ref	Key Accountable	Status	Comment
Celebrate the cultural life of Redlands Coast.	7.1.1	Community & Customer Services	On Track	<p>Council delivered six COVID-19 safe events attended by more than 8,162 people. Events included the five day Christmas on the Coast event, Diner en Rouge - Musique en Rouge, Mayoral Prayer Breakfast, Citizenship Ceremony and two internal events including the Mayor and CEO Employee Excellence Awards, and the NAIDOC Ambassador Event.</p> <p>Council facilitated delivery of 17 community events attended by more than 11,200 people. Events included Queensland Triathlon Series, Redlands Coast Business and Job Expo, NAIDOC celebration and awards events, movies in the park and community music concerts in the park events, and a variety of markets across Redlands Coast.</p> <p>At RPAC, community hirers continued to use the space including indelabilityarts, Leah Lever Band rehearsals and Diner en Rouge and Flipside Circus. A total of 52 internal Redland City Council meetings were held at RPAC utilising the Concert Hall, Events Hall and Auditorium. Eleven RPAC performances and events were held including NAIDOC Week Showcase, The Gruffalos Child, Dusty & the Divas, and Queensland Symphony Orchestra, with one commercial hire.</p>
Plan, provide and advocate for essential social infrastructure for Redlands Coast community activities.	7.2.1	Community & Customer Services	On Track	The draft Redlands Coast Age Friendly Action Plan 2021-2026 was finalised and presented to Council for feedback. Council commenced investigation of the activation of community purposed land in Capalaba to optimise the delivery of services for the Redlands Coast community. These services include, but are not limited to, government-subsidised community transportation for vulnerable persons, aged care services, and National Disability Insurance Scheme coordination for local residents. These investigations are intended to enhance access to services for people who are disadvantaged or are marginalised.
Improve sport and recreation club sustainability and strategic planning.	7.2.2	Infrastructure & Operations	On Track	Council continued to work closely with the 70 sport and recreation clubs across the mainland and coastal islands to provide support during COVID-19 restrictions. Club support has been about generating ideas for longer term financial sustainability, recovery planning and re-engagement strategies with members. Council has provided practical support through networking sessions, distributing grants and stimulus package information and financially supporting building compliance maintenance.
Plan for effective sport and recreation across Redlands Coast.	7.2.3	Infrastructure & Operations	On Track	The implementation of the Redlands Coast Sport and Recreation Precinct Master Plan continued with the completion of the fauna survey (summer season) report and the engagement of the principal contractor Aureon to complete the Concept Design plan. Planning for the optimisation of existing facilities for sport and recreation across Redlands Coast has progressed with the internal review of the draft action plan completed in late December. Suitable land identified to potentially meet the current and future sport and recreation needs is being progressed through the Property Investment Framework.

Significant Activity	Op Plan Ref	Key Accountable	Status	Comment
Plan for future uses of the Birkdale land and Willard's Farm sites.	7.2.4	Community & Customer Services	On Track	<p>Operational maintenance on site continued, with vegetation clean up managed in accordance with both the Heritage and Environmental Management plans.</p> <p>A Bushfire Hazard Assessment and Management Plan is being developed by Council officers in conjunction with external consultants specialising in sustainable asset management.</p> <p>Work commenced on future visioning for the site to enable a comprehensive regional-level community consultation process to be carried out in early 2021.</p>
Deliver Redland City Council's Grants and Sponsorship Program.	7.3.1	Community & Customer Services	On Track	The 2020-2021 Sponsorship Program assessment process was finalised, with eight sponsorship grants totalling \$67,862 being awarded. Quandamooka Cultural Awareness Funding totalling \$5,475 was awarded to recipients of this round. The 2020-2021 Community Grants Program has been designed to respond to the results of a survey of local community organisations on the impacts of COVID-19, and a review of the program by Council. The round is scheduled to open in February 2021.
Activate and engage the Redlands Coast community through programs and partnerships to encourage reading and all forms of literacy as part of the implementation of the Library Services Strategy 2017-2022.	7.3.2	Community & Customer Services	On Track	Redland libraries continued to operate under a COVID-19 Safe Plan, with people limits, contact tracing and other safety and sanitary arrangements in place. Amity Point is the only branch that remains closed to comply with public health directions related to COVID-19, however a home delivery service commenced, servicing 16 clients. Events, program and community outreach services resulted in 4,121 participants being engaged in literacy-focused programs and activities across the city. Programs included First 5 Forever, English as a second language group and book and Kanopy club. Libraries attended Christmas by the Coast to promote the library service engaging 660 attendees over five nights. Social media engagement continued, with online programming including story time and author talks. The mainland home library service for people who are unable to leave their homes due to illness and nursing home residents also commenced. Pop-up libraries commenced with limited capacity due to COVID-19 restrictions.
Continue to review volunteer engagement in Redland City Council.	7.4.1	People, Culture and Organisational Performance	Monitor	There have been no placements made in the volunteering placements due to COVID-19 restrictions.
Build disaster resilience.	7.5.1	Organisational Services	On Track	During quarter two, training was provided to Council staff in Evacuation Centre Management, Disaster Recovery Funding Arrangements and Coordinating Teams Operating in Disasters Masterclass. Evacuation Centre Management training and season planning was also undertaken with Community Champions and Disaster Chaplains. The Local Disaster Management Group meeting was held in November to discuss season preparedness and receive a weather briefing from the Bureau of Meteorology. Council, along with the Mount Cotton Rural Fire Mitigation Brigade and State Emergency Services (SES) attended the Mount Cotton Movie in the Park event to provide community engagement and education in the areas of bushfire and storm season preparedness. The Local Government Association of Queensland, in conjunction with Redlands Centre For Women and Council, delivered a Domestic Family Violence (DFV) Awareness program to Community Champions so that they are able to identify and refer victims of DFV to the appropriate organisation for help.
Review Redland City Council's community recovery response to COVID-19.	7.5.2	Community & Customer Services	On Track	The Redlands Coast Community Resilience Project progressed, and a vulnerability and risk assessment and social maturity and ecosystem mapping was undertaken. The criticality of the role of network coordinators to community resilience was identified. Council continued to work with key community stakeholders through the Community Recovery Taskforce, with its second meeting on 5 November 2020. Council provided an update on the results of the community surveys and the impact of COVID-19 on various economic measures.

8. Inclusive and ethical governance

2023 Strategic Outcomes

8.1 Council's Information Management Strategy and technology systems are engineered to increase efficiency and provide excellent customer service outcomes.

8.2 Council produces and delivers against sustainable financial forecasts as a result of best practice Capital and Asset Management Plans that guide project planning and service delivery across the city.

8.3 Implementation of the Corporate Plan is well coordinated across Council and through a delivery mechanism that provides clear line of sight, accountability and performance measurement for all employees.

8.4 A continuous improvement focus underpins the organisation, creating a supportive environment for ideas and positive, well-managed change that enhances internal and external outcomes.

8.5 Council uses meaningful tools to engage with the community on diverse issues so that the community is well informed and can contribute to decision making.

Significant Activity	Op Plan Ref	Key Accountable	Status	Comment
Build on Redland City Council's software digital transformation.	8.1.1	Organisational Services	On Track	Dedicated project teams are currently working towards enhancing Council's core financial management system and corporate performance and strategy system. This will provide significant efficiencies to operations. Council commenced internal engagement and consultation to define and draft the new Information and Communication Technology Strategy for 2020-2023 focusing on technology and digitisation as key focus areas. The roll-out of Council's strategic fibre optic network is underway with procurement and design now complete.
Improve Redland City Council asset management	8.2.1	Organisational Services	On Track	Asset and service management planning has been completed. This resulted in a significant improvement in recognising and managing the risks associated with Council assets, developing improved 10-year capital and operational plans to inform Council's long term financial plan. Whole of Council training was completed in geographic information systems and Council's internal Red-E-Map portal. Council continued to define asset accountability and responsibilities to build on Council's Asset Management capability.
Develop and implement a new corporate plan.	8.3.1	People, Culture and Organisational Performance	On Track	Council engaged with the community on the draft Our Future Redlands – A Corporate Plan to 2026 and Beyond. Feedback was received from 653 participants through the online Your Say survey, 10 facilitated stakeholder workshops and manual submissions and emails. All feedback was reviewed and analysed to inform changes to the draft plan. At the General Meeting on 16 December 2020, Council adopted the Our Future Redlands – A Corporate Plan to 2026 and Beyond to commence on 1 July 2021.
Improve strategic alignment and delivery.	8.3.2	People, Culture and Organisational Performance	On Track	Council's new corporate plan included Council's services identified in our Corporate Service Portfolio to support improved alignment between our long term vision and goals and the services we deliver. Development of a new corporate performance reporting system continued which will support improved alignment for performance analysis and evaluation.
Improve alignment between individual and Redland City Council performance.	8.3.3	People, Culture and Organisational Performance	On Track	Performance goals and development plans are continuing with guides and messaging to remind and support participation in place.

Significant Activity	Op Plan Ref	Key Accountable	Status	Comment
Deliver the Procurement Transformation Program.	8.3.4	Organisational Services	On Track	The Procurement Transformation Program is on schedule with key activities undertaken during quarter two including the publication of a supplier newsletter, the expansion of local benefit evaluation criteria, increasing contract manager performance reporting, development of procure safety training package, testing of an online cloud-based Procurement Portal and recruitment of a procurement category specialist.
Prioritise, define and manage Redland City Council's portfolio of projects.	8.3.5	Organisational Services	On Track	The 2020-2021 financial year capital portfolio is being delivered in accordance with program and project plans. The impact of recent wet weather and stimulus funding on delivery was evaluated and adjustments made through approved processes (Exception Reporting and Budget Review). Portfolio management was facilitated through the P3 Portal and Portfolio, Program and Project governance forums. Development began on the 2021-2022, 2022-2023 and 2023-2024 financial year capital portfolios in consultation with the Capital Investment Working Group.
Continue to build a diverse and inclusive culture that enables cooperation, innovation and change to enhance outcomes.	8.4.1	People, Culture and Organisational Performance	On Track	Further diversity and inclusion objectives have been promoted in the draft People Strategy 2021-2026. The change portfolio is continuing with no new change projects added during the quarter.
Support and enable improvement and innovation.	8.4.2	People, Culture and Organisational Performance	On Track	<p>Council finalised and communicated an organisational approach to managing benefits. A program of 134 business improvement initiatives from light touch service review workshops was launched, designed to deliver value, benefits and maximise community outcomes. Early benefits have enabled further improvement initiatives in the space of pest management and asset management.</p> <p>A business improvement workshop with 13 participants was facilitated to improve customer experience and outcomes relating to tree management. Eight officers participated in training to develop innovation capability.</p>
Conduct community engagement on a diverse range of issues.	8.5.1	Organisational Services	On Track	Council engaged the community on key strategic projects including Corporate Plan, Southern Thomlands Investigative Planning Area and Commercial Use of Open Space (State Land), as well as numerous smaller community engagement projects related to park upgrades, local law amendments and parking trials. Council used a range of engagement tools including its Your Say Redlands Coast website, surveys, social media, phone, email and mail.

13.3 AMENDMENTS - REGISTER OF ANIMALS IN PUBLIC PLACES**Objective Reference:** A5268083**Authorising Officer:** Deborah Corbett-Hall, Acting General Manager, Organisational Services**Responsible Officer:** Tony Beynon, Group Manager Corporate Governance**Report Author:** Kristene Viller, Senior Advisor Administrative Review**Attachments:**
1. **Community Consultation Submission Review** [↓](#)
2. **Register of Animals in Public Places** [↓](#)**PURPOSE**

To:

1. Present the results of the community consultation process that was undertaken for the Register of Animals in Public Places (the Register)
2. Recommend amendments to the Register of Animals in Public Places

The Register is a requirement of *Local Law No. 2 (Animal Management) 2015*.

BACKGROUND

At the General Meeting on 4 November 2020, Council resolved to undertake a community consultation process on proposed changes to the Register of Animals in Public Places that is kept in accordance with *Local Law No. 2 (Animal Management) 2015*. Those amendments included:

- Reducing the number of locations across the city that animals are prohibited
- Reducing the number of locations where restrictions apply to animals

The result of these changes will be that dogs will be able to be taken on lead to locations that they were previously prohibited or they will be able to be taken on lead to locations at times or on days when they were previously restricted.

ISSUESCommunity Consultation

Community Consultation was conducted between 9 November and 6 December 2020. The results of the consultation are contained in Attachment 1. The community consultation recorded 348 properly made submissions. Analysis of the data indicates that the community is divided on the issue of animals in public places.

Following the community consultation a number of changes have been made to the proposed amendments, these are reflected in the below table.

Current Prohibited Areas at any time for dogs	What has proposed and went out to community consultation	What is recommended following community consultation
Wellington Point Reserve	Remove prohibition in the picnic area and playground. The prohibition is being removed on the designated swimming beach however the prohibition on bathing reserves remains.	Proceed with changes on a six month trial basis
Beth Boyd Park, Thorneside	Remove prohibition in the park area, retention of the prohibition on the foreshore/seashore.	Proceed with changes

Current Prohibited Areas at any time for dogs	What has proposed and went out to community consultation	What is recommended following community consultation
Redland Bay Esplanade, Redland Bay (where Grey Street and Bay Street intersect)	Remove prohibition on the foreshore/seashore.	Proceed with changes
Swamp Box, Capalaba	Remove prohibition and allow dogs at any time on lead.	Leave prohibition in place

Current Restricted areas during specified times for dogs	What was proposed and went out to community consultation	What is recommended following community consultation
Yeo park, Victoria Point	Remove restriction and allow dogs at any time on lead	Proceed with changes
Wellington Point Reserve	Remove restriction and allow dogs at any time on lead	Proceed with changes on a six month trial basis
Foreshore and seashore at the end of Wilson Street Victoria Point	Remove restriction and allow dogs at any time on lead	Proceed with changes

Current Prohibited areas from bringing a horse, camel or donkey	What has proposed and went out to community consultation	What is recommended following community consultation
Redlands Coast	Inclusion of the foreshore and seashore in front of swimming enclosures.	Proceed with change – this is administrative to allow for consistency with drafting language.

Implementation

Upon resolving to make the amendments to the Register of Animals in Public Places, the updated register will be placed on Council's website with the changes coming into effect immediately. It will take compliance services approximately 1 week to remove the signage from the impacted locations.

STRATEGIC IMPLICATIONS

Legislative Requirements

Local Law No. 2 (Animal Management) 2015, section 9(1) provides for the local government by resolution to specify public places where animals are prohibited. Section 9(2) requires that before making a resolution the community is consulted for a period of at least 21 days. The Community Consultation undertaken is in accordance with this requirement. Section 9(6) requires that the local government keep a record identifying the prohibited or restricted areas and the restrictions imposed. The amended Register of Animals in Public Places attached to this report (Attachment 2) has been updated to reflect the changes recommended in this report.

Risk Management

The amendments to the Register of Animals in Public Places has been undertaken in accordance with the requirements of *Local Law No. 2 (Animal Management) 2015*.

Financial

The costs associated with making the amendments to the Register of Animals in Public Places has been funded through existing budget allocations within the Strategy and Governance Unit.

People

The Compliance Services Unit will be required to monitor compliance with the 'on leash' requirement following the initial lifting of restrictions. Local Laws and Compliance Services will be required to capture data in relation to the trial at Wellington Point Reserve to determine success or failure.

Environmental

There are no environmental implications.

Social

Local Government provides for the good governance of the local government area through its local laws. The Register of Animals in Public Places attached to this report has the potential to impact members of the Redlands Coast community.

The community was provided the opportunity to provide feedback on the changes as part of the community consultation. The feedback received is summarised in the Community Consultation Submission Review (Attachment 1).

Following resolution to make the changes to the Register of Animals in Public Places an update of the outcome will be placed on the YourSay page, all those parties that made a submission and provided contact details will receive a response outlining the decision.

Human Rights

There are no Human Rights implications to the proposed amendments.

Alignment with Council's Policy and Plans

The process for amending the Register of Animals in Public Places is in keeping with Council's Corporate Plan Priority 8 Inclusive and Ethical Governance for deep engagement, quality leadership at all levels, transparent and accountable democratic processes and a spirit of partnership between the community and Council.

CONSULTATION

Consulted	Consultation Date	Comments/Actions
Service Manager Civic and Open Space Asset Management	September – October 2020	Participated in the review of the Register to determine amendments.
Senior Advisor Open Space Strategy	September – October 2020	Participated in the review of the Register to determine amendments.
Service Manager Compliance Services	September 2020 – February 2021	Participated in the review of the Register to determine amendments. Reviewed the Community Consultation Submission Report and provided recommendations.

Consulted	Consultation Date	Comments/Actions
Senior Advisor Administrative Review	November 2020 – February 2021	Drafted amendments to the Register of Animals in Public Places. Facilitated the Community Consultation and drafted the community consultation submission review report.
Senior Advisor Community Engagement	November 2020 – January 2021	Developed YourSay page and questions, facilitated the RCB advertisement and provided advice on analysis of data.
Group Manager Environment and Regulation	February 2021	Reviewed the Community Consultation Submission Report and approved report.
Group Manager Corporate Governance	February 2021	Reviewed and approved report.

OPTIONS

Option One

That Council resolves as follows:

1. To receive and note the Community Consultation Submission Review (Attachment 1).
2. To make the amendments to the Register of Animals in Public Places (Attachment 2).
3. To give notice of the changes by making the updated Register of Animals in Public Places available on Council's website and by publishing and advertisement in the Redland City Bulletin and accompanying media release.

Option Two

That Council resolves not to make the amendments to the Register of Animals in Public Places.

OFFICER'S RECOMMENDATION

That Council resolves as follows:

1. To receive and note the Community Consultation Submission Review (Attachment 1).
2. To make the amendments to the Register of Animals in Public Places (Attachment 2).
3. To give notice of the changes by making the updated Register of Animals in Public Places available on Council's website and by publishing and advertisement in the Redland City Bulletin and accompanying media release

COUNCIL RESOLUTION 2021/62

Moved by: Cr Peter Mitchell

Seconded by: Cr Wendy Boglary

That Council resolves as follows:

1. To receive and note the Community Consultation Submission Review (Attachment 1).
2. To make the amendments to the Register of Animals in Public Places (Attachment 2) as amended.
3. To give notice of the changes by making the updated Register of Animals in Public Places available on Council's website and by publishing and advertisement in the Redland City Bulletin and accompanying media release.

CARRIED 11/0

Crs Karen Williams, Wendy Boglary, Peter Mitchell, Paul Gollè, Lance Hewlett, Mark Edwards, Julie Talty, Rowanne McKenzie, Tracey Huges, Adelia Berridge and Paul Bishop voted FOR the motion.

Register of Animals in Public Places

Community Consultation Report

Prepared by Corporate Governance
February 2021



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Executive summary

This document provides an overview of the community consultation activities and feedback that occurred in relation to Redland City Council's proposed amendments to the Register of Animals in Public Places.

During 2020, Redland City Council undertook a stakeholder consultation to review the Register of Animals in Public Places, this consultation resulted in a number of proposed amendments that would reduce the number of areas where animals are prohibited or restricted.

In November – December 2020 those proposed amendments were presented to the community and feedback sought.

Council received 348 submissions. Not all submissions have been considered in the analysis presented in this report as although properly made they did not relate to the proposed amendments. The feedback has been included for reference.

Background

On February 26, 2020 a report, item 6.2 was presented to Council which proposed a relaxation of the restrictions on dogs at Wellington Point Reserve. Councillors voted to withdraw this report in favour of a city wide review of animals in public places.

In November 2020, Council resolved to undertake community consultation on the proposed changes. The amendments proposed areas where the prohibition and restrictions on animals could be lifted. Those changes included:

Prohibited Areas at any time for dogs	What has changed
Wellington Point Reserve	Removal of the prohibition in the picnic area and playground. There is an overarching provision on playgrounds in the local law that will apply. The prohibition is being removed on the 'designated swimming beach' however the prohibition on bathing reserves remains so dogs will still not be allowed in this area.
Beth Boyd Park, Thorneside	Remove prohibition in the park area, retention of the prohibition on the foreshore/seashore.
Redland Bay Esplanade, Redland Bay (where Grey Street and Bay Street intersect)	Remove prohibition on the foreshore/seashore.
Swamp Box, Capalaba	Remove prohibition and allow dogs at any time on lead.

Restricted areas during specified times for dogs	What has changed?
Yeo park, Victoria Point	Remove restriction and allow dogs at any time on lead
Wellington Point Reserve	Remove restriction and allow dogs at any time on lead
Foreshore and seashore at the end of Wilson Street Victoria Point	Remove restriction and allow dogs at any time on lead
Prohibited from bringing a horse, camel or donkey	What has changed?
Redlands Coast	Inclusion of the foreshore and seashore in front of swimming enclosures.

Community Consultation Summary

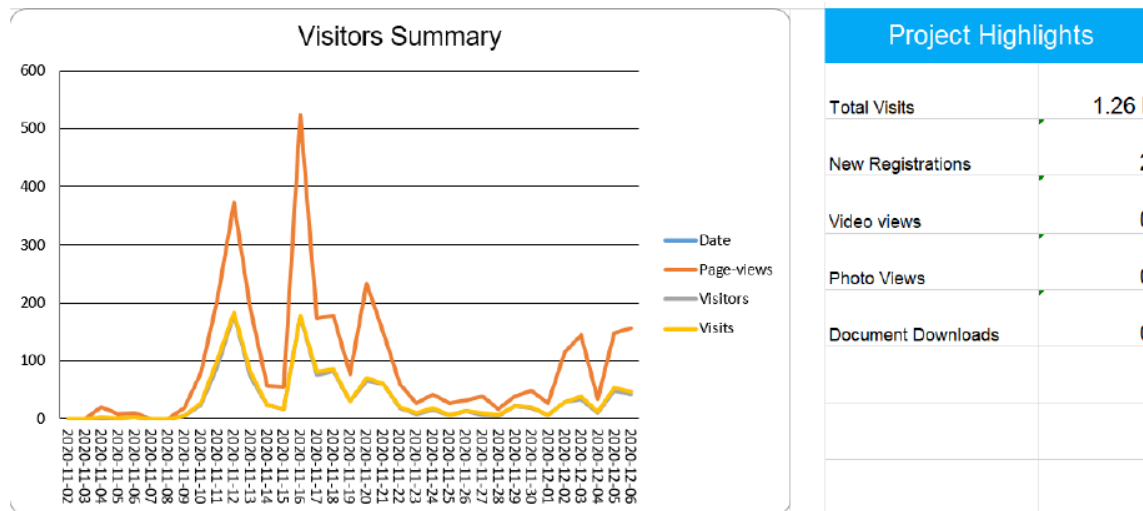
Community consultation opened on 9 November 2020 and closed 6 December 2020.

The community consultation was conducted using the IAP2's Public Participation Spectrum. The spectrum is designed to assist with the selection of the level of participation that defines the public's role in any community engagement program. This community engagement was conducted using the 'Consult' level of participation with the goal being to provide the public opportunity to provide feedback on the proposed changes that would be incorporated into a final report used to support the recommendations.

Consultation was promoted through newspaper advertising, social media and signage at Wellington Point Reserve, Beth Boyd Park, Yeo Park and Raby Bay Esplanade Park. To encourage participation across all stakeholder groups, a variety of feedback mechanisms were provided, including online (through the yoursay page), in person at Council customer service centres and via email to the corporate email address.

A total of 348 properly made submissions were received.

Summary of Visitors to the Yoursay site



ENGAGED PARTICIPANTS	334		
Engaged Actions Performed	Registered	Unverified	Anonymous
Contributed on Forums	0	0	0
Participated in Surveys	35	1	298
Contributed to Newsfeeds	0	0	0
Participated in Quick Polls	0	0	0
Posted on Guestbooks	0	0	0
Contributed to Stories	0	0	0
Asked Questions	0	0	0
Placed Pins on Places	0	0	0
Contributed to Ideas	0	0	0

INFORMED PARTICIPANTS		672
Informed Actions Performed		Participants
Viewed a video		0
Viewed a photo		0
Downloaded a document		0
Visited the Key Dates page		8
Visited an FAQ list Page		324
Visited Instagram Page		0
Visited Multiple Project Pages		351
Contributed to a tool (engaged	334	

AWARE PARTICIPANTS		1,120
Aware Actions Performed	Participants	
Visited at least one Page	1,120	

Traffic-Channel	Aware-Visits	Informed-Visits	Engaged-Visits
Direct	269	130	67
Referrals	16	11	5
Referrals	2	2	1
Referrals	1	1	0
Referrals	11	10	2
Referrals	6	5	4
Search Engine	6	4	3
Search Engine	1	1	0
Search Engine	99	75	48
Social	780	425	171
.GOV sites	69	57	32
Email	1	1	1

Community Consultation Metrics

Awareness and participation from the community was strong from the commencement. The percentage of visitors who completed the survey is very high at 27% (close to three times the completion rate we typically see), indicating how highly engaged / invested participants are in the outcome.

Community Consultation Metrics	
Activities Driving Awareness	Metrics
Bulletin Advertisement	1
Signs Placed at Wellington Point Reserve, Raby Bay Foreshore, Thomlands Park	5
Participation Activities	
Facebook post shares, likes and reactions (RCC)	66
Yoursay page visits	1120
Yoursay documents views and downloads	351
Participants Providing Properly made submissions/feedback	
Yoursay contributions	339
Emails	9

Data Review

The engagement provided the community with the opportunity to provide feedback on the proposed amendments to the Register of Animals in Public Places. The amendments included:

1. Removing the prohibition and allowing dogs on lead in the park area on Beth Boyd Park, Thorneside but retain prohibition on the foreshore/seashore.
2. Removing the prohibition and allow dogs on lead on the foreshore/seashore at Redland Bay Esplanade, Redland Bay (where Grey and Bay streets intersect).
3. Removing the prohibition and allow dogs at any time on lead – Swamp Box, Capalaba.
4. Removing the restriction and allow dogs at any time on lead – Yeo Park, Victoria Point; Wellington Point Reserve; and foreshore and seashore at the end of Wilson Street Victoria Point.
5. Include the foreshore/seashore in front of swimming enclosures in Redlands Coast as prohibited areas for horses, camels and donkeys.

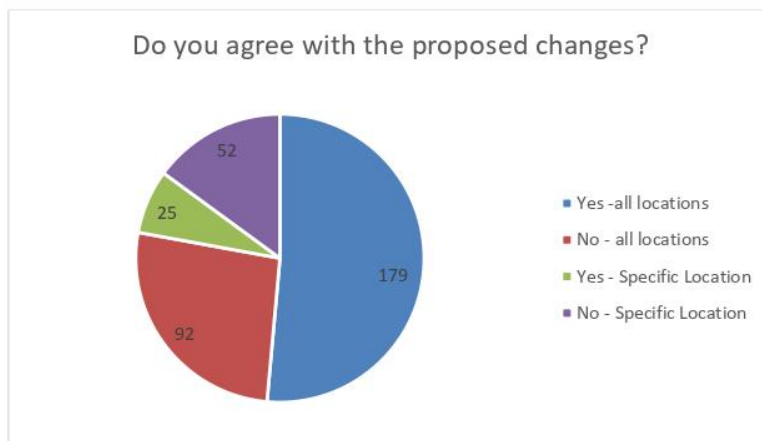
The question posed in the community consultation asked “Do you agree with the proposed changes”, the amendments were explained in the FAQ’s available on the YourSay site and a copy of the draft Register of Animals in Public Places was also available for the community to review on the site prior to answering the questions.

Submitters were then asked to provide reasons for their response and whether or not they agreed with the amendments in all the locations or just a specific location.

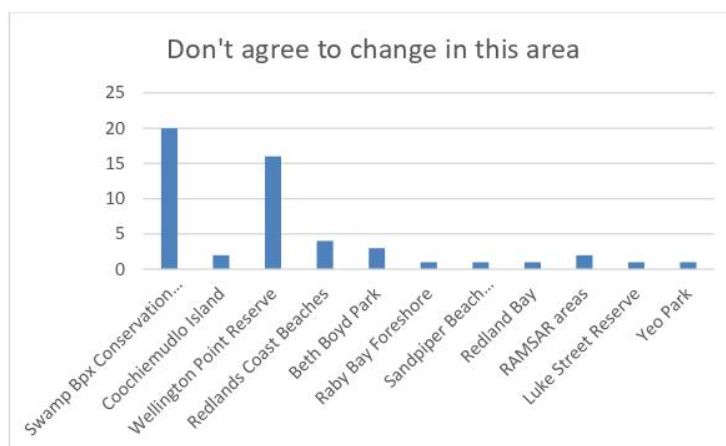
There was an additional opportunity provided for submitters to suggest other areas where restrictions or prohibition should be implemented as well as raise any issues that Council should consider in regards to animal management across the city.

Results

Of the 339 submissions, there were 179 received that agreed with the changes in all the locations specified and 92 that disagreed with the changes specified at all locations.

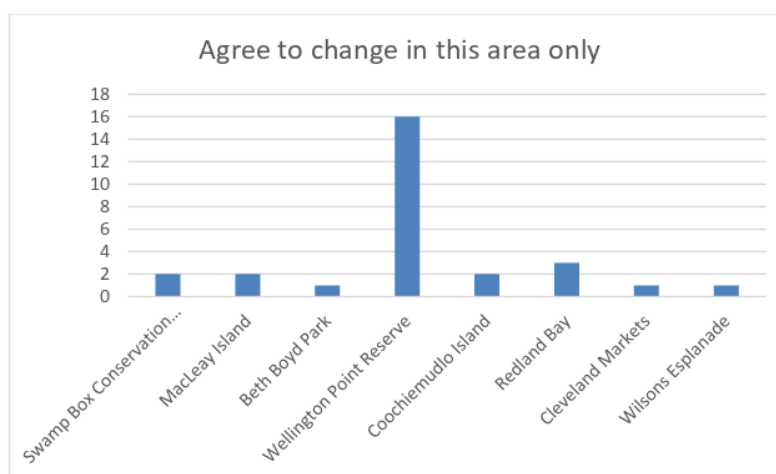


A further 52 submitters, disagreed with the changes to the specific locations identified in the below table.



It should be noted no changes were proposed to Coochiemudlo Island, Raby Bay Foreshore, Sandpiper Beach or Luke Street Reserve.

There were 25 submitters that agreed with the changes to the below locations only.



It should be noted no changes were proposed to Macleay Island, Coochiemudlo Island or the Cleveland Markets.

A summary of that feedback is contained in Appendix A

Recommendation

Analysis of the data received demonstrates that the community is divided on the issue of animals in public places. Community safety and hygiene are the two main reasons for opposing lifting the restrictions whilst socialisation and companionship are two of the main drivers in favour of lifting the restrictions. Both sides are passionate about the issue. There was some confusion noted in the responses with submissions commenting on changes that are not being proposed such as dogs being off leash in areas other than DOLA's.

The community as a whole whether in favour or against the restrictions were clear in their views, and are seeking an increased presence in the community by compliance officers to manage the current restrictions, specifically noting dogs of leash and dogs at Wellington Point on weekends. A large number of submitters felt that increasing the places and times that animals can be in public places without increasing our compliance management will only result in an increase in offenders with no corresponding increase in compliance actions. Improved signage at all locations was also raised as an opportunity to improve compliance.

For those submissions which were conditional, there were two locations that the data indicates the community is less favourable to lifting restrictions, these being Swampbox Conservation Area and Wellington Point Reserve. In both locations submitters cited environmental impacts as a reason for not lifting the restrictions.

Wellington Point Reserve was an area that the community was clearly divided on, some felt that the area is already very busy particularly on weekends and that its appeal as a family friendly location would be jeopardised by allowing dogs at the reserve more often. Others felt that the inclusion of dogs increased the family friendly inclusive environment. There appears to be confusion around dogs off leash on the sandbar to King Island and whether or not this is a dog off leash area; furthermore there were a number of submissions suggesting that Council consider a DOLA on the eastern side of the reserve.

Based on the data it is recommended that Council:

1. Accept all proposed changes to the Register of Animals in Public Places with the following exceptions:
 - Retain Swamp Box Conservation Area as a prohibited area for dogs;
 - Undertake a six month trial to allow dogs on lead at all times in Wellington Point Reserve.
2. Review the signage at all locations for placement and ease of understanding; and
3. Review current compliance regime in light of the community feedback.

Appendix A

The community consultation sought to understand the community's position on the proposed local law changes to The Register of Animals in Public Places.

The below feedback was received via the YourSay page.

Feedback provided to support the Yes submissions

Those submissions in support of the proposed changes described their reasons for lifting the restrictions were for the benefit of companionship, exercise, dog socialisation and personal protection. These reasons have been captured below.

Commentary
So many people from outside the Redlands visit & have no idea about these laws.
Just an amazing enjoyable exciting time spent with your pup! Also great teaching for socialising!
The interactions with 99% of the community are much more likely to occur when walking a dog. All dog walkers and most other people will stop for a chat. This improves community wellbeing and the mental health of all
Not being able to take my dog to certain areas curtails my ability to meet friends for social outings. If dogs are well behaved, kept on a lead and do not interfere with others, there should be no reason to exclude them from any area. The ability of most people to move about freely with their dogs should not be hindered by the few 'bad' owners who do not follow the rules.
Dogs need to be able to run around both on and off lead.
Socialising the dog also with people of all ages, particularly children. Setting rules, boundaries and limitations for the dog to learn whilst out in the community
It allows for dogs to go through new environments for exercise and enrichment. Happy dogs are quiet dogs! It also allows for people who work longer hours to use the areas in times that suit them.
Some dogs are used for emotional support but are not trained/classified as assistance or therapy dogs
My daughter has Asperger's and does not go anywhere without her dog. She is not an assistance dog.
We should be allowed to go to and enjoy all the bayside areas with our dogs. (while on a lead and owners should also clean up after the dog)
I have two dogs that I walk off lead regular on an electric leash which has full control of my dog. Plus with extra guidance and proper training dogs can behave off lead in parks and forest areas where animals are, we walk past numbers of wallabies kangaroos ducks other dogs and if I don't

Commentary
want my dog to go approach then they won't I can walk on main roads etc off lead I know there's many opinions on off lead but more places should be available for our pups
I am a responsible dog owner who has always registered my dogs since 1997 when I moved to Birkdale. I have ALWAYS picked up their droppings (thanks for the bags) etc and would appreciate more freedom and more places to walk and swim my dog.
Dogs are just a part of a family as kids are and should be included.
To spend time with the entire family instead of being left at home, they are more often than not members of the family
Dogs are a large part of a lot of people's lives. The area would be a lot busier if dogs were allowed in more places which will also lift the local economy.
Great for people's mental health and that dogs are just amazing and should be allowed everywhere (as long as they are friendly and well socialised).
Dogs are a part of our family and we love to take them exploring and on picnics
2 additional reasons: 1) the emphasis should be on dogs being supervised and controlled not leads. Any visit to a dog beach (or Europe!) will show you that the more you accept and integrate dogs the happier everyone is. 2) the incidents of aggressive dog behaviours is on the increase because dogs are locked in properties and suffer from lack of stimulation, socialization and exercise (ask a vet). This is a cruelty matter.
Dogs are part of the family, a family walk includes the dog.
They are family & should be allowed everywhere
They are a family member!
Recreation on the weekend and our dogs are very much a part of our family.
Companionship, Attachment between dog and owner
More choices, more flexibility
Allowing dogs to cool down in waters edge
Animals need a variety of spaces to enjoy with their owners.
Continues to protect vulnerable areas, doesn't limit dog owners with time constraints
People want to be able to take their dogs with them when they go out.
Like my kids, I like to take my dog along with me for all the above reasons but not personal protection. Having grown up in UK it's a natural freedom to me

Feedback provided to support the No submissions

Those submissions opposing the lifting of the restrictions were concerned with safety, hygiene and inconsistency with environmental values. These reasons have been captured below.

Commentary
We live at Oyster point where birds roost + a koala area - we would like the area designated for people only because a large number of pet owners bring their dogs on a lead and let them off the leads and the dogs chase the shore birds and curlews and koalas. Unless there is large fines and designated safe areas -dogs should not be allowed in such areas. Let us care about the safety of all.
Inability of dog owners to follow the rules.
Too many dog owners violate Local Laws by letting their dogs' off-leash, causing nuisance to other people, interfering with children especially playing on park equipment, and people trying to enjoy a barbeque or other meal. My granddaughter was injured when an off-leash large dog became too friendly and scratched her upper chest and arm. Dogs running free in areas adjacent to bushland often enter the bush where they interfere with wildlife, chasing birds and lizards. If off-leash, dogs will chase birds whenever and wherever they see them. When more than one dog is present and running free, the barking and activity increases, exacerbating the nuisance. Too many owners allow their dogs to defecate wherever they please without the owner collecting the faeces. This results in many public spaces being increasingly polluted with wet, drying, and dried faeces. A nuisance not covered by Local Laws is the regular and copious accumulations of dog urine in public places. Any vertical surface seems to encourage dogs to urinate. This includes all trees, fence posts, play-ground equipment, and barbeques when a dog is running free. Dog owners know the chance of being caught violating Local Laws is essentially non-existent because Council officers are rarely present and Council discourages public complainants by making them jump through too many hoops. The consequence is that increasingly vocal dog owners are starting to dominate neighbourhoods and public spaces to the detriment of the silent majority who wish only for general peace and quiet and the right to enjoy beaches, parks, and other neighbourhood amenities without the distraction of dogs.
I regularly have to clean up dog poo on my footpath and front yard.
Inconsistent with environmental values, Hygiene, There enough dog areas at present. Many dog owners already pay no attention to signage indicating 'no dogs' or 'on lead areas'. If you remove restrictions or prohibitions, you will get far more instances of this, and consequently more dog fouling as people who ignore signage often do not pick up after their dogs either.
our privacy
I doubt the changes will have any impact as dog owners already breach the laws. Case in point - Wellington Point - owners let their dogs off leash any time of day when the signs specify they should be kept on leash and only at specific times of day. The rules are there but everyone ignores them and no one is there to uphold the law. Some people put a leash on their dog so they can't be fined, then let them roam free with the leash left on. Some have extension leashes anyway which let the dogs go as if they were not on leash. Hygiene - I take my kids to Aquatic Paradise East Park. We have to be careful where we walk due to irresponsible dog owners not

Commentary
<p>picking up after their dog. Some, probably most, dog owners are good and obey the rules. It is the few who are not that will spoil it for the good ones. These are the ones who need to be targeted.</p>
<p>I frequent the council parks and foreshore for exercise and relaxation. From experience I have found that not all dog owners keep their dogs under control, on a lead, or on a short lead. Some do not clean up after their dog. Some allow their dogs to roam the paths freely causing a hazard. Some allow their dogs to come right up to me, sniff around and try to jump up me. The owner is all smiles saying their dog is being friendly, they are oblivious to the fact that I have had to come to a sudden halt as their dog was a hazard to me. I'm then left standing there scared stiff and saying politely to the owner that I'm scared of dogs. Please can you move it away from me. The owner is always persistent that their dog won't hurt me and laughs at my reaction. If the dog is not on a lead and I have said the dog should be, I'm either met with abuse or advised its ok it won't hurt anybody. Because of these reasons I think the restrictions should stay as they are so that persons who do not want to be near dogs can choose to frequent these places when no dogs will be there.</p>
<p>If people want dogs they should keep them on their own property. If Council wishes to bend over to give dogs priority in Redlands, then dog parks are more than enough</p>
<p>Dogs have been companions to humans for tens of thousands of years. Get used to it.</p>
<p>The current by-laws are very much a joke, as there is no responsibility taken by the Redland City Council (RCC) to employ anyone to properly enforce and prosecute the many, many breaches by irresponsible and entitled dog owners. If the current rules are not enforced (and they are NOT), by relaxing the rules will only empower more dog owners to ignore hygiene and safety factors without fear of being challenged or prosecuted by the proper authority, which is the RCC. Unfortunate consequences of injury and increased dog excreta will invariably lead to more aggression and anger by those who simply want to enjoy Wellington Point without fearing to tread on dog excreta or without fear of being bitten, barked or snarled at, or even urinated on, and having to move right out of the way of a number of dogs running free off the leech, with the entitled owner knowing that they will not be challenged. Roaming dogs and their entitled owners can be very intimidating and even threatening. It is currently a farce, the RCC does absolutely nothing to ensure the regulations are complied with and the new proposal would simply empower more entitled dog owners to ignore the RCC signs without absolute fear of challenge or prosecution from the RCC or from anyone else who might be game or even stupid enough to challenge the Dog Power Mafia.</p>
<p>We hear dogs barking all day and enjoy the areas where we can go for a walk without the areas being given over to the dogs. It is bad enough that this Council already has a poor reputation of dealing with problem dogs. Why open up more areas where there is little or no enforcement of the rules that exist now.</p>
<p>Arrogant dog owners who believe it is their right to be unrestricted.</p> <p>Please we need space where we can go without a dog licking us or smelling us. Please we need dog free space. Can't even go for coffee without a dog sitting beside you.</p>

Commentary
I am a wildlife officer with RCC and as part of my role I am continually faced with wildlife related issues with people allowing their dogs off leash and the consequences for our wildlife. Off Leash dogs and shore birds are a major issue. Beth Boyd park, Queens Esplanade, Yeo Park, Wilson and Wellington Point Reserve are already hot spots for Dogs off leash despite the current restrictions. Once you relax them, it will be even worse. Beth Boyd Park should remain as it is. It is a very significant Shore bird area. Any changes to our legislation that may impact on waders could contravene marine Parks legislation.
Inconsiderate of people with allergies, phobias or that don't want forced interaction.
My son is afraid of dogs
People don't follow the current restrictions at Wellington Point and Yeo Park. There are too many people and young children in these areas for dogs on leads. As a previous dog owner who followed council laws, my dog was attacked by other dogs whose owners either didn't follow the council laws or just didn't care.
Quite a few dog owners do not have their animals under effective control even on lead. I have also seen instances where they let the dog run free with a lead attached. Not everybody appreciates random dogs "that just want to say hello" ramming their wet noses into your legs (or face if you're a child); let alone the risk of biting, fighting and charging. Then there is the ever-present issue of those who don't pick up after their dog, or do pick up but throw the bagged product beside the path.
Dog parks are already provided by Council as are some swimming beaches. There is no need for dogs to take over all parks. A considerable number of dogs are not properly trained and the same goes for their owners. Too many dogs not on leashes and too much faecal matter not picked up. Council is unable to currently enforce the dog laws we have, so what hope is there of ensuring compliance if these are expanded?
Dogs are not kept on leashes now in the specified parks, so they certainly would not if you allowed increased times. Very, very little is done about the dogs off leash already, so I can't imagine anymore being done to enforce additional on leash times.
Legal liability if one dog kills/injures a smaller dog, is council liable as they have allowed the dogs to be in one space?
As a dog owner, I believe there is absolutely no need to increase the number of areas as there are already so many places that dogs are allowed to go. The Redlands is extremely fortunate to have fenced off leash areas in all suburbs as well as 2 of the best off leash areas on the waterfront of Cleveland and Raby Bay where dogs can swim. Most of the bushland area including Conservation reserves also currently allow dogs on lead but it is well known that many of these areas are used as off leash areas (i.e. Scribbly Gums)
People flout the current council laws all the time! They allow their dogs off the leash and if there are consequences, such as their dog attacking another dog, they just leave so that the owner of

Commentary

the attacked dog is left with a traumatised dog and the vet bills. This is especially the case at bayside locations such as Wellington Pt, Coochiemudlo, Straddie beaches, Thorneside, Victoria Point, etc. Our wildlife is under enough pressure as it is, and then dogs chasing them is added into the mix. If many dog owners are already doing the wrong thing, what's the chances of them following the rules when they're further relaxed?

Allowing dogs on leads at any time in public places would diminish users' peaceful enjoyment of the land/ open space through an undesirable intensification of use featuring the unpleasant implications of barking, more urine and faeces, potential dog-on-dog conflicts (barking/fights), irresponsible dog-owners letting their animals loose and/or allowing animals to encroach on no-go zones such as children's playgrounds. Shared footpaths / other areas will likely require park users to pass closely by dogs on leads, something that can cause dismay and fear as the proximity of a strange dog is not always welcome. It would mean that all park users (including those who themselves own dogs) have no opportunity to enjoy the open space without the presence of dogs.

Dogs are already well-catered for in the Redlands through numerous off leash areas and several foreshore swimming areas. The emerging notion that dogs should be able to go anywhere and everywhere with their owners is fraught and ought not to be supported as the overarching principle in considering policy change. (This 'go anywhere' idea is often based on the European model, where the vast majority of dogs are tiny. It does not translate well to Australia, where medium to large-sized dogs are prevalent.)

All too often dogs are taken into hot, noisy, crowded environments when they would be best left at home. Common sense sees social norms and rules that deny children access to locations unsuitable for them, and the same should be applied to dogs!

The need is great for people to have locations where peace and quiet in a natural setting can be found. The rapid increase in and densification of the Redlands' population has made this all the more critical. Limiting dog access to specified periods of the day, at times when user numbers are likely to be low, creates the best scenario and should be continued in parks where this precedent has been set and is already working.

Council fails to recognise that Dog Owners (DOs) represent a minority of households. Non Dog Owners (NDOs) are a majority (60:40). Local laws affecting dogs should be written from the perspective of the majority, even written by NDOs. Council currently mis-appropriates rates money from NDOs (the majority) to heavily subsidise DOs (the minority). DOs should pay the full cost of dog ownership. NDOs receive no benefit from the hundreds of dollars of their rates monies, but are inflicted with barking dogs, DOs allowing their dogs to urinate and defecate indiscriminately in public and private places, DOs impose their dogs on others and public places, restaurants and events, DOs comprehensively fail to comply with existing local laws and 'constraints,' Council has under-resourced its animal management responsibilities and cannot police compliance with existing requirements, and DOs are consistently aggressive, arrogant and inconsiderate. Council has been anti-democratic in not abiding with the principal tenet of democracy - that the majority rule. Dogs should thereby be granted access to not more than 40% of public space, for not more than three days per week (approx 40% of a week), and barred from areas identified as places consistently abused by DOs - such as Birkdale Road, Main Road, Wellington Point, Old Cleveland Road East, The Esplanade, Birkdale/Thorneside, Aquatic Paradise Park East, and many more roadsides and parks. Traditional accounting does not assist

Commentary
managers to identify the full cost of any activity and who should contribute most to paying for it: there are simple mechanisms that are used to identify all costs of an activity (where dog ownership is an activity) and provide a means to budget resources to activities. I have more comments to add.
I have a granddaughter with anaphylactic allergy to dogs, hair and saliva. This change would mean more places she, and all the people with allergies to dogs, can't go. It is a common allergy.
There are already too many uncontrolled dogs in public places causing a menace and existing laws are not being enforced or respected.
There are so few places where our koalas, wallabies and other wildlife can rest and live without being frightened and harassed by dogs.
The current proposal will add more dog visits to areas which are already inadequately supervised by Redland City Council. The Council should demonstrate to the community that the Council is capable of enforcing the current laws requiring that dogs be kept on leash before any additional dog access to public places in Redland City is considered.

Feedback provided to support the No submission for specific locations only

Those submissions received that referred to specific locations selected from a pre-set number of reasons as to why they disagreed with the changes for that specific location, these included, safety, hygiene, inconsistency with environmental values, in addition they were able to provide their own reasons. These reasons have been captured below.

Comment	Location Specified
Increased noise of barking dogs in a very family area.	Wellington Point Reserve
Inconsistent with environmental values, I live fronting the SWAMP BOX conservation Park. On several occasions I have witnessed people walking their dogs in this prohibited park on leash and off...I often have wallabies in my front lawn often with babies and I have seen what happens when a dog approaches. The wallabies make a confused escape often hitting the wildlife fence to get out quickly as a dog will often bark and I have seen them run after them, allowing dogs on or off leash the wildlife are scared and 100% run in fear and potentially injury themselves. I have also seen dog owners allow their dogs to defecate and just leave it as they think it's a park. This introduces disease into an already sensitive area...Koalas are in this area...introducing more dogs will alter their roaming pattern, potentially stress pick up disease or get attacked by a dog. NOT all dog owners are responsible...This is a sensitive wildlife park and wildlife is on the decline here introducing dogs will not help the numbers increase and no doubtedly reduce the number. I purchased this location for the wildlife not to have dogs walking	Swamp Box Conservation Park

Comment	Location Specified
past all the time!!! There are plenty of walking footpath within ERA estate that can accommodate exercising the dog...don't put more pressure onto an already struggling wildlife within the park.	
Wet dogs stink. No need for dogs to go to the beach. Dogs should not drink coffee.	Beaches and Coffee shops
Safety, Threat to endangered local and migratory seabirds. Turtles are infected by dog excrement run off causing bacterial infection leading to death. Have witnessed numerous dog fights/attacks in zones where dogs are not permitted. Daily visits to beaches where birds are breeding/foraging by dogs although areas are totally restricted - lack of enforcement	Coochiemudlo Island
Yeo park Victoria Point is already extremely busy on the weekends, adding animals to the mix could be dangerous with the limited space and so many people so close together. Already people ignore rules and allow their dogs off leash and swimming when it is clearly signed that dogs are prohibited on the beach. It would be reasonable to allow dogs before 9 in the morning and after 4 in the afternoons when the area is less busy.	Yeo Park Victoria Point
Inconsistent with council policy of no dogs within 10metres of play equipment. Should also include picnic table area - as have seen dog owner allowing their dog to sleep on tables.	Beth Boyd Park Thorneside
Wellington Point park is a jewel and should be reserved for people as per the current time restrictions. Dogs are not people. RCC needs to give priority to people. Large dogs are a hazard. Some dog owners do not pick up the droppings. Dog owners can walk their dogs throughout Redlands on footpaths by the roads. They should not be crowding the Wellington Point park. RCC should provide more fenced areas for dogs to be off leash such as 3 Paddocks Park. There is not enough space for this at Wellington Point park.	Wellington Point Reserve
No idea what or where you are restricting dog on lead access	Wellington Point Reserve
It is evident that council has only considered where more dog opportunities should be allowed and not where existing dog access should be better managed. Principles behind current proposed changes are lacking. For example if council had undertaken a strategic environmental assessment of current dog on leash and off	Beth Boyd Park and GJ Walter Park foreshore

Comment	Location Specified
<p>leash areas, the proposed changes should include fencing the current dog off leash area and prohibit dogs on the beach adjacent to G.J Walter Park due to shorebird values. Council has also not made it clear to the public that dogs must be on lead at all times unless in a dog off leash area designated under local law OR communicated that dog off leash foreshore areas are subject to marine park laws with respect to protecting shorebirds.</p> <p>Do not support greater dog access in Beth Boyd park. The 'buffer' assists with protecting shorebirds and compliance with state and council laws. Do not support G.J Walter Park foreshore as a dog off leash beach. Adjacent off leash area needs fencing</p>	
<p>It is evident that council has only considered where more dog opportunities should be allowed and not where existing dog access should be better managed. Principles behind current proposed changes are lacking. For example if council had undertaken a strategic environmental assessment of current dog on leash and off leash areas, the proposed changes should include fencing the current dog off leash area and prohibit dogs on the beach adjacent to G.J Walter Park due to shorebird values. Council has also not made it clear to the public that dogs must be on lead at all times unless in a dog off leash area designated under local law OR communicated that dog off leash foreshore areas are subject to marine park laws with respect to protecting shorebirds.</p>	<p>environmental and conservation parks, where young families with children congregate</p>
<p>This is a Ramsar site. What on earth are you guys thinking?? Dogs love chasing birds and that's the end to feeding or breeding.</p>	<p>Wellington Point</p>
<p>This is a Ramsar site for the project of shore birds. It's amazing how little this means to the government</p>	<p>RAMSAR Protected area of Moreton Bay</p>
<p>1. This area is a known Koala, Bush Curlew and Red Necked Wallaby habitat. 2. It is extremely important that our Council takes note of its own rules about preserving our wildlife habitat and not just offer lip service to environmental protection. 3. There are enough areas for dogs to run now, let alone taking over designated natural corridors. It is widely annotated that dogs cause Koalas stress and ultimately disease. 4. Swamp Box Reserve is listed as a Priority Enhancement Corridor in Council's Wildlife Connections Plan 2017- 2027 to provide safe connecting corridors for wildlife.</p>	<p>Swamp Box Reserve</p>
<p>There are adequate areas already where dogs may be walked. I can see no reason why these should be extended to further encroach upon the few remaining areas where wildlife can live</p>	<p>Swamp Box Reserve</p>

Comment	Location Specified
safely. I'm thinking particularly of Swamp Box Reserve. I think most dog owners are responsible, but the few that aren't will wreak amongst the wallaby population	

Feedback provided to support the Yes submissions for specific locations only

Those submissions received that referred to specific locations selected from a pre-set number of reasons as to why they agreed with the changes but only for the specified location, these included, companionship, dog socialisation and personal protection. These reasons have been captured below.

Comment	Specified Location
Swamp Box conservation area. This area was previously dog friendly a few years ago, however changed after the Era estate was completed. People can ride a 500kg horse in there but can't walk a leashed dog?	Swamp Box Conservation Area
Wellington point. My family and I walk to Wellington point every weekend. It's really disappointing that on the weekends we cannot take our other family member with us due to the current restrictions. Our dog is a huge part of our family.	Wellington Point Reserve
The Beach accessed by the Redland bay boardwalk located below the Redland bay hotel	Beach

Additional Questions

Do you support implementing restriction or prohibitions in additional locations? Where and what do you propose.

Additional Location Feedback
Where there is shore birds, koalas, curlews and elderly people walking there needs to be areas that are safe and free of dogs. Unfortunately a growing number of dog owners ignore signs and the safety of others should be considered.
Wellington Point reserve is too small and busy to lift dog restrictions on weekends. People's safety will be compromised. There are plenty of areas in the Redlands where dog owners can benefit without lifting further restrictions.
I closed beach space and public park spaces for dogs off lead. More compliance checking for having dogs on leads. Harsher fines and punishment if your dog is caught off lead particularly if it results in harm to a human.
Do not allow dog off leash at Raby Bay foreshore park at masterhead drive
the local Sunday market, Cleveland and AT coffee shop/restaurants
Beth Boyd has signage saying NO DOGS ALLOWED but there is dogs everywhere, which you could see every single day and fine them. Shows me you are not interested in enforcement.
All beaches, parks, and other public spaces.
No dogs to be allowed off leads at any time at Wellington point, there are plenty of other off leash beach areas
Firstly the person who ran the petition at Wellington point reserve has two dogs which when they dedicate he buries it in the sand with his foot witnessed on several occasions. Dogs urinate constantly keep them on your own property or go to a dog park
I have young grandchildren. The foreshore parks would be great play areas for them but for the waste left by owners. Do you want your children to play in areas contaminated with canine urine or faeces? Even if picked up there is still some residue.
Unfortunately people don't adhere to the rules of animal management and therefore native animals are at risk. I constantly see people ignore existing signs with no ramifications. Also I constantly find the plastic dog poo bags hanging on branches, thrown
Coochiudlo island
At the moment I don't, but if the number of dogs in the Council area greatly increases then I would do.
All public places. The Sunday market in Cleveland has become a dog market and a place to be avoided

Additional Location Feedback	
Why change something that's working. I have seen dogs off leads in parks and beaches sniffing around young kids, growling. Too dangerous. I have called council but nothing happens	
I am concerned about people's safety as well as the safety of native fauna	
Wellington Pt Beach; Cleveland Point; Ormiston Esplanade and Reserve between Crestwood Close, Downey St and Delaney St	
KEEP DOGS PROHIBITED IN SWAMPBOX CONSERVATION PARK	
I feel the RCC is far too restrictive when it comes to dogs being allowed in public places for eg. On lead around the Cleveland CBD. Restricting certain beach areas where the dogs can swim off lead. (Insufficient room on this word count to expand!!!)	
Cleveland Point, Wellington points all hours on leash.	
As a grandparent I am always concerned about the behaviour of dogs close to where my grandchildren are playing	
Dog parks only - one per suburb. Doggy day care centres where owners who work can leave their dogs so that neighbours don't have to suffer day long barking and whining.	
Dogs don't need to go to the beach. Nobody likes the smell of wet dog. Imagine going to one of the few nice beaches in the Redlands with your family. Some random dog runs out of the water, what is the first thing dogs do? Shake stinky dog water all over.	
Why can't they keep their dogs at home where they belong and train them properly.	
Be allowed to let dogs off leash at low tide, until 630 am. Be allowed to let the dogs off leash in Scribbly Gums. With the understanding that owners are strictly able to control their dogs, and that only friendly dogs be allowed to run	
All open parks to protect children from potential attacks, but more so the arrogance of dog owners who did not pick up their dogs mess, even in children's playgrounds! Saw exactly that at the Thorneside 'ship' park this morning!	
Seems to me that more and more places are allowing dogs. Most owners are responsible but don't realise there are some of us who don't want dogs everywhere. Keep Wellington Point the way it is.	
Follow outcomes and recommendations of the HL&W survey Implementing Priority Actions to Reduce Threats to Migratory Shorebirds in Moreton Bay Ramsar Site	
No animals allowed in shops, in food areas no exceptions (apart for legal guide dogs)	
Dogs should be allowed everywhere. All beaches as long as they are on a leash	
Keep off seabird roosting areas	

Additional Location Feedback
Only where native wildlife/plants need protecting however if there are paths for bikes and people then dogs should be allowed on leash
Fence around off leach beach at Cleveland. Dogs are often running free outside of area in particular to where cars are parked.
Dogs should be allowed in outdoor eating areas at hotels etc.
Would like to see more dog friendly beaches within the Redlands please.
Many dog owners in Redlands disregard current regulations. We have had to leave Mt cotton community park numerous times due to dogs off lead. We have had to leave wh yeo park due to aggressive dogs off lead on beach and in the park. Dogs in fenced areas.
Identify areas little used by the general public for dogs to swim eg beach at end of Moore's Rd
Ensuring dogs are kept on leads.
I don't believe dogs should be off leash in any areas near children running, playing or swimming. I disagree with animals in places that serve food and drinks.
Any public areas around young children that are running or swimming.
Remove dog park in the koala zone in Cleveland
I think if residents local to the areas are happy with it and there is space and facilities to ensure safety then it might be an option.
Raby bay esplanade park, off leash area
Anywhere else where the current rules are not being enforced. There are always dogs on the beaches that are restricted in Victoria Point and a large number of them are not on a lead.
Fellmongers Park .Environmental & Wildlife
Dogs should not be allowed off leash on any beaches or foreshores. Foreshores where shorebirds roost should be restricted to no dogs
Wello Point. Wello Point. Current rules are generous to dog owners. The Point is being loved to death, so at least the weekend could be left for people only.
The current restrictions are appropriate for the location and should not be relaxed. There are too many people already flouting the off lead restrictions and head to the back of king island distributing the birds that live there.
Dogs should be kept away from all beaches and wader roost sites. Migratory waders should not be upset by dogs as it can affect their chances of successfully flying long distances.

Additional Location Feedback
I think it is great that dogs ON LEASHES can go more places but my concern is that people don't keep their dogs on leads. I live next to the Showgrounds and it is treated as a dog off leash park by most.
Please put a fence around the dog park at Aquatic Paradise West. These dogs can be unruly and bother walkers on the pathways.
More dog friendly swimming area as many of the current dog swimming areas are on the island
Sitting outside cafes or restaurants. Such as Raby bay marina - day and evenings
Most dog owners only act responsible if they think someone is watching them and the might be caught out.
Pubs, outdoor cafes, outdoor eateries.
Increased fines (and actual enforcement) of those who don't pick up dog poo or have dogs off leash. If we want koalas and wallabies in our urban areas dogs are not compatible with wildlife. Keep dogs out of people spaces, such as markets.
Living in sunny, hot QLD, most people walk their dogs before and after office hours when it's cooler. This means they get away with their anti-social, off leash dog behaviour. Allow patrols then to get this behaviour under control, then implement changes
Keep restriction hours at Wellington Point & Raby Bay - & regularly monitor.
GJ Walter Pk-dogs' prohibited from water at low tide as it is important shorebird habitat some of which are migratory and need to rest and feed in readiness to fly long distances.
Dogs not allowed at the markets on Sunday mornings due to lack of space and number of people. Can be a tripping hazard. Dogs for special purposes, such as seeing eye dogs to be allowed.
The status quo in all areas should remain until the final reviews into Koala Conservation action Plan and the next Corporate plan are out for comment. Animals in public places proposal cannot be considered in isolation
All areas where wildlife is prevalent, including birdlife. Wildlife freedoms should have precedence over domestic pets.
Australia wide - dogs to be allowed in public settings leashed
I believe the council do very well in providing 'dog walking' and 'dogs off leash' areas. Dog owners often abuse what they are given. At Wellington Point dogs are being walked outside hours and are off leash. They leave mess on the grass and sandbank.

Additional Location Feedback
<p>Parks ok, not beaches.</p> <p>I propose that dogs should have access to public places in proportion to the number of households possessing dogs. That means dogs would have access to 40 % of public areas for 40% of the time, and be barred from places abused (mostly excrement)</p>
<p>Dog off leash should be prohibited at and adjacent to all shorebird roost & feeding areas, & protected areas (King, Peel Island, NSI) - See QPWS for maps. Physical barrier or large buffer between shorebird areas and dog off leash/on leash parks needed</p>
<p>restrict access to conservation parks, where native species are at risk from domestic dogs (particularly koalas) increased dog numbers, their presence, faeces and interactions impacts on a number of vulnerable native species,</p>
<p>Dog Parks are right place fir dogs to exercise.</p>
<p>Wild life such as native birds shouldn't have to have to avoid dogs in natural areas. Not everyone is a dog person.</p>
<p>Anywhere were there are wildlife roaming free</p>
<p>Dogs on leashes everywhere but their own yards. No dogs near food (cafes, markets etc)</p>
<p>Dogs should be on a leash at all times unless in a designated dog park of which there are many. Badly trained and controlled dogs are a public nuisance confronting youngsters and barking because they are left alone at home.</p>
<p>Lead-only walks to be enforced in sensitive koala habitat and also migratory bird areas such as King Island sandbar, Saw Mill Drive area in Ormiston, paths along Cleveland/Thornlands foreshores which are koala corridors.</p>
<p>A Council presence on regular basis on foreshore areas where critically endangered migratory birds feed and roost. The present 'lack' of Council control is completely unacceptable while these vulnerable birds are constantly being disturbed.nstan</p>
<p>Cleveland Cape, it is full off leash dogs, due to the owners that do not respect it is a leash on area, Council have done nothing yet.</p>
<p>More areas needed that offer refuge to wildlife</p>
<p>More areas should be protected from dogs. There are too many dogs.</p>
<p>All Priority Enhancement Corridors</p>
<p>There are enough areas for dogs to run. Not all dog owners are conscientious or have the ability or the desire to control their dogs and so other people, including children, are at risk of being frightened or knocked over or attacked.</p>

Additional Location Feedback	
	<p>Coochiemudlo Island is too small and environmentally sensitive to be promoted as a tourist destination for dogs. Our resident bush stone curlew population and shorebirds need protection. Thanks for not including Coochie as an area to increase dog access.</p> <p>Any area left undeveloped for the purposes of wildlife protection should hold restrictions on the access of dogs. It makes no sense at all to protect pockets of bushland from housing or commercial development only to encourage dogs into the space.</p>
	<p>Prohibition in all conservation areas/reserves, foreshore parks, beaches, wet lands, bird roosting sites.</p>
	<p>Allowing on-Leash / on-leash dog walking into the Swamp box Reserve and adjacent Ferntree Park Reserve. I have two (large) dogs. Dogs instinctively will chase wallabies/koalas/wildlife no matter how hard you try to train and stop their reaction to this.</p>
	<p>Council should tighten restrictions and prohibitions on dog access to foreshores in Redlands particularly at Wellington Point Recreation reserve, but also at other wild places such as Swamp Box.</p>

What else does Council need to consider?

Additional Considerations
<p>Leaving some wildlife areas protected from dogs. My husband is in bushcare and there are black bags of dog poo found in amongst the native area that is cared for by the locals.</p>
<p>Additional dog waste bins.</p>
<p>Dog owners don't follow the current rules, particularly at Wellington Point Reserve so reducing the restrictions will only make it worst. You regularly see dogs down there on weekends and off leash. Our family own a dog but I am not 100% comfortable with dogs particularly in public. I am regularly approached by dogs while walking in the Wellington Point area (not just the reserve) that are not on leads only to be told by owners that they are harmless. Having a large or small dog running towards you is not a pleasant situation when you are uncomfortable with dogs. Down at Wellington Point Reserve, I have had dogs (not on leads and on weekends) run up to our children and picnic and take food and walk across our picnic blanket. I understand people love their dogs and lots of people are responsible dog owners but by reducing the restrictions, there are going to be more and more of these unpleasant and potential dangerous situations. In regards to Wellington Point Reserve, you can barely move down there on the weekend without adding everyone's family dog to the equation. Please keep these places family friendly and free for children to run around unpredictable without parents having to worry about how someone's dog is going to reaction.</p>
<p>Dogs are often off lead even in on lead areas. In addition people are often at Wellington Point reserve with dogs during restricted times now and Council turn a blind eye to it.</p>
<p>Council should do more to ensure dogs are kept on leads. More fines. Larger fines. So many people and animals are being attacked in public from off lead dogs. Do any search for dog related hospital admissions or emergency treatment at Redlands hospital and you can see how bad the issue is getting. Dogs can be on lead anywhere but only off lead in INCLOSED areas. Not on beaches. Unless the beach is enclosed please. People's lives are being effected by dog bites daily.</p>
<p>There has been incidents that off leash dogs attacking kids and seniors. The park was a family friendly park. But ever since dog off leash was allowed, we are afraid going to the park now. In addition, drivers park along and near the masterhead drive and sentinel court roundabout, creating dangerous road safety issues.</p>
<p>The coffee places, you go for breakfast and have to deal with dogs constantly when you are eating - This should stop- We love our pets, I take mine on walks as there are million places to take them. There are already so many free lease dog parks, I have stopped taking mine because there are so many nasty dogs that go to them. Take time to take your dog out, surely a long walk is better than having them tied up for 1-2 hours at a time why you have a coffee. or a swim. I understand companion dogs, again people are putting dogs that are not companion dogs in trollies, this has to stop. I love my dog but there is a time and place and respectfully we should be treating them as dogs. I am with my dog every day just like everybody else When I spend</p>

Additional Considerations
time with my friends I would like to without having so many dogs around. Some dog owners do not pick up their dog poo, why reward people with more areas to bring dogs just to.
long haired hot dogs and the flies they bring to restaurants, coffee shops
Council need to identify other venues where dogs can be with their owners, this should include outdoor cafes and restaurants, bars, shops, festivals etc. The inclusion of dogs in society will encourage greater participation in all events. Dogs will not be left a home getting bored and annoying the neighbours.
Council needs to be focussed on protecting those areas of the environment which support wildlife by restricting ALL activities in those area's and relax a bit where there is already a strong human footprint and the environment has already been degraded to a point of no return.
More signage as people completely ignore the regulations. Further past Beth Boyd park is a known off leash run for dogs to chase the birds and run through the mangroves, seemingly without fear of being caught or fined.
Council must create an effective method of stopping animal nuisance, be that from barking, whining, yapping, defecating, or anything else. Council must vigorously police the method, at least until dog owners learn that they can expect to be caught if they violate Local Laws and be penalised heavily for doing so.
That some dog owners will not follow the rules & ruin it for everybody. I have young children & was attacked by a big dog when I was younger. It all happens in a split second but the consequences can be felt for a life time of a dog attack
Keep dog parks for dogs and places like Wellington point reserve for people and their children and migratory birds. Also the incessant barking from dogs left at home all day by their cruel and uncaring owners who pretend to be animal lovers, what about the native animals dogs love to destroy chase etc not to mention the koala. You want a dog keep it at your place.
Patrolling areas for dog owners with off leash dogs in on leash areas. The on leash restriction is often abused. Also keep eye out for owners who do not clean up after their dog.
Make it compulsory for animals to wear nappies when outside the owner's property.
More off leash areas. Many dog parks are too small to be interesting for dogs. Well behaved dogs should be able to exercise in more areas.
More dogs off lead will mean more wildlife casualties.

Additional Considerations
Protecting environment, animals and lots of people want areas with no dogs breaking their silence.
There needs to be an OFF LEASH dog beach for dogs on Macleay Island and Coochiemudlo Island. They need it for socialization and exercise. The residents deserve it.
There is no dog off leash area central/western Cleveland. With so much open space around the show grounds this is the perfect place for an off leash area.
Allowing for an of leash dog beach behind the poorly maintained dog park on Macleay Island.
Dog off leash all time on the islands, owns don't care
I live on Macleay Island and the real problem here is dogs roaming around unsupervised. I live on waterfront and virtually every day, I see neighbours dogs roam along the beach without their owners in sight. Similar on the street beside us, especially in the mornings, a staffy roams around the place like he owns it.
Before you introduce new laws, the present laws need to be enforced.
NO DOGS should be OFF LEAD in public places, EVER. Off lead dogs on your own property only. Most foreshore beaches on Macleay Island are nesting grounds for wildlife and rehabilitation habitats. Dog friendly beaches mostly end up gross. I can't stand it when off lead dogs approach me, my family or our 'on lead always' pet dog. Creating designated 'dog areas' creates more vehicle traffic in that location, more bad behaviour from pets and owners, inevitably more dog mess and smell. We own a dog, but I'm pretty sick and tired of pet owners expecting more for their pets than people! Definitely NO DOGS ON SANDPIPER BEACH, MACLEAY ISLAND, (Wharf Street to the Bowls Club) Thank you.
Dogs allowed on Buses, same rules as on the ferries
Please continue to develop more trails, paths, off leash areas and water access spots.
Well socialized and TRAINED dogs, should be allowed to go anywhere that their handlers go. It is the owners' responsibility to pick up after their dogs and control the dog. Council could carry out tests to determine whether the dog is appropriately trained and socialized and issue a registration license according to the level of obedience reached by the dog. The dog laws in this country are archaic and need to be addressed urgently. The highest form of registration achieved by a highly trained dog, should allow for that dog to be walked off leash.
Leave as is
My dog is an important member of my family she goes everywhere with me. People that take care of their dogs and take them out are the responsible pet owners. It's the people that leave them locked up in a yard that need to be targeted.

Additional Considerations
Police the perpetrators and fine them heavily - \$500 for first offence, \$10,000 for subsequent offences. There is no point in having rules if these rules are not policed.
Making sure irresponsible owners are penalised, if they don't keep dog on a leash or pick up their dogs poo.
As long as dogs are restrained by their owners it would be greatly beneficial for them and their owners to have access to these areas in order to socialise and exercise
Please consider the fact that the people that complain about this make up a small percentage of the Redlands. A majority of families' have a dog that they treat as family and I know I feel a lot safer with my dog by my side when walking and I would like to take her down to the beaches that are restricted. If there are more doggy bag dispensers and bins in these locations then I am sure it would eliminate the problem of people leaving their doggy doo around. Please stop giving in to the small percentage of the Redlands that have a vendetta against dogs and their owners.
Not everybody is a dog lover. Some people including myself are scared of dogs and are not comfortable with them right near by and in my personal space.
We implement vehicular control, such as speed bumps, because of the selfish behaviour of a minority, and the same mentality exists with dog owners, but perhaps even with animal in general.
The current rules for dogs on leash at Wellington Point are sufficient. Opening it up further on weekends is not consistent with keeping the area as a family or group friendly environment where people can relax on the grass or seats without having dogs roaming through and around them. This area is for people to enjoy....not to walk dogs.
Not succumbing to a 'dog lobby'. The silent majority are the MAJORITY after all!
More off leash areas as well! Especially in the Rise estate in Thornlands, or at least in Kinross somewhere. So many small backyards with dogs!
Having larger off lead areas for dogs under effective control. Not always fenced. For example Kedron Brook has a large off lead area where dogs can exercise and swim. No fences.
If dogs are allowed in more public places I'm all for heftier fines for people who do not clean up after their animals
People take responsibility for their own actions and not be regulated to death.
Common sense
More penalties for dog owners not doing the right thing.

Additional Considerations
Safety of young children and adults being attacked. You make the changes you should be responsible
Some members of the community are allergic to dogs. Additionally, dog owners already don't clean up after their dogs. Let's not become Paris where you have to watch where you step, every step.
A lot of owners are not responsible enough and don't clean up after their dogs. I have had our small children out in dog leash areas and they have to look out for dog faeces. Some dogs have been off their leashes and cause distress to young children when they charge towards them.
Unfriendly dogs should not be allowed in high traffic areas
Before proposing or passing something like this, please eradicate the massive pests of foxes in the Redlands area. There are currently 1300 dens in the Redlands and 6+ foxes to a den. Foxes have eradicated the bandicoot population as well as destroyed our agricultural
When I walk around Ormiston and Wellington Pt the majority of people have their dog on a leash. However, I often see dogs let off their leash. There is dog faeces not picked up. Owners believe their dog wouldn't hurt anyone but I know several people who have suffered unprovoked dog attacks (not locally). Some owners have leads long enough to that the dog will sniff passers-by or snap at other dogs - they say they are just being friendly. It is hard for dog understand that some people are very frightened of dogs. Dogs in crowded places like markets are a safety risk particularly for small children at dog height. I have never seen any rangers patrolling these areas and people ignore the signs when they want to.
Consequences for irresponsible dog owners who let pets run off-leash; is Council resourced to do spot checks for general compliance? Unruly behaviour of dogs that become aggressive towards one another or members of the public.
More patrols so dog owners don't access park Council needs to consider the sensitivity of this park...the wild life in this park is struggling to survive...and allowing dogs in will destroy wildlife more with disease and attacks. I purchased this property for the reason of the wildlife not to watch dogs roam in it...we already have numerous walking footpaths in the area and this accommodates walking the dog...a sensitive wildlife park is not a place for domesticated animals
Dog waste and disposal of said waste.

Additional Considerations
<p>For a start, you need to allow more word counts on areas such as 5. above!</p> <p>RCC current policy of fining a dog owner on the spot if the occupant of a property has their dogs in their own front yard unrestrained either behind a fence or on a lead. It is absolutely ridiculous, particularly if the dog owner has total control over their dog. I feel the RCC needs to overhaul their Animal Bylaws in relation to the current ones, and take a leaf out of the more progressive Councils in relation to Animal Management. The dog owners who are responsible and have taken the time and effort to train their dog/s to be compliant and obedient, should be rewarded by means of a discount on the annual dog registration. These same dog owners should be allowed more freedom within the RCC areas with their dogs. Perhaps the RCC could adapt some form of assessment or permit to allow these dog owners to have more access to areas with the Redlands. I understand that there are always exceptions to the rules, and some dog owners do not do the right thing, but I feel that the latter dog owner's behaviour should not reflect on the responsible dog owners.</p>
<p>There are plenty of paved, designated walking tracks around the Era Estate for dog walking. There is a large wildlife population in the Swamp Box conservation area and allowing dogs into the area will pose a significant safety risk to those animals.</p>
<p>I have no issue with the proposed changes however Council will need to patrol these areas, particularly on weekends and fine those on the spot whom offend. Dogs often wander from the off-leash area Raby Bay Foreshore Park into the prohibited zones and the other swimming enclosures. We have young children who do not enjoy visiting the Raby Bay Foreshore Park and beaches as they don't feel safe. This is because of dogs roaming the parklands, barking and displaying unpredictable and aggressive behaviour at times.</p>
<p>I am sick of seeing owners not doing the right things and dogs running wild</p>
<p>Dogs owners are not the majority</p>
<p>All parks within the Redlands.</p>
<p>Please enforce current by-laws, they are currently a joke. Please see item 2 above for detail</p>
<p>At Aquatic Park West playground a young person (about 10 years old) was in charge of a large dog and had this dog off the leash in the sandpit among the children playing. There is always a small cohort of dog owners who will not abide by the existing rules. Even dogs under control on the leash are a risk because the younger children have no fear and run up to them.</p>
<p>Council Animal control currently does nothing about noisy dogs, aggressive dogs and owners who never pick up dog poo on footpaths, parks and other public places.</p>
<p>Also consider additional off leash dog parks or beaches in Redlands Coast. Particularly areas in Thorneside, Birkdale and Wellington point.</p>
<p>Council needs to consider the safety of native birds, animals. But mostly humans who do not like stinky wet dogs. Pets belong at home under control where it is safe. Not out in public sniffing random peoples balls. They should have their own balls at home.</p>

Additional Considerations
Coochie location for dogs has not been reviewed in probably ten years, could we be consistent with the mainland and permit dogs on all beaches on lead. Currently locals can't take dogs into the only dog permitted beach because a lot of tourists arrive by ferry or barge with dogs and small children and occupy that beach. Meanwhile most of the other beaches on coochie are empty because tourists generally don't walk around to them but we cannot take any dogs on to the other beaches on lead. It makes no sense and is not reflective of the use of existing beaches.
Taking more action against dog owners, who leave their dog's poo and don't pick up.
It would be nice to read a positive letter in the Redland Times that praises this council for doing something constructive about Noisy dogs.
Great to consider letting dogs on leash at Wello Point on weekends. Non-residents are then able to enjoy it on weekends. I also commend Redlands Council for the great care given to dog parks generally.
Waste bins for droppings. To inspect dogs in public to make sure all dogs are registered.
Dogs on leads should not be prohibited anywhere. Why and how these so called "laws" have been put in place is disgusting at the least and will have contributed directly to the rise in social problems e.g obesity, depression, anxieties and oppression in general. Economically your unfounded laws will have negatively impacted widely the local businesses and tourist industry.
What is of MUCH more concern is your failure to assist residents with disturbing dog barking. Living with this issue IS detrimental to people's health. I have experienced your inertia personally and pity those experiencing it currently.
Non dog owners' rights to not be affected by dogs or their owners!
Consider people first before dogs. I love walking but hard to find anywhere without dogs.
We need space to swim without a dog. Just look at dog beach at Currumbin. It is terrible and such a shame to the environment. Please don't let it happen in the Redlands.
Consider patrolling these areas at dog-free times to ensure existing prohibitions are being followed, such as weekends and public holidays.
Enforcement of existing regulations, better compliance especially dogs off leash in no go zones. On leash in protected environments eg Melaleuca Wetlands. Better signage indicating restrictions/limits / off leash areas including at Victoria Point jetty to advise visiting dog owners what they can do and where they can/can't go.
Dog owners very frequently don't abide by the rules for dogs to be on a leash or to clean up after their pets (particularly important near water bodies) and I frequently see dogs chasing wildlife or owners not cleaning up so best to keep dogs out of as many areas as possible, also to be fair to walkers and joggers who don't care for dogs coming up to them. People are mostly not even aware of the shorebirds along the coast and how much dogs stress them running off the leash, and my experience is most refuse to put their dog on a leash even when one points it out if it's at a quiet time of day (in terms of people being around). Dogs are still significant killers of koalas

Additional Considerations
and cause them a lot of stress too when we are trying to protect the local Redlands koala population. Also often see dogs chasing wallabies.
Most families own a dog and it is discrimination to disallow them
Family
Larger dog parks
My dog is 4.1 kg of fluff who loves everyone and everything. There are adorable big dogs who are the same. However, there should be warning signs and penalties if aggressive dogs are not kept under control at all times regardless of their size.
A tavern for mount cotton
The foreshore at Thompson's beach - possibly at low tide.
Keep animals out of shopping areas especially dogs.
Allowing dogs in more public places
Migratory bird requirements should take precedence.
Ensure the availability in waste bags in highly dog populated areas
More dog friendly beaches.
More water stations for dogs and humans especially at some of the walkways / bikeways in Thornlands, Victoria Point, Redland Bay & Mount Cotton.
Having more fenced areas specifically for dogs
Kids are dirty
As long as dogs are kept on their lead they should be allowed on beaches
Be able to walk dogs on beaches on leash
If you are going to relax the week-end restrictions, you will need to increase /provide after-hours patrols by Animal Management. Most people know that they are not around
The more places dogs are allowed the happier they will be - less complaints of dogs being left alone.

Additional Considerations
If planning for dog parks they need to be situated close to playgrounds so children can be supervised whilst maintaining supervision of dog.
More dog off lead areas such as beaches and mudflats especially those which are tidal and below the level of the footpath such as Wellington point and manly harbour and Cleveland point. Dogs will happily play in the water or on the mudflats and are safely contained by the built up foot path and out of the way of pedestrians or traffic.
Dogs in crowded parks constitute a risk to users of these parks (Particularly young children) Owners who allow a dog to walk at the end of an extended lead (can be up to 5 m long) have little control over the dog. There are plenty of parks where people can walk there dog on a lead. Some parks should remain dog free for those families that do not want to encounter dogs. Allowing them in the park but restricted from certain areas will only work if there is active enforcement - something that doesn't seem to happen now.
The impact on all seabirds, not just those that are roosting.
Adding dog parks for small dogs. Too many little dogs are being attacked in the current dog parks
More animal control staff would possibly be required to police and ensure that people do keep their dogs on a leash. I walk every day and there are always dogs off leash
Higher penalty for people walking dogs off leash.
There seems to be a lot of waterside shallows that would be good for dog use, too shallow for human use
Dog owners in Redlands do not seem to be responsible. Off lead in parks and dog poo everywhere
Providing sun shades and seats
Most people will do the right thing but some people will do what they like & let their dogs off lead, so it will need to be monitored
There are a lot of good dog owners who want to get out and exercise themselves and their pets more.
Dedicated signage making it clear what areas are NOT permissive of dogs of leash in areas that people frequently have dogs off leash where not permitted.
More off leash Beach areas closer to Redland Bay. Raby Bay and Cleveland are too far

Additional Considerations
Drink facilities for dogs where areas are opened for use
More off leash areas are required.
Ensuring people actually keep dogs on lead.
People with allergies, animal phobias.
Consider the number of hospitalisations caused by dogs currently. Consider that dogs are most unpredictable when they are in an unknown environment or overstimulated. Consider that most dogs on leashes aren't muzzled or really under control by the owner. Look at the constant posts by owners in various community Facebook groups saying that there dog has escaped or someone has found a dog and realise most owners can't even do what is required of them currently. Consider that some people don't want to be licked or sniffed by dogs and the reaction from dog owners when they are told this. Consider the public insurance requirements for venues proposed to allow dogs. Consider the lawsuits that will prevail if someone is injured by a dog in any of these places. Consider the well-being of everyone using these areas.
More dog swimming area's! :)
Dogs are pets, humans freedom should be priority. Allowing dogs everywhere, on lead or not will increase anxiety in a lot of people and restrict their movements
Maybe some more bins and drink stations if other areas are opened.
Irresponsible dog owners. Are council officers going to police these areas to make sure owners are doing the right thing? If not don't change the restrictions.
Heavy fines for people letting dogs off leash
For me, the decision not to be in favour of the proposed change is not about disliking dogs but being wary of some irresponsible owners that don't follow the rules. Council animal management offices are closed on weekends, so how would infringements (e.g. dogs off leash) be dealt with?
Currently people have dogs in these area regardless of any prohibitions or restrictions - there is minimal monitoring for compliance and people with dogs dont seem to care if they are breaking rules. If you cannot enforce the rules then you need to remove them. Council also needs to consider impacts on roosting shorebirds and the fact that some reserves will become 'over used' by dog owners and drive families with small children away.

Additional Considerations
Most importantly the safety of locals. A significant number of locals to Yeo Park are aged from surrounding nursing homes. It is not a big space to add animals in an already crowded area is not safe
Ensuring that the rules are adhered to by people and making sure people keep their dogs on leads and pick up after their pets. Big fines should apply to those who don't follow the rules. More council officers are needed to monitor this and issue fines so that the public know where they stand.
Should be more lenient of places to walk with dog off leash. Not interested in off leash areas, many dogs want to walk with owners.
If you are going to have rules sign post them clearly. DO NOT give fines and tell people to refer to a website for rules! Do not allow dogs some days or times. It's too confusing. Set one tune and make it clear.
2 additional reasons: 1) the emphasis should be on dogs being supervised and controlled not leads. Any visit to a dog beach (or Europe!) will show you that the more you accept and integrate dogs the happier everyone is. 2) The incidents of aggressive dog behaviours is on the increase because dogs are locked in properties and suffer from lack of stimulation, socialization and exercise (ask a vet). This is a cruelty matter.
There needs to be more council people giving out fines and enforcing the current council laws. If council employed more people, you would have data on what is actually happening and not just dog owners' vs non-dog owners on a survey.
More poo bags/bins to be made available. Also suggest sign show the yellow ribbon on leash for nervous dogs.
Consider banning aggressive dogs in off leash areas
Basically as long as persons keep their dogs on a lead there should be no restrictions. It's more the point persons doing the wrong thing...not the animal
Enforcement of any regulations 24 hours a day, especially on King Island
I walk every day in Victoria Point and have found that this year irresponsible dog owners have increased significantly with owners not picking up after their dogs particularly on pathways, allowing their dogs off leash in parks on beaches and even on pathways and on the roads. This needs to be brought under control before easing restrictions further. I have had more than 10 dogs run at me in the last three months alone.
Council to fine owners where dogs are not allowed. Wellington point recreation reserve beach area, on weekends & off leash.

Additional Considerations
Identify all places used by roosting and feeding shorebirds and restrict animal access For example Bradbury's Beach Dunwich, Home Beach Point Lookout and Main Beach North Stradbroke Island.
Allowing dogs to swim ON LEAD at Redlands Beaches. They are allowed ON LEAD at pristine Gold Coast Beaches so why can't they be allowed to swim in Redlands where the beaches are far from pristine - at any time but again ON LEAD
Enforcing existing rules with regard to picking up, walking on lead and especially staying off non-dog beaches.
In foreshore areas people tend to let the dogs run without lead, which impacts the shore-birds. Seen it many times.
More off leash areas down at Victoria Point
Enforcing dog laws generally without the current onerous proof required. I have dogs on all sides of me - most of them untrained. Most of them bark at anything and everything at any time.
That people do not obey the off lead rule and disturb the wildlife in the area.
Installation of poo bags dispensers in those areas. More bins for poo bags to go into.
Council needs to let it be known that dogs must be kept on lead between Wellington Point Reserve and King Island and that dogs are not allowed on King Island under any circumstances.
Dogs are actually some people's children and should be allowed to accompany them if looked after and on a leash.
Please can you look at more off leash options similar to GJ Walter, where animals can have a good run in an u crowded spot.
Stronger laws against those that let their dogs off leash apart from off leash parks.
How will council ensure dogs are kept on leashes and rules followed when too many people break the rules by walking dogs off leashes and don't pick up after their dogs?
Dogs and pets in general are becoming more popular, especially post-pandemic, Council needs to continue to evolve with the community and make allowances where possible.

Additional Considerations
If you have a dog (on a lead) and children it is difficult to adhere to the 10m from playgroup equipment rule.
Actually enforcing current dog regulations, such as at Wellington Point, at all times of the day and tide flows. Also, putting up signage to indicate the bathing at Wellington Point and specifying that dogs are prohibited in that area. We regularly experience dog problems at this park and know of many others who avoid it for the same reason.
Wellington Point is packed on weekends ,surely visitors can have space to themselves without dogs
Patrolling areas where dogs are supposed to be on a leash. You can go to King Is any day of the week at low tide and see dogs off the leash. I can't take my dog anywhere due to inconsiderate owners with dogs off the leash.
Current restrictions don't consider tides times and shift workers
Certain breed types should wear muzzles. Especially the larger or big headed type dog
Stop making dog areas such awful areas. That's why people take dogs to nicer areas. It should always be signed that aggressive dogs or uncontrolled dogs are not allowed into areas. Also signs should be everywhere about children and dogs are not to chase birds. Sick of seeing this on the waterfront. Saw an ibis chased by a four year old onto a road and the mother thought it was hilarious.
Dogs are becoming a more integral part of our lives and being restricted from having them with us limits our flexibility and enjoyment of life.
Dogs should be allowed off leash at low tide to king island
Adding more dog poo bag and watering facilities. Especially at the westerly side of the Raby Bay off leash Beach. Then only one there is right up at the northerly end.

Additional Considerations
1) Please consider that swimming enclosures are to protect swimmers from shark attack. Why should dogs needing to cool down in summer be at risk of shark attack? Dogs should be permitted to swim in enclosures (on or off lead) when not in use by humans.
2) Please widen gangways and allow space on ferries (at front or rear) for large breed dogs. Please require all dog owners on ferries to restrain their dog (however small) from approaching other dogs on any part of the ferry and on the gangways. Please publicise this.
3) Please consider phasing out cats from the Southern Moreton Bay Islands via attrition (ie, register cats now alive; when existing cats die they may not be replaced). Cats are extremely destructive to wildlife. The Bay Islands are notable for free-ranging ducks and other water birds hunted by cats.
4) Please install speed limit signs requesting drivers to slow for wildlife on the Bay Islands, e.g. on lower Lucas Drive, Lamb Island, just before Guy St below Recreation Centre near waste station road.
The risk to public health and safety and also the native fauna, this risk is being compounded by the ever increasing number of dog owners. These times of restrictions I believe have led to the increasing number of dog owners.
Dogs should be allowed on leads in all public places at all times.
People safety. It's annoying to have a picnic and have random dogs coming over to eat your food. There's not enough car parking as is. Extra people going there just to walk their dog will make it even busier. It's hectic there some days
Dog poo bags more readily available. And drinking taps.
Dogs are not family members, dogs are dogs, not children not people.
More dog poo bins practically where many new walking paths have been installed and those that are heavily used along foreshores and within park areas around Redland Bay and in the southern areas of Redland Bay
The fact that dogs are banned from Wellington Point on the weekend is a joke! If you are promoting Redlands coast as a lifestyle location for people to move to, why implement a draconian law prohibiting dogs (on leads)? This needs to be changed, Don't give into the 1% of the grumpy old men and women who have lobbied you to change the law!
Making all surveys available to residents fb or their response and opinions

Additional Considerations

Council officers need to show common sense. E.g. fining families for having dogs tethered/leashed at a family bbq is ridiculous. Example includes Australia Day on Raby bay foreshore - where council officers went from family to family to fine different bbq gatherings on the grass

Another time was also asked to move on during my dogs last trip to the beach before putting her down at the vet later that day (wasn't even on the sand, up on the grass area at Raby bay foreshore under a tree during a weekday, with not a single other person in the entire beach). Kindly explained the situation to the council officer that my dog only had a few hours of life left, who had no compassion/remorse and moved me on regardless. Ruthless.

I've had countless bad experiences with council officers every time regarding dogs - they need to show more leniency and compassion.

If more areas are going to allow dogs on leads they need to provide more bins to support these additional dogs. I also feel that there should be a campaign in place to encourage people to pick up the dog mess and put it in a bin. I am sick of seeing little black bags of dog poo on my walks and dogs messing on the beach and leaving it there.

My concerns about having more areas where dogs can go is not only about dog mess, as I know behavioural matters aren't necessarily something the local law can deal with, it's about allowing children to play and for people to sit and enjoy grassy and beach areas without worrying what may be on the ground, to be safe and not have to put up with noise of dogs.

At present there is a large faction of dog owners who are entitled, and really only consider their dog's immediate pleasure rather than any sort of responsibility or the consequences of anti-social behaviour such as attacks. If a campaign could address cultural change so that illegal off leash dogs according to signs (place, time, and season for breeding wildlife) were derided and responsibility appreciated, perhaps laws could then be relaxed

Dogs have enough areas. People with no dogs are being ignored & overruled. Not all dog owners obey the rules.
Want to be able to walk, swim etc without dogs (especially Raby Bay & Wellington Point areas)

It is well known that numbers of dogs' owners run their dogs off leash in areas such as Wellington Pt and in busy conservation areas such as Scribbly Gums.
Considering it is already recognised that Animal control cannot effectively police these areas and fine irresponsible dog owners.

It makes no sense to add more areas to the already extensive list and in the case of Wellington Pt, allow dogs at all times.

Community safety must be at the forefront of consideration too. It's not fair for community members and tourists who do not own and/or like dogs to not have a choice to visit some of these recreational areas and always have the threat of an irresponsible dog owner unlawfully letting their dog off the lead or even worse a dog owner losing control of an aggressive dogs and a person/child or other animal/wildlife is attacked.

More policing. Council generally does a good job but there are places where I cannot walk my dog because so many other dogs are left to run off-leash. It's a difficult situation for council.

Additional Considerations
More dog friendly beaches and of lead eares
Letting small pets who can sit in a trolley or held in your arms into local retail outlets
Making sure owners know that the changes are for on leash areas. Some dog owners are not following the on leash guidelines.
<p>Swamp Box is a conservation area for the protection of Wildlife, Koalas, wallabies, echidnas etc., in a balanced ecosystem, all of which are already under threat from human activity which could now be impacted by dogs roaming in that previously protected area.</p> <p>Having dogs throughout that area is an inconsistent use of this reserve of land with significant conservation value because it is in a mostly untouched natural condition with high biodiversity. We need to carefully manage any conservation reserves to minimise disturbance and protect the ecosystems, native plant and animal communities, and other natural and cultural features they contain.</p> <p>Enforcement of current laws regarding dogs appears to be minimal and non-confronting.</p> <p>Need stronger penalties.</p> <p>Need to be enforced outside business hours as well.</p> <p>Tourism will be a major drawcard for visitors to Redland City in the future, we need to strongly protect the few conservation reserves, so that we have some uniqueness to other communities.</p> <p>Seems inconsistent with the Draft 2021-2026 Corporate plan which says under "the Natural Environment Section:-</p> <p>"3.1 Manage and maintain our natural assets and ecosystems, including wildlife protection, vegetation management, and marine and waterway health and values."</p> <p>The proposed changes seem to devalue and be inconsistent with the Redlands own "Koala Conservation Action Plan 2016-2021"</p> <p>Dog owners have plenty of other areas to exercise their dogs, we do not need to compromise the high conservation value of these areas.</p>

Additional Considerations

PLEASE NOTE: All dogs must be prohibited from accessing the Swamp Box Reserve, Capalaba. This is a sensitive environmental area and must be protected.

In the FAQ section it states:

Horses, camels and donkeys would be prohibited from foreshore/seashore areas in front of all swimming enclosures in Redlands Coast.

Does this imply that these animals (horses, camels and donkeys) would:

- (1) be granted access to public places other than 'foreshore/ seashore areas in front of all swimming enclosures in Redlands Coast?' and...
- (2) that they'd be given access to foreshore/seashore areas that are not in front of swimming enclosures?

Is the intention to change the areas listed in Local Law 2, Register of Animals in Public Places / Part 1 Prohibition of animals in public places under section 9(1) (a) and (b) of Local Law No. 2 (Animal Management) 2015 – Items 4 & 5 which deal with Public places where a person is prohibited from bringing a horse, camel or donkey at any time?

If so, this is not clearly evident and should be declined completely at this time and if need be, canvassed as a separate consultation process with the community.

I do not own a dog at this time, but have in the past owned a male German Shepherd.

I am a dog lover but unfortunately, if you give a little leeway, some people take that as permission to abuse those freedoms. That puts wildlife in danger. Unless council have the means to patrol these areas regularly, and/or install cameras, I am not confident that the right thing will be done. I would agree to dogs being permitted in the shallows and parklands, just not in bushy areas.

Example: I can't go to Wellington Point Recreation Reserve between 9am and 4pm. Even if my 2 small dogs are on a lead.

Impact: This is highly irrational and inconvenient, as my dogs are under full control, I collected their droppings, and if it's high tide before sunrise and 9am, it's impossible to walk to King Island. Which is one of the highlights at WPRR. Same with the afternoon until sunset.

Suggestion: dogs are allowed at any time provided they are on leads and the owner has effective control.

Thank you for reviewing this matter.

The nature of the dog, calm and quiet or vicious and aggressive

Policing the foreshore as dogs are seen off leash disturbing foreshore birds & installing more visible signage.

Dogs seen on beach at times off leash. Dog dropping s often seen on grass next to footpath. The health and safety of children who are often bare foot around the park. Dogs seen on the tables near bbq s .We walk in the park daily.

Additional Considerations
<p>Many migrant communities are scared of dogs. They are also frequent users of Wellington Point park. To expand the times that dogs are allowed at Wellington Point park is going the multi culturism supported by our community.</p>
<p>Places for dogs to walk play Water for dogs Off lead areas</p>
<p>The environmental and hygiene impact of dogs off leash needs to be considered and the safety of children and other uses of this wonderful facility which is often very busy since Covid. Please provide staff to monitor this. Dog walkers often leave mess outside our homes on Main Road when the council provides bags for this. There's no excuse really.</p>
<p>Proposed changes would appear to be sensible, provided people cooperate by keeping their dogs on leashes in those areas. Signs clearly explaining the rules and why the rules exist should be displayed prominently. Council officers / rangers should be present and highly visible as a deterrent to would-be rule-breakers, especially at busy times. The bylaws have to be actively policed, especially at Wellington Point during the early mornings. Offenders should be initially cautioned (and maybe offered a free short leash), but online records should be kept and readily available to Council officers / rangers on patrol, so that a repeat of the offence results in an on-the-spot stiff fine. Repeat offenders, as irresponsible owners, should be threatened with having their dogs removed. Council officers / rangers might benefit from assertiveness training to prepare them for dealing with the more aggressive dog-walkers. Adequate plastic bags and bins should also be provided.</p>
<p>Wellington Point Recreation Reserve On the sand spit, dogs on leash, and people in general*, should be confined to the actual sandy ridge. Dogs, even on a leash should not be allowed to venture onto the mudflats on either side of the sand, as migratory shorebirds and other waders feed across these flats at mid to low tides. Migratory shorebirds are most prevalent from late August to early May, but overwintering immature birds, resident shorebirds such as the Red-capped plover, Double-banded plovers (autumn and winter migrants from New Zealand) and water birds such as Striated herons are found here the rest of the year. These birds, especially the small species such as Red-necked stints, Sand plovers, Double-banded plovers, Red-capped plovers and Ruddy turnstones can be very hard to spot with the naked eye as they feed amongst the seagrass, on the muddy sand, or rubble, and many visitors and dog-walkers would not be aware of their presence. There need to be some clarity about whether dogs on leash are allowed on King Island itself, as King Island is a conservation park. Are they allowed on the area below the high-tide mark, but not on the island itself? King Island is not listed on the State government site which lists those conservation parks/areas where dogs are allowed. Whatever the answer is, this needs to be explained on a sign on the mainland and on the southern side of the island itself. * Exceptions are for scientific and educational purposes including bird photography where it is presumed that the person(s) is aware of the possible presence of wildlife and is at pains to cause as little disturbance as possible.</p>
<p>Beth Boyd Park I support keeping the foreshore a dog-free area as it is a shorebird foraging area. The area just to the north of Beth Boyd Park is also used a high-tide roost by waders such as Pied</p>

Additional Considerations
<p>oystercatchers, and should also remain dog-free.</p> <p>G.J. Walter Park Swimming for dogs should only be allowed at high tide. Dogs should not be allowed on the mud flats at any other time as there are usually shorebirds, either and/or both migratory and resident, and other water birds foraging in this area. There should be prominent signs to this effect, including signs about shorebirds, The Moreton Bay Ramsar site, and that fines apply if migratory shorebirds are disturbed. The occasional patrol by a council officer / ranger would not be out of place.</p> <p>Oyster Point Park This should also be a no-go area for swimming and bird-chasing off-leash dogs. Again, signage is required. This area should also be patrolled regularly.</p> <p>In relation to the next question, we used to have a dog until just over a year ago, who regularly accompanied us on our birding walks, but she was never off-leash, except in DOLA areas, and she never ventured into the water or ran out onto the mudflats at G.J. Walter Park in 14 years.</p>
People have to definitely pick of dog's mess.
People already have their dogs at this location off leash as well, unfortunately not all owners pick up after their dogs, and dogs off leash are not always safe with young children who do frequent the sandy beach. This areas already has rubbish on it, as I am often picking it up. There is a footpath behind that is more suitable.
Dog fights, dog bites, human safety, dogs escaping and uncontrolled. Even on leads
More infrastructure for southern Redlands
Dog owners rarely follow rules. The bayside is a nice place to walk without additional dogs to avoid.
There are signs up all over the place which are ignored by people using the parks. If anything ...signage overload! We DESPERATELY NEED MORE PARKS (quality parks) in the Redlands. People will not pick up poop and dogs will chase the birds on the foreshore. Please DO NOT makes these changes. I am a dog owner and dog lover and responsible dog owner. We need more off leash areas for dogs to socialise.
That owners of noisy dogs be given an education pack to advise them of how to stop the problem. Names of trainers and bark stop devices etc,

Additional Considerations
<p>Not allowing dogs on public transport is ridiculous. I realise that this is not a council matter but after having lived and worked overseas for many years I do not understand why my dog is not allowed on a bus or train. I would fully support the use of a muzzle but a total ban does not make any sense.</p>
<p>Will the area (particularly if a beach area) be suitable in terms of poo bag availability and disposal. It's important that any area not currently allowed can ensure that dog waste can be picked up and disposed of at the site. Additionally, if an area is an on leash area what constitutes a leash? Extending leads and long ropes can be dangerous in terms of trips and do not allow the animal to be controlled fully - this can lead to dogs racing towards other dogs and people etc. I suggest on leash means a standard 1.5 metre lead. Just because a dog is small does not mean it is controlled and just because one person's dog is calm and friendly doesn't mean all dogs are but they should be able to be walked and exercised on a standard lead without the owner worrying. If off leash areas are established they should be far enough away from roads that the animals can't potentially run into traffic. All in all I'm not opposed to greater freedoms for the dogs but I'd like to see more education through signage at those sites for people who don't think about other people and their dogs. Eg a sign saying 'this area is for all dogs. Please ensure you dog is on a lead no longer than 1.5 metres. If using retractable leads please fix your lead at 1.5 metres or less for the safety of others.'</p>
<p>I believe that dogs should be encouraged to be with their owners in the Redland Shire as long as they are on leash and under control. I also think Redland City Council should make their off leash approved areas much more generous in size to limit the congestion in them</p>
<p>Redlands are big advocates for getting outdoors and part of this should be families being able to take their beloved pets with them anywhere they go provided they are kept on lead unless in a designated off lead area. It's very silly that families cannot go to popular areas in Redlands for get together and not be able to have their dogs with them!</p>
<p>Put out communication as to why the restrictions to educate dog owners as to what the community expectations are of them. Arrange a public meeting and invite both sets of stakeholders.</p>
<p>I would expect the picnic areas to be totally exclusive and safe for children between the hours of 9am to 4pm as they are now, free of any likely chances of dog attacks. I have seen aggressive dogs on their leashes behave badly and would not want to see a child attacked. The park is often very busy on weekends now that Covid restrictions have been eased and I believe young children should not be subjected to risk at any time for the sake of those who say their dogs are well behaved. We know that dogs are unpredictable even on leash. I have owned dogs, I love dogs, but there is a time and place for them, in particular areas enclosed such as fenced grounds where they can run free.</p>
<p>Keep dogs to off leash areas.</p>

Additional Considerations

DOs failed to maintain an acceptable standard of hygiene (indiscriminate urination and defecation) before Covid; since then, while we are in a public health emergency, DOs have only behaved worse. Many dogs spend 10-12 hours alone in a yard or apartment daily - it is unconscionable that DOs who do this are even permitted to have a dog. As a regular walker I observe that at any time about 60% of dog walkers are in breach of local laws - mostly this relates to animals off leash, not under control, leash way too long, barking from the rear of moving vehicle, unrestrained, swimming at a non-designated beach (with up to 50 black swans nearby), etc. DOs do not consider the elderly or infirm - they fail to keep their animal away from potentially dangerous situations. More people die from dog attacks in Australia than from sharks, crocodiles, spiders or other animals and insects. I still have more comments to offer. The relevant costs of dog ownership that should be paid by DOs includes, but is not limited to labour and materials for, construction of off leash parks (both fenced and non-fenced, including paths and shelters), mowing of grass within these areas (proportion of total grass cutting for Redlands), proportion of animal management staff time and resources spent on dog issues, repairs and maintenance of dog parks, signage concerning dogs, costs of reticulation and dog drinking taps and bowls, time other Council Officers spend on dog related work (legal, front office, Councillors, etc). These costs are only slightly offset by dog registration fees. Currently 60% of the remaining, substantial costs, are borne by NDOs, who as previously stated, receive no benefit from this expenditure.

People breaking the rules - illegally letting dogs off leash because they 'trust' them. There is already a real problem with this in the Redlands. Expect chaos on a public holiday when 100 dogs are brought down to wellington point on a public holiday, with 70% off-leash. That's the percentage in my neighbourhood anyway.

Perhaps more waste disposal points. People should be able to carry water and poo bags themselves.

Be more specific in what you are proposing

Well behaved dogs are great to have around and the animal's behaviour responsibility belongs directly with the owner. Most owners know their pet's social habits and know how to control them around people.

Additional Considerations
<ol style="list-style-type: none"> 1. Strategically assess foreshore environmental values 2. Position dog off leash park, dog off leash beaches and dog prohibitions accordingly 3. New dog off leash areas should be trialled and evaluated - See Brisbane City Council Dog off leash area trial and Draft Queensland Parks and Wildlife (QPS) dog off leash guidelines. 4. Need to communicate that foreshore dog off leash areas are subject to Moreton Bay Marine park laws i.e. dogs must be under control so that shorebirds are not disturbed. 5. Greater communication outlining where dogs can be on lead off lead and are prohibited e.g. Signage, dog park app etc 6. Greater communication about the reasons for the dog prohibitions to foster appreciation for local environment 7. Greater enforcement of dog prohibition areas to uphold environmental protection
Continue looking at options to increases areas dogs are allowed.
There are people that do not feel comfortable with dogs. The typical dog owner "it's harmless" is useless. Why does people needs to be subject to a dog inspection?
The increased risk of litigation, the increased clean-up costs due to dog faeces, health implications to people and wildlife.
Dog owners are becoming a law to themselves i.e. do whatever they want. There is nothing you guys are currently doing to curb this bad behaviour.
Who has more rights - dogs or people?
Our shorebirds in particular
Wildlife and the public's safety.
Not everyone loves dogs in public.
People's safety when trying to walk and exercise their dog which is on a lead. Tighter restrictions on rental properties where dogs are concerned.
Consider all wildlife
Increased dog ownership requires additional areas to socialize & exercise. Dogs are part of the family unit these days & people want to be able to take their dogs wherever they go

Additional Considerations
<p>I know this pocket of conservation area quite well. In an area where housing has already significantly impacted on our wildlife it is important to reserve some places to give koalas and wallabies some space to retreat to and escape constant threat from humans, cars, and domestic pets. Introducing dog walkers will have a high impact. Having recently being introduced to walking in our various bushland reserves I was surprised to learn first how many previously unknown to me bush tracks exist, but secondly, how many people were walking their dogs which unfortunately were not always on a leash. So in short, plenty of walking areas are already available to dog owners, so the few and far in between undisturbed areas need to be protected, and Swamp Box needs to be one of them.</p>
<p>No one wants to be subjected to other people's animals. No one goes to food places wanting to listen to dogs bark or see them shit. While I love dogs my child is terrified of dogs - and some people are stupid - my child deserves to feel safe, more than some dog deserves to visit a market, a kid's park or a Cafe.</p>
<p>Special needs dog exceptions e.g. guide dogs.</p>
<p>More and much better signage needed informing dog owners of either on-leash rules or no-dogs allowed rules. Also more active patrolling needed (at weekends as well) to ensure rules are being adhered to, especially at hot-spots like Wellington Point and the seemingly overlooked Pt Halloran tidal sand & mud flats, which are also an important feeding area for migratory shorebirds. It's very common to see people out on the tidal flats with dogs off leash and running amok at low tide Pt Halloran and shorebirds being panicked and put to flight.</p>
<p>I don't understand Q4 - more information next time.</p> <p>Dog owners don't obey the rules as it is. Owners take their dogs to Wellington Point Recreation Reserve all the time off lead outside allowed times. They walk them over to Peal Island off leash. They let their dogs run off lead in our neighbourhood with more than one occasion where dogs have entered my private property and scared my children. They leave their dog's poop (bagged and not bagged) on drive ways, on the footpath, along pathed walking tracks at parks, etc. At some parks like Raby Esplanade you need to watch where you step to avoid dog poop. I'm sure many do the right thing, but lots of dog owners have little respect for how other people use public spaces, they think they are above the law. Bend the laws with this but they will still keep pushing the boundaries.</p>
<p>Be careful with koala habitat and shore birds conservation areas; clear signage of leash-only.</p> <p>Also please put in a special Dog Park at Wellington Point reserve on the eastern (Straddie-facing) side. There's a big grassed area which could be partially fenced to make a very popular off-leash dog area.</p>
<p>Environmental issues for once</p> <p>Not everyone wants dogs in these areas but seems dog owners get what they want no matter what</p>
<p>Swamp Box Area is a dense bush area with much native wild life in abundance. The only safe thoroughfare is where a Fire Break has been created. This is the boundary of many properties that have dogs and to allow dogs in this area will create a hostile environment and create undue barking along our peaceful back yard. We also do not want people/public walking along our back</p>

Additional Considerations
fence line as we enjoy our existing privacy. This is not a location for public access as the only space to walk was created as a Fire Break.
Much more policing of dog on-leash areas.
Keep dogs on lead and all will be sorted. No need to ban, dogs deserve to enjoy a nice walk too. I know I wouldn't go if I couldn't take my sons dog, his support for my ASD son but not officially/legally his support dog.
To do more rounds in these walking path, impose severe fines to people that do not respect the rules.
There are considerable wallabies living in this area. We have seen dogs in this area chasing the wallabies. Dog owners can't be trusted to do the right thing now when dogs are supposed to be banned from this area.
<p>Council makes many statements of concern about the well-being of wildlife, and especially the koala. Council's track record shows the wildlife comes way down the priority list. This is part of the "naturally wonderful" bit of the city's vision, such as it is!</p> <p>It's well known that dogs are a major stressor for koalas. It's the loss of habitat that is the primary reason for the decline in koala numbers and stress is a secondary result.</p> <p>It's important that koalas and gliders and other wildlife can have as much quiet habitat as possible without the threat of dogs.</p> <p>In Swamp Box Conservation Area, we have an urban area that can be a refuge for the purpose of conserving wildlife, the very purpose for which it exists. It's also an area where residents can quietly enjoy the natural environment, one of the few not beset by trail bikes and dogs.</p> <p>Now I know that we have many responsible dog owners who attempt to minimise the impact of their pets on others by cleaning up faeces and keeping their dogs under control.</p> <p>As one who walks along our pathways and parks, I can also attest to the fact that more than a few dog owners neither keep their dogs on the leash, no do they take responsibility for cleaning up their dogshit.</p> <p>I am firmly of the opinion that Council should leave Swamp Box Conservation Area to its natural faunal inhabitants, and keep dogs out.</p>

Additional Considerations

Swamp Box Reserve already has some protection on the site under the Priority Enhancement Corridor section of Council's plan which should be maintained and it is also one of few safe refuges for wallabies, koalas and other wildlife. No matter if there is a sign saying "on a leash", some dog walkers will let their dogs off the leash (they are walking dogs in that reserve now, without any right to do so, and not always on a leash - they chase the wallabies. Dog owners often make rude remarks if questioned). There are also horse riders and trail bike riders in there now. The commitment to keep dogs on leashes cannot be policed or monitored and so is not safe for the local animals or the local residents, or anyone else walking in the area. This is obvious by the breaches that are already occurring.

There used to be many koalas in this reserve until Council allowed a lot of development within their feeding corridor and, whilst we had a koala on our property every other week, I have not seen one for about 7 years now (lived here decades). We do not want this also to happen to wallabies - maimed or frightened away. If Swamp Box Reserve is already listed as a Priority Enhancement Corridor in the Council's Wildlife Connections plan through to 2027, why is such a proposal for dogs even being proposed? This is in a designated Koala Area in Ferntree Park and with the severely endangered state of koalas in Redlands, it seems ludicrous to consider such a relaxation.

Additionally, the added parking required and extra traffic, as well as strangers walking around near local houses, is an unnecessary burden simply for dogs to be able to go there when there are many more appropriate places already available to dogs. There would not be enough parking available except along the streets - a further hazard, when you consider the lengths some people go to be right at the access points.

I have had, loved and respected a number of dogs over the years and am appalled at the way in which some owners do not take responsibility for their dogs and allow them to do as they please. Perhaps some attendance at seminars on pet responsibility would not go astray.

The wildlife.

Council needs to make the protection of our wildlife a priority. Dogs should be banned in wildlife corridors and conservation areas.

native animals wallaby & koalas

Council's plan to relax dog restrictions in Priority Enhancement Corridors is incompatible with its Wildlife Connections Plan 2017-2027 designed to provide safe pathways for wildlife.

For example, Swamp Box Reserve at Capalaba (38.97 hectares) provides the only safe refuge for remaining wallaby populations sheltering between Lyndon and Redland Bay Roads. An influx of dog walkers visiting this quiet bushland area would disturb sleeping wallabies and have them fleeing into dangerous territories to escape the threat of predators; wallabies feel no safer when the dogs are on leads. Even more dead wallabies will be seen on roadsides.

I have lived in this area for 32 years and found Ferntree Park residents to be very supportive of protecting wildlife. Some 300 hundred residents signed a petition presented to Council to have Ferntree Park placed under Tree Protection in the 90s. Since then, we have successfully rallied

Additional Considerations

to have the entire estate designated as a Koala Area in 2016. It makes no sense for Council to now remove dog prohibitions from adjacent Swamp Box Reserve and place vulnerable koalas at further risk. It cannot be guaranteed that dogs will be kept on leads once out of sight.

Conditions put on Era development do not allow for residents to keep dogs. Why should they then have to contend with people from other areas bringing dogs into adjoining Swamp Box Reserve.

Council should learn from what has happened in other wildlife reserves such as Days Road, Redland Bay where horses, dogs and bikes are now out of control, causing irreparable damage to the environment. This is distressing for volunteer bush carers and seeders who give freely of their time to maintain this once beautiful sanctuary for wildlife.

What upsets me the most, is the weak excuse given by Council to change wildlife reserves into dog walking areas - simply to bring them into line with other places. Do we really want Redlands to be just like anywhere else? The reason we all want to live here is because our city is unique. This is our chance to raise the bar and lead by example by keeping wildlife reserves strictly for what they are intended – for the preservation of existing wildlife, not for dog walkers to have a nice place to go.

Dogs are social animals and happy to walk anywhere with their masters. Dog owners should not expect Council to relax dog restrictions for them to bring domestic animals into areas reserved for wildlife.

PEOPLE BEFORE DOGS! We have just come out of a 12 month battle over Dog Kennels where dogs were to be boarded all year round as well as having a Pet Crematorium nearby. We feel it is time that Council considered the rights and welfare of adults and children in the community **BEFORE DOGS**.

Does Council really need another avenue for more complaints to be lodged about dogs being a nuisance in the Redlands area?

Regular compliance, especially at weekends and during peak holiday season appears lacking. Tourists with dogs think they can get off the ferry and let animals loose on the beach. We need signage at Victoria Point directed at dog owners or perhaps a ban on visiting dogs! (So many residents on our small island have two animals) There is nothing more frightening than having an unleashed dog run along a beach and grab you - this has happened twice to me. Our wildlife deserves a chance - so many thanks for not including Coochiemudlo Island in the current round of relaxations. No doubt there are dog owners who would like full access to beaches and conservation reserves. We need to continually work on community education of the reasons behind Council's well-grounded restrictions. Please consider a fenced dog off-leash area at the Laurie Burns Recreation Reserve.

We have a beautiful and diverse environment and I feel we need to consider our diminishing wildlife as an integral part of its appeal.

Additional Considerations
<p>Our property directly adjoins the Swamp Box Reserve, and I continually see dogs roaming freely through the bush while their owners carry the untethered lead. Encouraging visitors and their dogs - regardless of rules around leashes - would certainly create bigger issues.</p>
<p>Our wildlife and natural environment always comes first! We must protect what we have.</p> <p>Some wording from the RCC website - 'Protecting and restoring our natural wonderful environment is one of our top priorities' and 'There are a number of animals that are not only iconic to the Redlands, but also listed as threatened species, with some found not only across the city, but also in our urban areas.'</p> <p>There is no point in talking about protecting our natural environment and animals when the council is not prepared to back it up with some tough decisions. Yes, there will be some unhappy dog owners but there will also be peace for our animals.</p>
<p>The reason we love and are attracted to this lifestyle and dare I say, ruralise environment</p>
<p>The Council should increase its efforts in enforcing animal management laws with particular focus on ensuring compliance with laws requiring that dogs be kept on leash in public places that are not designated off-leash areas. It is quite usual to see several dogs being allowed by their irresponsible owners to be off leash in the Wellington Point Recreation Reserve between the car park and King Island. It is unusual to see any Redland City Council effort to enforce animal management laws in this area or indeed in any other parks or public places in the Redlands. What is the point of having local laws if they are not properly enforced? If Redland City Council believes that it is not competent or capable of protecting the natural environment in places such as the foreshores of Moreton Bay (which happen to be part of an internationally listed Ramsar site and a State Marine Park) then the Council should request the State Government to assume this responsibility. Until the Council can demonstrate to the community that the Council is capable of enforcing local laws requiring that dogs be kept on leash in places such as Wellington Point Recreation Reserve there should be no relaxation of prohibitions of dog access to places in the Redlands. If the Council is totally clueless about how to enforce local laws then perhaps some advice could usefully be obtained from the Queensland Police Service. They seem to have got the hang of how to enforce speed limits and laws prohibiting drunk driving. A visible presence and persistent effort seem to be necessary if law enforcement is the objective. A total ban (rigorously enforced) on dog access to the Wellington Point Recreation Reserve for a trial period of 3-6 months would be a good wake up call for those in the community who are ignorant of current animal management laws and those who wilfully ignore these laws. Then the Council could consider some staged relaxation based on demonstrated compliance ascertained by careful observation. Clearly the Council will need to allocate more resources to enforcement of animal management laws and presumably this will reduce the amount left available for pork barrelling. But councillors are required, by law, to act in the public interest. So this reallocation of ratepayers' funds should not be a problem, should it?</p>

On topic feedback received (not properly made)

The below feedback was received against the Facebook posts but does not meet the requirements for a properly made submission as no address was provided.

- Need to stop idiots heading straight for the feeding birds between King Island and Wellington Point with dogs off leash. There's a lot of smaller birds feeding. Go there any day and see these types of people. I do report them if I can find the car they're driving.
- Ok, so Council want to restrict dogs in areas where seabirds next, but don't give a rats about the impact of Toondah development. What a joke!
- Migratory seabirds are protected beyond any local laws – dogs are supposed to be controlled by their owners 'what a joke'.
- Anyone that thinks it's good exercise for their dogs to chase a few birds should go to Africa and get chased by a few lions themselves and then report back on how much fun it is to be scared @@@@.
- Apparently the Eddie Santajuliana Way is off leash for a few dog's whose owners ignore the signs!
- There will be no point in changing or amending the laws if there is no enforcement.

Other feedback received outside of the question surveyed

The below feedback was also received during the consultation period, this does not relate to the local law amendment but has been recorded and provided to the Animal Management Unit for consideration.

- Banning dogs from Cleveland markets would be a good start. It has become a dog show. This is apart from the potential health aspects. There are food stalls aplenty.
- Dogs off the lead sounds great except that not all dogs can be off the leash because they're not trained or because the dog gets too anxious with other dogs.
- Bit of a joke really, beaches on Coochie regularly have dogs leashed or unleashed, with owners or without, yet it is not included.

Appendix B – Community Engagement Collateral

Bulletin Advertisement

your say

Redland CITY COUNCIL

Proposed changes to where animals can go

Council is proposing to increase the number of places where dogs on lead will be allowed.

This includes some parks and foreshores. However in foreshore areas where seabirds roost, it is proposed that existing prohibitions remain.

In other places, where allowing dogs on lead may better align with community expectations, restrictions and prohibitions may be lifted or relaxed.

Visit yoursay.redland.qld.gov.au to find out about your favourite public places.

Have your say before submissions close on **6 December 2020**.

3829 8999

Your Say Redlands Coast

YourSay Page

Redland CITY COUNCIL

Home > Proposed changes to where animals can go

Proposed changes to where animals can go

Council is proposing to increase the number of locations where dogs on lead will be allowed.

Council recently undertook a review of the Register of Animals in Public Places and the places that animals are allowed to go.

The review involved weighing the prohibitions or restrictions in place in each location against health, safety, amenity and environmental factors.

This includes some parks and foreshores.

However in foreshore areas where seabirds roost, it is proposed that the prohibitions be retained.

In other places, where allowing dogs on lead may better align with community expectations, it is proposed that the restrictions and prohibitions be lifted.

If the proposed changes are adopted:

- signage would be installed advising of changes
- dogs would need to be on a lead and under effective control at all times.

Read the FAQs to see what changes are proposed around the city and have your say today.

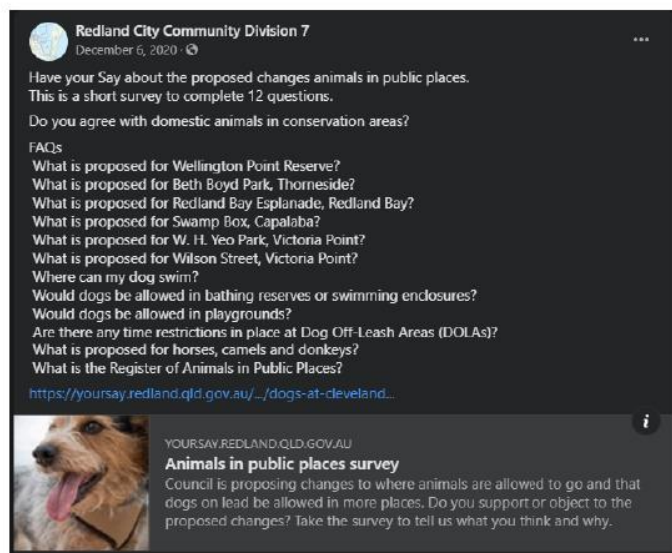
FAQs

- What is proposed for Wellington Point Reserve?
- What is proposed for Beth Boyd Park, Thorneside?
- What is proposed for Redland Bay Esplanade, Redland Bay?
- What is proposed for Swamp Box, Capalaba?
- What is proposed for W. H. Yeo Park, Victoria Point?
- What is proposed for Wilson Street, Victoria Point?
- Where can my dog swim?
- Would dogs be allowed in bathing reserves or swimming enclosures?
- Would dogs be allowed in playgrounds?
- Are there any time restrictions in place at Dog Off-Leash Areas (DOLAs)?
- What is proposed for horses, camels and donkeys?
- What is the Register of Animals in Public Places?

Signs



Facebook Posts





Redland City Council

**Local Law No. 2 (Animal Management)
2015**

Register

Animals in Public Places



Redland City Council

Local Law No. 2 (Animal Management) 2015

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Register Prohibition and restriction of animals in public places

Local Law No. 2 (Animal Management) 2015

The dictionary in the schedule defines particular words used in this Register.

Part 1 Prohibition of animals in public places under section 9(1)(a) and (b) of Local Law No. 2 (Animal Management) 2015.

Item	Column 1 Prohibition	Column 2 Public Place
1	Public places where a person is prohibited from bringing a dog at any time.	<p>(a) The reserve and the adjacent foreshore and seashore at Beth Boyd Park, Thorneside – but limited to the area on the beach side of the designated walkway. (Map 1)</p> <p>(b) All foreshore and seashore at Raby Bay, Cleveland except the foreshore and seashore in front of Raby Bay Foreshore Park between the first groyne in an easterly direction from the intersection of Masthead Drive and Seacreast Court and the first groyne in a westerly direction from the intersection of Masthead Drive and Seacreast Court. (Maps 2)</p> <p>(c) The foreshore and seashore adjacent to W.H. Yeo Park, Victoria Point between the intersection of Thompson Street and Thompson Esplanade and west to the mouth of Moogurrumpum Creek. (Map 3)</p> <p>(d) All reserves on Coochiemudlo Island and the foreshore and seashore of Coochiemudlo Island from the boat ramp at Main Beach, extending in—</p> <p>(i) an easterly direction to Norfolk</p>

Item	Column 1 Prohibition	Column 2 Public Place
		<p>Beach (Map 5); and</p> <p>(ii) a northerly direction to Morwong Beach (Map 5); and</p> <p>(iii) a westerly direction to the intersection of Elizabeth Street and Victoria Parade at Morwong Beach. (Map 6)</p> <p>(f) The foreshore, seashore and reserve at Cylinder Beach, North Stradbroke Island between the foreshore and the roads abutting the reserve. (Map 13)</p> <p>(g) The foreshore and seashore at North Stradbroke Island, Main Beach between a point north east of Plant 7 Road and the access road adjacent to the Point Lookout Surf Lifesaving Club.</p> <p>(h) The foreshore and seashore in front of the swimming enclosures at Redland Bay, North Stradbroke Island (Maps 11 & 12), Russell Island (Map 8), Macleay Island (Map 7), Lamb Island (Map 9) and Karragarra Island (Map 10).</p> <p>(i) The display garden and barbeque areas located at the Redlands Indigiscapes Centre, 17 Runnymede Road, Capalaba.</p> <p>(j) Myora Springs Reserve, North Stradbroke Island.</p> <p>(k) Empire Point Wader Roost, Omiston (Lot 116 on SL8945). (Map 4)</p> <p>(l) All bathing reserves placed under the control of the local government.</p> <p>(p) Within 10 metres of any recreational apparatus in a public place that is provided for the use of the community.</p> <p>(q) Swamp Box Conservation Area, Capalaba (Lot 900 on SP207204).</p> <p>(r) In any shop other than —</p> <p>(i) a pet shop; or</p> <p>(ii) a veterinary shop/clinic; or</p>

Item	Column 1 Prohibition	Column 2 Public Place
		(iii) if the animal is a dog or a cat – a dog grooming or pet care salon.
2	Public places where a person is prohibited from bringing a dog which is: (a) A regulated dog; or (b) A dog the subject of a proposed declaration notice.	Each public place which is designated as a dog off-leash area.
3	Public places where a person is prohibited from bringing a horse, camel or donkey at any time.	(a) Wellington Point Recreation Reserve, Wellington Point. (b) Redlands Indigiscapes Centre, 17 Runnymede Road, Capalaba. (c) All bathing reserves placed under the control of the local government. (d) The foreshore and seashore in front of the swimming enclosures at Redland Bay, North Stradbroke Island, Russell Island, Macleay Island, Lamb Island and Karragarra Island.
4	Public places where a person is prohibited from bringing a horse at any time.	Subject to Item 3(a), (b) (c) and (d), each park and reserve within the local government area except those which are designated by sign as a public place where a person is permitted to bring a horse at any time.
5	Public places where a person is prohibited from bringing an animal other than a dog at any time.	(a) All parks and reserves within the local government area. (b) All foreshore areas within the local government area. (c) All bathing reserves placed under the control of the local government.

Part 2 Restriction of animals in public places under section 9(1)(c) of Local Law No. 2 (Animal Management) 2015

Item	Column 1 Restriction	Column 2 Public Place
1	<p>Public places where a person may only bring a camel or donkey subject to conditions and particulars of the conditions.</p> <p>The conditions applicable to the bringing of a camel or donkey onto a public place identified in Item 1, Column 2 are that the responsible person for the animal must ensure that the animal does not do any of the following—</p> <ul style="list-style-type: none"> (a) enter any area which is not part of a designated trail system; (b) disturb feeding, resting or roosting shore birds or wading birds; (c) disturb mangroves, sea grass or other marine vegetation or cause other environmental harm. <p>These conditions do not apply if 1 or more camels or donkeys are brought onto a park or reserve by the holder of an approval granted under <i>Local Law No. 1 (Administration) 2015</i>—</p> <ul style="list-style-type: none"> (a) in the exercise of the rights of the holder of the approval; and (b) in accordance with the conditions specified in the approval. 	<ul style="list-style-type: none"> (a) All parks and reserves within the local government area. (b) All foreshore areas within the local government area, with the exception of the foreshore and seashore in front of the swimming enclosures at Redland Bay, North Stradbroke Island, Russell Island, Macleay Island, Lamb Island and Karragarra Island

2	<p>Public places where a person may only bring a horse subject to conditions and particulars of the conditions.</p> <p>The conditions applicable to the bringing of a horse onto a public place identified in Item 2, Column 2 are that the responsible person for the horse must ensure that the horse does not do any of the following—</p> <ul style="list-style-type: none"> (a) disturb feeding, resting or roosting shore birds or wading birds; (b) disturb mangroves, sea grass or other marine vegetation or cause other environmental harm. <p>These conditions do not apply if 1 or more horses are brought onto a park or reserve by the holder of an approval granted under <i>Local Law No. 1 (Administration) 2015</i>—</p> <ul style="list-style-type: none"> (a) in the exercise of the rights of the holder of the approval; and (b) in accordance with the conditions specified in the approval. 	<ul style="list-style-type: none"> (a) All parks and reserves within the local government area unless the park or reserve is a public place where a person is prohibited from bringing a horse at any time under Part 1, Item 3 or Item 4. (b) All foreshore areas within the local government area with the exception of the foreshore and seashore in front of the swimming enclosures at Redland Bay, North Stradbroke Island, Russell Island, Macleay Island, Lamb Island and Karragarra Island.
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Register Dog off-leash areas

Local Law No. 2 (Animal Management) 2015

Dog off-leash areas designated under section 10 of Local No. 2 (Animal Management) 2015

Item	Column 1 Public place designated as a dog off-leash area	Column 2 If the dog off-leash area is not a dog off-leash area at all times — the specified days and hours when a dog is not required to be on a leash
1	Point Lookout, North Stradbroke Island Area within the foreshore and seashore in front of the Point Lookout Hotel, Home Beach between Rocky Point and the Rocky Headland	
2	Dunwich - North Stradbroke Island Barton Street Park Lot 80 on SP228347 Area between the skatebowl and the fenced area at the eastern end of the park.	
3	Capalaba – Wentworth Drive Park Area within the fenced dog off leash enclosure Lot 7 on RP119832 and Lot 515 on RP159458	
4	Redland Bay – Charlie Buckler Sportsfield Area within the fenced dog off leash enclosure Lot 1 on RP 173525	

5	<p>Thornlands - Robert Mackie Park, Thornlands</p> <p>Area within the fenced dog off leash enclosure</p> <p>Lot 200 on RP188833</p> <p>.</p>	
6	<p>Birkdale – Three Paddocks Park</p> <p>Area within the fenced dog off leash enclosure</p> <p>Lot 2 on SP131666</p>	
7	<p>Alexandra Hills – Windemere Road Park</p> <p>Area within the fenced dog off leash enclosure</p> <p>Lot 1 on RP182975</p>	
8	<p>Alexandra Hills – George Street Park</p> <p>Area within the fenced dog off leash enclosure</p> <p>Lot 101 on RP138749</p>	
9	<p>Birkdale – Aquatic Paradise Park West</p> <p>Area within the unfenced area as designated by signage.</p> <p>Lot 420 on RP801831</p> <p>.</p>	
10	<p>Capalaba – Brosnan Drive Park</p> <p>Area within the fenced dog off leash enclosure</p> <p>Lot 268 on RP203284</p>	
11	<p>Cleveland – GJ Walter Park</p> <p>Area within the unfenced area as designated by sign</p> <p>Lot 66 on SP11554</p>	

12	<p>Cleveland – Raby Bay Foreshore Park</p> <p>Area within the foreshore and seashore in front of Raby Bay Foreshore Park between the first groyne in an easterly direction from the intersection of Masthead Drive and Seacreast Court, Cleveland and the first groyne in a westerly direction from the intersection of Masthead Drive and Seacreast Court.</p> <p>Lot 449 on SL12369</p>	
13	<p>Coochiemudlo Island – Main Beach</p> <p>Victoria Parade</p> <p>Coochiemudlo Foreshore – West</p> <p>Area within the foreshore and seashore at Main Beach, Coochiemudlo Island between a point 113 metres west of the barge ramp, and extending in a westerly direction to a point 293 metres west of the barge ramp .</p> <p>Lot 22 on SP144276</p>	<p>(a) At all times during the months of May, June, July and August; and</p> <p>(b) During the months of January, February, November and December but only before 9.00 a.m. and after 5.00 p.m. each day.</p>
14	<p>Russell Island – Lions Boulevard Park</p> <p>Area within the foreshore and seashore in front of Lions Boulevard Park.</p> <p>Lots 71-81 on RP122082</p>	<p>(a) At all times during the months of May, June, July and August; and</p> <p>(b) During the months of January, February, November and December but only before 9.00 a.m. and after 5.00 p.m. each day.</p>
15	<p>Alexandra Hills – Hanover Drive Park</p> <p>Area within the fenced dog off leash enclosure</p> <p>Lot 300 on RP192407</p>	
16	<p>Alexandra Hills – Valantine Park</p> <p>Area within the fenced dog off leash enclosure</p> <p>Lot 16 on RP187810</p>	
17	<p>Birkdale, Lachlan Street Park</p> <p>Area within the fenced dog off leash enclosure</p> <p>Lot 86 on RP206419</p>	

18	Capalaba, Capalaba Regional Park Area within the fenced dog off leash enclosure Lot 1 on RP180899	
19	Lamb Island, Pioneer Park (Lamb) Area within the unfenced area as designated by sign Lot 15 on RP31222	
20	Macleay Island - Attunga Street Foreshore Area within the unfenced area as designated by sign Lot 528 on RP118164	
21	Mt Cotton – Mount Cotton Community Park Area within the fenced dog off leash enclosure Lot 915 on SP221149	
22	Ormiston – Redlands Softball Park Area within the fenced dog off leash enclosure Lot 1 on RP219150	
23	Russell Island – The Bay Islands Pioneer Childrens Memorial Park Area within the fenced dog off leash enclosure Lot 1 RP79337	
24	Redland Bay – Moogurrapum Creek Corridor – Gordon Road Area within the fenced dog off leash enclosure Lot 28 on SP144550	

25	Redland Bay – Orchid Beach Foreshore (South) Area within the fenced dog off leash enclosure Lot 901 on SP124449	
26	Thornlands – Manning Esplanade Foreshore Area within the fenced dog off leash enclosure Lot 805 on SP186651	
27	Victoria Point – Victoria Point Bushland Refuge Area within the fenced dog off leash enclosure Lot 4 on SP232581	
28	Victoria Point – Les Moore Park Area within the fenced dog off leash enclosure Lot 2 on RP222425	
29	Redland Bay – Beachwood Street Park Area within the fenced dog off leash enclosure Lot 900 on SP267633	
30	Capalaba – Gundagai Drive Park Area within the fenced dog off leash area enclosure Lot 903 on RP803254	
31	Victoria Point – Eprapah Creek Corridor – Victoria Point West Area within the fenced dog off leash area enclosure Lot 3 on RP907141	
32	Thornlands – Freshwater Street Park Area within the fenced dog off leash area enclosure Lot 8 on SP279427	

Schedule 1 Maps

Map 1: Thorneside

The reserve and the adjacent foreshore and seashore at Beth Boyd Park, Thorneside – but limited to the area on the beach side of the designated walkway.



Map 2: Cleveland

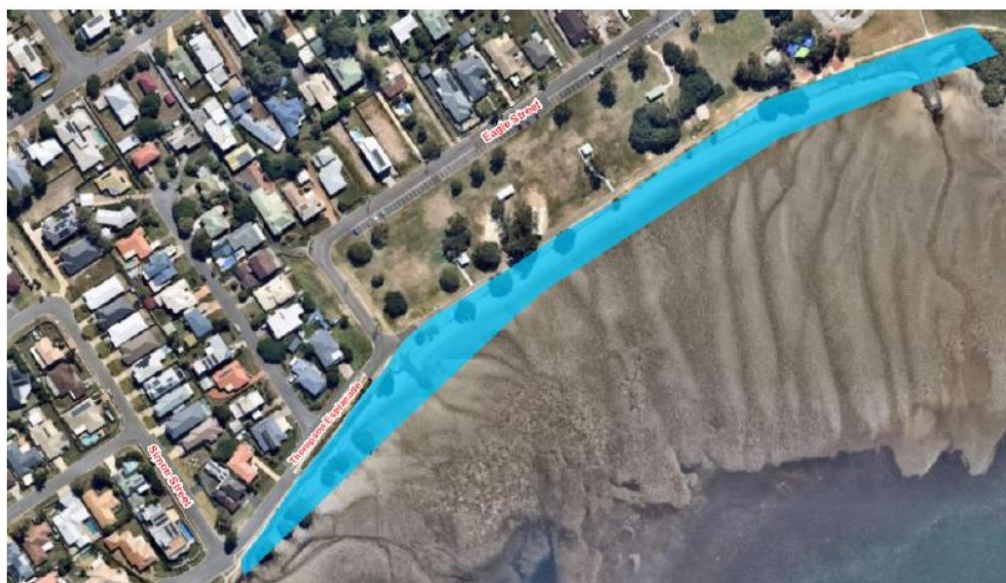
All foreshore and seashore at Raby Bay, Cleveland except the foreshore and seashore in front of Raby Bay Foreshore Park – Groyne 1



All foreshore and seashore at Raby Bay, Cleveland except the foreshore and seashore in front of Raby Bay Foreshore Park – Groyne 1.

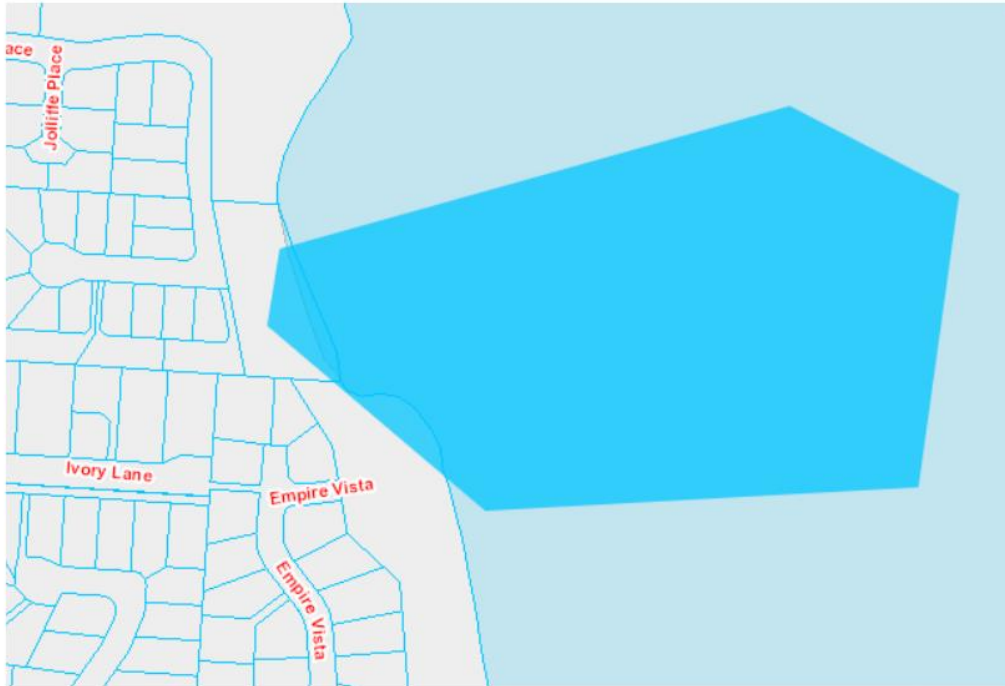
Map 3: Victoria Point

The foreshore and seashore adjacent to W.H. Yeo Park, Victoria Point between the intersection of Thompson Street and Thompson Esplanade and west to the mouth of Moogurrumpum Creek.



Map 4: Ormiston

Empire Point Wader Roost, Ormiston.



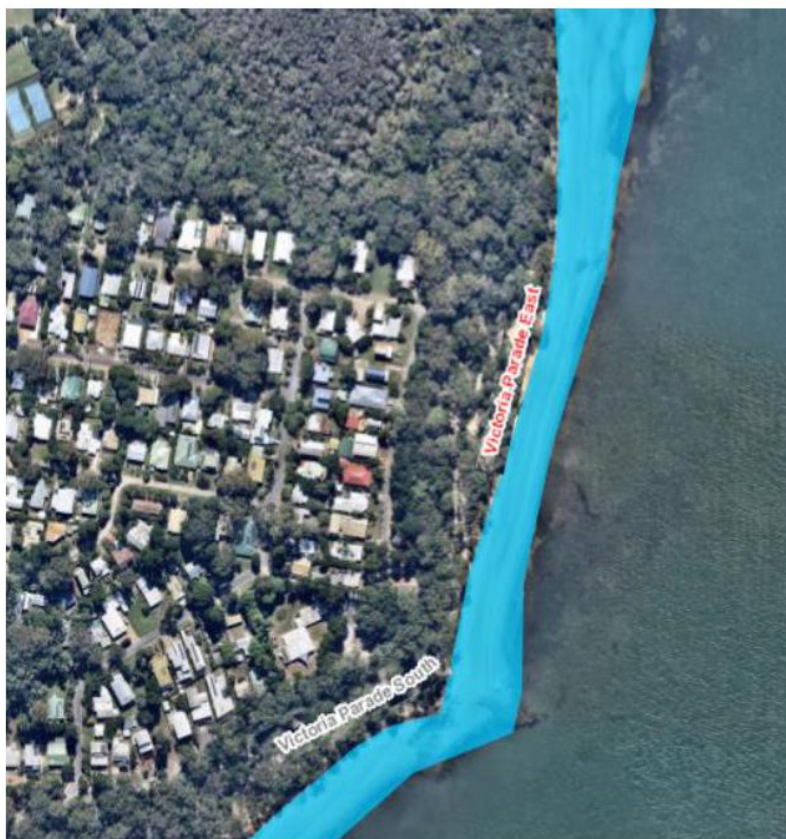
Map 5: Coochiemudlo

All reserves on Coochiemudlo Island and the foreshore and seashore of Coochiemudlo Island from the boat ramp at Main Beach



Map 6: Coochiemudlo

All reserves on Coochiemudlo Island and the foreshore and seashore of Coochiemudlo Island extending in— an easterly direction to Norfolk Beach



All reserves on Coochiemudlo Island and the foreshore and seashore of Coochiemudlo Island extending in a northerly direction to Morwong Beach



Map 7: Macleay Island

The foreshore and seashore in front of the swimming enclosure at Macleay Island.



Map 8: Russell Island

The foreshore and seashore in front of the swimming enclosure at Russell Island.



Map 9: Lamb Island

The foreshore and seashore in front of the swimming enclosure at Lamb Island



Map 10: Karragarra Island

The foreshore and seashore in front of the swimming enclosure at Karragarra Island.



Map 11: North Stradbroke Island

The foreshore and seashore in front of the swimming enclosure at Dunwich, North Stradbroke Island



Map 12: North Stradbroke Island

The foreshore and seashore in front of the swimming enclosure at Amity Point, North Stradbroke Island



Map 13: North Stradbroke Island

The foreshore, seashore and reserve at Cylinder Beach, North Stradbroke Island between the foreshore and the roads abutting the reserve



Schedule 2 Dictionary

bathing reserve means a bathing reserve placed under the control of the local government by gazette notice.

designated trail system means a system of trails which are—

- (a) physically defined; and
- (b) constructed by the local government for recreational use, including, without limitation, the riding of horses, camels and donkeys.

foreshore has the meaning given in the *Local Government Regulation 2012*.

park has the meaning given in *Subordinate Local law No. 4 (Local Government Controlled Areas, Facilities and Roads) 2015*.

Proposed declaration notice has the meaning given under the Animal Management (Cats and Dogs) Act 2008.

Recreation apparatus means equipment provide for the recreational enjoyment of the community, this includes:

- Playground equipment
- Nature play equipment
- Exercise equipment

regulated dog means a dog that under the *Animal Management (Cats and Dogs) Act 2008* is a declared dangerous dog, a declared menacing dog or a restricted dog.

reserve has the meaning given in *Subordinate Local Law No. 4 (Local Government Controlled Areas, Facilities and Roads) 2015*.

seashore has the meaning given in section 62(2) of the *Local Government Regulation 2012*.

471125_1

14 REPORTS FROM COMMUNITY & CUSTOMER SERVICES**14.1 DECISIONS MADE UNDER DELEGATED AUTHORITY FOR CATEGORY 1, 2 AND 3 DEVELOPMENT APPLICATIONS****Objective Reference:** A5268080**Authorising Officer:** Louise Rusan, General Manager Community & Customer Services**Responsible Officer:** David Jeanes, Group Manager City Planning and Assessment**Report Author:** Jill Driscoll, Group Support Coordinator**Attachments:** 1. Decisions Made Under Delegated Authority 03.01.2021 to 30.01.2021 [↓](#)**PURPOSE**

To note decisions made under delegated authority for development applications (Attachment 1). This information is provided for public interest.

BACKGROUND

At the General Meeting of 21 June 2017, Council resolved that development assessments be classified into the following four categories:

Category 1 – minor code and referral agency assessments

Category 2 – moderately complex code and impact assessments

Category 3 – complex code and impact assessments

Category 4 – major assessments (not included in this report)

The applications details in this report have been assessed under:

Category 1 – Minor code assessable applications, concurrence agency referral, minor operational works and minor compliance works, and minor change requests and extension to currency period where the original application was Category 1.

Delegation Level: Chief Executive Officer, General Manager, Group Managers, Service Manager, Team Leaders and Principal Planners as identified in the officer's instrument of delegation.

Category 2 – In addition to Category 1, moderately complex code assessable applications, including operational works and compliance works and impact assessable applications without objecting submissions; other change requests and variation request where the original application was Category 1,2,3 or 4*.

**Provided the requests do not affect the reason(s) for the call in by the Councillor (or that there is agreement from the Councillor that it can be dealt with under delegation).*

Delegation Level: Chief Executive Officer, General Manager, Group Managers and Service Managers as identified in the officer's instrument of delegation.

Category 3 – In addition to Category 1 and 2, applications for code or impact assessment with a higher level of complexity. They may have minor level aspects outside a stated policy position that are subject to discretionary provision of the planning scheme. Impact applications may involve submissions objecting to the proposal readily addressable by reasonable and relevant conditions. Assessing superseded planning scheme requests and approving a plan of subdivision.

Delegation Level: Chief Executive Officer, General Manager and Group Managers as identified in the officer's instrument of delegation.

Human Rights

There are no known human rights implication associated with this report.

OFFICER'S RECOMMENDATION/COUNCIL RESOLUTION 2021/63

Moved by: Cr Tracey Huges

Seconded by: Cr Paul Bishop

That Council resolves to note this report.

CARRIED 11/0

Crs Karen Williams, Wendy Boglary, Peter Mitchell, Paul Gollè, Lance Hewlett, Mark Edwards, Julie Talty, Rowanne McKenzie, Tracey Huges, Adelia Berridge and Paul Bishop voted FOR the motion.

Attachment 1 Decisions Made Under Delegated Authority 03.01.2021 to 30.01.2021

Decisions Made Under Delegated Authority 03.01.2021 to 09.01.2021**CATEGORY1**

Application Id	Application Full Details	Applicant	Associated Property Address	Primary Category	Decision Date	Negotiated Decision Date	Decision Description	Division
CAR20/0559	Design and Siting - Carport	Stuart Building Certification	18 Clearwater Street Ormiston QLD 4160	Referral Agency Response - Planning	06/01/2021	N/A	Refused	1
CAR20/0572	Design and Siting - Dwelling	Bartley Burns Certifiers & Planners	56 Wellington Street Ormiston QLD 4160	Referral Agency Response - Planning	04/01/2021	N/A	Approved	1
CAR20/0543	Design and Siting - Dwelling	Clarendon Homes Qld Pty Ltd	6 Russell Street Cleveland QLD 4163	Referral Agency Response - Planning	04/01/2021	N/A	Approved	2
CAR20/0565	Design and Siting - Patio	The Certifier Pty Ltd	103 Island Street Cleveland QLD 4163	Referral Agency Response - Planning	04/01/2021	N/A	Approved	2
CAR20/0566	Design and Siting - Dwelling	Burbank Homes	20 Albert Street Victoria Point QLD 4165	Referral Agency Response - Planning	04/01/2021	N/A	Approved	4
MCU20/0113	Multiple dwelling x 3	Samantha EVANS Saunders Havill Group	8 Moore Street Victoria Point QLD 4165	Code Assessment	05/01/2021	N/A	Development Permit	4
CAR20/0563	Design and Siting and Amenity & Aesthetics - Dwelling less than 60m2 and Shipping Container	D G Certifiers Pty Ltd	17 Canaipa Ridge Road Russell Island QLD 4184	Referral Agency Response - Planning	08/01/2021	N/A	Approved	5
CAR20/0569	Design and Siting - Dwelling	K P Building Approvals Pty Ltd	15-17 Deviot Street Macleay Island QLD 4184	Referral Agency Response - Planning	04/01/2021	N/A	Approved	5

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Decisions Made Under Delegated Authority 03.01.2021 to 09.01.2021

CATEGORY1

Application Id	Application Full Details	Applicant	Associated Property Address	Primary Category	Decision Date	Negotiated Decision Date	Decision Description	Division
CAR20/0579	Design and Siting - Dwelling	The Certifier Pty Ltd	19 Crescent Drive Russell Island QLD 4184	Referral Agency Response - Planning	04/01/2021	N/A	Approved	5
CAR20/0589	Design and Siting - Dwelling house	Zebra Design And Build Pty Ltd	23 Little Cove Road Russell Island QLD 4184	Referral Agency Response - Planning	05/01/2021	N/A	Approved	5
MCU20/0137	Dwelling house	Jim ROBSON	138 Western Road Macleay Island QLD 4184	Code Assessment	04/01/2021	N/A	Development Permit	5
CAR20/0542	Design and Siting - Dwelling	Coral Homes (Qld) Pty Ltd	70 Bayswood Circuit Redland Bay QLD 4165	Referral Agency Response - Planning	04/01/2021	N/A	Approved	6
CAR20/0573	Design and Siting - Carport	The Certifier Pty Ltd	10 Tamarix Street Alexandra Hills QLD 4161	Referral Agency Response - Planning	04/01/2021	N/A	Approved	8
CAR20/0578	Design and Siting - Secondary dwelling	A1 Certifier Pty Ltd	5 Albert Court Alexandra Hills QLD 4161	Referral Agency Response - Planning	05/01/2021	N/A	Approved	8
CAR20/0590	Design and Siting - Shed	Strickland Certifications Pty Ltd	17 Creswick Place Birkdale QLD 4159	Referral Agency Response - Planning	04/01/2021	N/A	Approved	8
MCU20/0133	Home based business	Johanna Elizabeth Mitchell GIBB Sean ATTIIIG	36 Allambee Crescent Capalaba QLD 4157	Code Assessment	08/01/2021	N/A	Development Permit	9

Decisions Made Under Delegated Authority 03.01.2021 to 09.01.2021**CATEGORY1**

Application Id	Application Full Details	Applicant	Associated Property Address	Primary Category	Decision Date	Negotiated Decision Date	Decision Description	Division
CAR20/0515	Design and Siting - Dwelling house and BOS	Dixonbuild Pty Ltd	75A Barron Road Birkdale QLD 4159	Referral Agency Response - Planning	06/01/2021	N/A	Approved	10
CAR20/0592	Design and Siting- Additions	The Certifier Pty Ltd	3 David Street Thorneside QLD 4158	Referral Agency Response - Planning	05/01/2021	N/A	Approved	10
DBW20/0025	Domestic Additions	Building Approval South East Pty Ltd	17 Downwind Court Birkdale QLD 4159	Code Assessment	05/01/2021	N/A	Development Permit	10

Decisions Made Under Delegated Authority 03.01.2021 to 09.01.2021**CATEGORY2**

Application Id	Application Full Details	Applicant	Associated Property Address	Primary Category	Decision Date	Negotiated Decision Date	Decision Description	Division
MCU17/0157.03	Change to Development Approval - MCU013260 - Minor Change - Aged Person & Special Needs Facility	Clemwell Pty Ltd Ormiston Retirement Village Pty Ltd	174-180 Wellington Street Ormiston QLD 4160	Minor Change to Approval	07/01/2021	N/A	Approved	1
RAL20/0052	Reconfiguring a lot - Standard Format 2 into 16 lots	Christopher R GRIMM	35-37 Valantine Road Birkdale QLD 4159	Code Assessment	08/01/2021	N/A	Development Permit	8
RAL20/0082	Extension to Currency Period - ROL005997 Reconfiguring a Lot - 1 into 19 & Stormwater Treatment Lot	Craig S M LAMBERT	10 Water Lilly Drive Capalaba QLD 4157	Minor Change to Approval	08/01/2021	N/A	Approved	9

Decisions Made Under Delegated Authority 10.01.2021 to 16.01.2021

CATEGORY1

Application Id	Application Full Details	Applicant	Associated Property Address	Primary Category	Decision Date	Negotiated Decision Date	Decision Description	Division
CAR20/0523	Build Over or Near Relevant Infrastructure	The Certifier Pty Ltd	6-8 Sleath Street Ormiston QLD 4160	Referral Agency Response - Engineering	13/01/2021	N/A	Approved	1
CAR20/0603	Design and Siting - Dwelling	Steve Bartley & Associates Pty Ltd	545 Main Road Wellington Point QLD 4160	Referral Agency Response - Planning	12/01/2021	N/A	Approved	1
CAR20/0595	Design and Siting - Dwelling	Coral Homes (Qld) Pty Ltd	7 Coastview Place Victoria Point QLD 4165	Referral Agency Response - Planning	14/01/2021	N/A	Approved	4
CAR20/0581	Design and Siting - Dwelling	Michael Francis TUNGATE	4 Noon-Muckle Street Macleay Island QLD 4184	Referral Agency Response - Planning	11/01/2021	N/A	Approved	5
CAR20/0582	Design and Siting - Dwelling	The Certifier Pty Ltd	37 Waikiki Beach Road Russell Island QLD 4184	Referral Agency Response - Planning	11/01/2021	N/A	Approved	5
CAR20/0585	Design and Siting - Dwelling	Gold Coast Building Approvals	43-45 Western Road Macleay Island QLD 4184	Referral Agency Response - Planning	13/01/2021	N/A	Approved	5
RAL20/0068	Rearranging Boundaries - 3 into 3 lots and Easement A (access purposes)	Statewide Survey Group Pty Ltd Consulting Surveyors	70-96 Hillview Road Mount Cotton QLD 4165	Impact Assessment	11/01/2021	N/A	Development Permit	6

Decisions Made Under Delegated Authority 10.01.2021 to 16.01.2021

CATEGORY1

Application Id	Application Full Details	Applicant	Associated Property Address	Primary Category	Decision Date	Negotiated Decision Date	Decision Description	Division
CAR20/0576	Design and Siting - Dwelling	Bartley Burns Certifiers & Planners	90A Kinross Road Thornlands QLD 4164	Referral Agency Response - Planning	11/01/2021	N/A	Approved	7
CAR20/0593	Design and Siting - Carport	Bardera Pty Ltd	4 Osmond Court Alexandra Hills QLD 4161	Referral Agency Response - Planning	14/01/2021	N/A	Approved	7
CWA20/0024	Conditioned Works Assessment - Landscaping Works - Multiple Dwelling x 13	Redland Investment Corporation Pty Ltd	521 Old Cleveland Road East Birkdale QLD 4159	Conditioned Works	13/01/2021	N/A	Permit Issued	8
CAR20/0588	Design and Siting - Shed	Strickland Certifications Pty Ltd	1 Timbertop Court Capalaba QLD 4157	Referral Agency Response - Planning	14/01/2021	N/A	Approved	9
CAR20/0591	Design and Siting - Dwelling	The Certifier Pty Ltd	6 Rofail Court Thorneside QLD 4158	Referral Agency Response - Planning	13/01/2021	N/A	Approved	10
RAL20/0065	Standard Format - 1 into 3 plus access easement	Willem Nicolaas VAN DER MERWE	13 Whitehall Avenue Birkdale QLD 4159	Code Assessment	13/01/2021	N/A	Development Permit	10

Decisions Made Under Delegated Authority 10.01.2021 to 16.01.2021

CATEGORY2

Application Id	Application Full Details	Applicant	Associated Property Address	Primary Category	Decision Date	Negotiated Decision Date	Decision Description	Division
MCU20/0027.02	Change to Development Approval - MCU20/0027	Fox & Bell Group Pty Ltd Redland Bay Village Joint Venture	133-149 Broadwater Terrace Redland Bay QLD 4165	Minor Change to Approval	13/01/2021	N/A	Approved	5
MCU20/0157	Change to Development Approval - MC007668 Shop < 700sqm of floor area - AUR Supermarket	Pantdeen Pty Ltd Russell Island Building Supplies	71 High Street Russell Island QLD 4184	Minor Change to Approval	13/01/2021	N/A	Approved	5
MCU20/0139	Indoor sport and recreation	Gateway Central (Qld) Pty Ltd As Trustee	75 Boundary Street Redland Bay QLD 4165	Code Assessment	15/01/2021	N/A	Development Permit	6
OPW20/0105	Operational Works for RAL - 1 into 4	Daniel James BODDY	15 John Street Thorneside QLD 4158	Code Assessment	14/01/2021	N/A	Development Permit	10

Decisions Made Under Delegated Authority 17.01.2021 to 23.01.2021

CATEGORY1

Application Id	Application Full Details	Applicant	Associated Property Address	Primary Category	Decision Date	Negotiated Decision Date	Decision Description	Division
CAR20/0556	Design and Siting - Shed	Tobin Rory SAWKINS	3 Schonrock Street Wellington Point QLD 4160	Referral Agency Response - Planning	19/01/2021	N/A	Approved	1
CAR20/0602	Design and Siting - Dwelling (Proposed lot 24 Edie Terrace)	The Certifier Pty Ltd	39 Douro Road Wellington Point QLD 4160	Referral Agency Response - Planning	20/01/2021	N/A	Approved	1
CAR20/0604	Design and Siting - Dwelling	Steve Bartley & Associates Pty Ltd	547 Main Road Wellington Point QLD 4160	Referral Agency Response - Planning	20/01/2021	N/A	Approved	1
CAR20/0511	Design and Siting - Patio and Build over/near infrastructure	K P Building Approvals Pty Ltd	10 Butternut Circuit Thornlands QLD 4164	Referral Agency Response - Planning	19/01/2021	N/A	Approved	3
CAR21/0001	Design and Siting - Patio	Glenn Murrant Building Certification	4 Jaydee Court Thornlands QLD 4164	Referral Agency Response - Planning	19/01/2021	N/A	Approved	3
RAL20/0078	Standard Format - 1 into 2	Hervey Bay Heroes Pty Ltd As Trustee	5-7 Shirley Street Coochiemudlo Island QLD 4184	Code Assessment	20/01/2021	N/A	Development Permit	4
CAR20/0077.01	Change to Development Approval - CAR20/0077 - Amenity and Aesthetics - dwelling	Anthony RALPH David Wright Properties	1 Forest Hill Road Russell Island QLD 4184	Minor Change to Approval	20/01/2021	N/A	Approved	5

Decisions Made Under Delegated Authority 17.01.2021 to 23.01.2021

CATEGORY1

Application Id	Application Full Details	Applicant	Associated Property Address	Primary Category	Decision Date	Negotiated Decision Date	Decision Description	Division
CAR20/0600	Design and Siting - Dwelling	Clarendon Homes Qld Pty Ltd	25 McMillan Road Alexandra Hills QLD 4161	Referral Agency Response - Planning	19/01/2021	N/A	Approved	8
CAR20/0601	Design and Siting - Carport/Boat shelter	The Certifier Pty Ltd	6 Ruby Street Alexandra Hills QLD 4161	Referral Agency Response - Planning	19/01/2021	N/A	Approved	8
DBW18/0052.01	Change to development approval - DBW18/0052 - Domestic Additions	The Certifier Pty Ltd	23 Winston Road Sheldon QLD 4157	Minor Change to Approval	20/01/2021	N/A	Approved	9
RAL20/0077	Standard Format - 1 into 2	Geraldine M JACKSON Ronald James JACKSON	25 Susan Street Capalaba QLD 4157	Code Assessment	19/01/2021	N/A	Development Permit	9
CAR20/0597	Design and Siting - Dwelling	D3K Constructions Pty Ltd T/A Stroud Homes Brisbane East	19 Ian Street Thorneside QLD 4158	Referral Agency Response - Planning	19/01/2021	N/A	Approved	10
CAR20/0598	Design and Siting - Dwelling	Henley Properties (Qld) Pty Ltd	8 Somersby Court Birkdale QLD 4159	Referral Agency Response - Planning	19/01/2021	N/A	Approved	10

Decisions Made Under Delegated Authority 17.01.2021 to 23.01.2021

CATEGORY2

Application Id	Application Full Details	Applicant	Associated Property Address	Primary Category	Decision Date	Negotiated Decision Date	Decision Description	Division
OPW20/0107	Excavation & Fill (incl. Retaining walls) - Bulk Earthworks	Fox & Bell Group Pty Ltd	133-149 Broadwater Terrace Redland Bay QLD 4165	Code Assessment	22/01/2021	N/A	Development Permit	5
CWA20/0013.02	Change to Approval - Combined Landscaping & Civil Works - Stormwater, Earthworks, Landscaping, Erosion and Sediment Control, Access and Parking	Nidin Constructions	89-97 Collins Street Redland Bay QLD 4165	Minor Change to Approval	22/01/2021	N/A	Approved	6
MCU20/0088	Other Change to existing approval MCU013394 - Multiple Dwellings x 28	Daveson Road Pty Ltd As Trustee	7 Daveson Road Capalaba QLD 4157	Other Change to Approval Code	22/01/2021	N/A	Preliminary Approval	8

Decisions Made Under Delegated Authority 24.01.2021 to 30.01.2021**CATEGORY1**

Application Id	Application Full Details	Applicant	Associated Property Address	Primary Category	Decision Date	Negotiated Decision Date	Decision Description	Division
DBW20/0051	Domestic Additions	Simon Thomas WOOD	27 Yarrong Road Point Lookout QLD 4183	Code Assessment	28/01/2021	N/A	Development Permit	2
MCU20/0151	Dwelling house	Bay Island Designs	12 Tina Avenue Lamb Island QLD 4184	Code Assessment	27/01/2021	N/A	Development Permit	5
RAL20/0045	Standard Format - 1 into 2 lots	Joel A RICHARDS Jayde A COSTANZO	18 Hull Street Thorneside QLD 4158	Code Assessment	29/01/2021	N/A	Development Permit	10

Decisions Made Under Delegated Authority 24.01.2021 to 30.01.2021**CATEGORY2**

Application Id	Application Full Details	Applicant	Associated Property Address	Primary Category	Decision Date	Negotiated Decision Date	Decision Description	Division
OPW20/0110	Operational Works for RAL - 1 into 2 Lots	The Certifier Pty Ltd	KALEOTH LODGE 19 Dundas Street Ormiston QLD 4160	Code Assessment	29/01/2021	N/A	Development Permit	1
OPW20/0123	Excavation & Fill works associated with temporary carpark	Bayside Business Park (Cleveland) Pty Ltd As Trustee	Bayside Business Park Cleveland 24 Weippin Street Cleveland QLD 4163	Code Assessment	28/01/2021	N/A	Development Permit	2

14.2 LIST OF DEVELOPMENT AND PLANNING RELATED COURT MATTERS AS AT 15 FEBRUARY 2021

Objective Reference: A5268082

Authorising Officer: Louise Rusan, General Manager Community & Customer Services

Responsible Officer: David Jeanes, Group Manager City Planning and Assessment

Report Author: Michael Anderson, Senior Appeals Planner

Attachments: Nil

PURPOSE

To note the current development and planning related appeals and other related matters/proceedings.

BACKGROUND

Information on appeals and other related matters may be found as follows:

1. Planning and Environment Court

a) Information on current appeals and applications with the Planning and Environment Court involving Redland City Council can be found at the District Court website using the "Search civil files (eCourts) Party Search" service:

<http://www.courts.qld.gov.au/services/search-for-a-court-file/search-civil-files-ecourts>

b) Judgments of the Planning and Environment Court can be viewed via the Supreme Court of Queensland Library website under the Planning and Environment Court link:

<http://www.sclqld.org.au/qjudgment/>

2. Court of Appeal

Information on the process and how to search for a copy of Court of Appeal documents can be found at the Supreme Court (Court of Appeal) website:

<https://www.courts.qld.gov.au/courts/court-of-appeal/the-appeal-process>

3. State Development, Infrastructure, Local Government and Planning (DILGP)

The DILGP provides a Database of Appeals that may be searched for past appeals and applications heard by the Planning and Environment Court:

<https://planning.dsdmip.qld.gov.au/planning/spa-system/dispute-resolution-under-spa/planning-and-environment-court/planning-and-environment-court-appeals-database>

The database contains:

a) A consolidated list of all appeals and applications lodged in the Planning and Environment Courts across Queensland of which the Chief Executive has been notified.

b) Information about the appeal or application, including the file number, name and year, the site address and local government.

4. Communities, Housing and Digital Economy (CHDE)

Information on the process and remit of development tribunals can be found at the CHDE website:

<http://www.hpw.qld.gov.au/construction/BuildingPlumbing/DisputeResolution/Pages/default.aspx>

PLANNING & ENVIRONMENT COURT APPEALS & APPLICATIONS

1.	File Number:	3829 of 2019
Appellant:	Sutgold Pty Ltd v Redland City Council	
Respondent:	Redland City Council	
Proposed Development:	Reconfiguring a Lot (8 lots into 176 lots and new roads) 72, 74, 78, 80, 82 Double Jump Road, 158-166, 168-172 and 174-178 Bunker Road, Victoria Point (Lots 12, 13, 15, 22 and 21 on RP86773, Lots 16 and 20 on SP293877 and Lot 12 on RP898198)	
Appeal Details:	Appeal against deemed refusal by Council.	
Current Status:	<p>Appeal filed 23 October 2019. An early without prejudice meeting was held on 26 November 2019. A directions hearing was held on 6 February 2020. A list of matters supporting an approval was provided by the Appellant on 14 April 2020. The list of experts has been nominated and without prejudice conferences were held with the Appellant on 6, 14 and 21 May 2020 to discuss Council's position and proposed changes. A review was held on 17 June 2020 and it was ordered that the Appellant was to file and serve any application for a minor change by 26 June 2020. By 15 July 2020, the Respondent and Co-Respondent were to file and serve a written response to the Appellant's minor change application stating whether it will or will not oppose the declaration being made. Council was required to notify of its position on the appeal by 24 July 2020, should the Court determine the changes are minor.</p> <p>The matter was reported to the General Meeting of Council on 22 July 2020. It was confirmed that the proposed changes were a minor change but Council was still opposing the application. The parties were notified of Council's position on 24 July 2020. A without prejudice meeting was held with the appellant on 22 July 2020.</p> <p>The matter was considered at a hearing on 6 August 2020 where it was ordered that the infrastructure and traffic experts nominated by the parties are to meet and prepare a joint expert report (JER), to be completed by 18 September 2020. JERs in respect of town planning and engineering were received on 23 November and 24 November respectively. The ecology and traffic JERs were received on 10 and 14 December 2020 respectively. Individual statements of evidence were filed in the Planning and Environment Court in respect of Ecology and Traffic on 12 February 2021.</p> <p>A pre-call over is listed for 17 February 2021 and call over on 19 February 2021. The appeal is allocated for a hearing in March 2021 for 5 days.</p>	

2.	File Number:	4312 of 2019
Appellant:	New Land Tourism Pty Ltd	
Respondent:	Redland City Council	
First Co-respondents (By election):	Benjamin Alistair Mackay and Renee Michelle Mackay	
Second Co-respondents (By election):	Debbie Tye-Anderson, Kerri Vidler, Lee Nicholson, Peter Anderson, Vanessa Anderson, Thelma Anderson.	
Proposed Development:	Material change of use (tourist accommodation) 147-205 Rocky Passage Road, Redland Bay (Lot 3 on RP153333)	
Appeal Details:	Appeal against Council's decision to give a preliminary approval for a development application.	
Current Status:	<p>Appeal filed 29 November 2019. A review was held on 11 June 2020 and it was ordered that the Appellant shall provide without prejudice material to all other parties by 24 June 2020. A without prejudice conference, chaired by the P & E ADR Registrar, was held on 22 July 2020.</p> <p>At a review on 5 August 2020 it was ordered that the appellant shall provide to</p>	

2.	File Number:	4312 of 2019
Appellant:	New Land Tourism Pty Ltd	
Respondent:	Redland City Council	
	<p>the other parties without prejudice material addressing wastewater and landscaping issues by 21 August 2020. This material was provided by the Appellant. A review was held on 14 September 2020. The Appellant was to provide further without prejudice material by 25 September 2020. The Appellant provided the further material on 14 October 2020 and a further without prejudice conference was held on 19 October 2020. The Appellant provided revised material for comment. A further without prejudice meeting was held on 16 December 2020. Further information is to be provided by 15 February 2021 and a further review is scheduled for 5 March 2021.</p>	

3.	File Number:	566 of 2020
Appellant:	Clay Gully Pty Ltd	
Respondent:	Redland City Council	
Proposed Development:	<p>Reconfiguration of a lot by standard format plan (3 lots into 289 lots over 7 stages, new road and park.</p> <p>39 Brendan Way, 21-29 and 31 Clay Gully Road, Victoria Point (Lot 1 on RP72635, Lot 4 on RP57455 and Lot 1 on RP95513)</p>	
Appeal Details:	Appeal against deemed refusal by Council.	
Current Status:	<p>Appeal filed 25 February 2020. Council notified of its position in the appeal on 1 May 2020 and provided reasons for refusal on 5 May 2020. A review was held on 8 May 2020 and it was ordered that the Appellant was to file and serve any request for further and better particulars by 15 May 2020.</p> <p>A request for further and better particulars was made by the Appellant on 15 May 2020. Council provided its response to the request for further and better particulars on 1 June 2020. The Appellant submitted its matters supporting approval of the proposed development on 15 June 2020.</p> <p>A without prejudice discussion with the appellant and co-respondent, chaired by the P & E ADR Registrar, was held on 18 June 2020. A further without prejudice meeting was held on 25 June 2020. The matter was adjourned on the papers until 17 August 2020, in order to facilitate further discussions between the parties. A without prejudice meeting was held with the appellant on 3 August 2020.</p> <p>It was ordered that the parties should engage in a further without prejudice meeting by 4 September 2020 and this was held on 3 September 2020. A review was held on 10 September 2020 and the Orders were that the parties engage in a further without prejudice meeting by 9 October 2020. A without prejudice meeting was held on 6 October 2020. The matter was considered at the General Meeting on 7 October 2020.</p> <p>A further review was held on 15 October 2020 and a further without prejudice meeting was held on 22 October 2020. The Appellant filed its minor change application on 23 November 2020 and the matter was listed for further review on 8 December 2020. Orders were made to provide draft conditions by 11 December 2020. The draft conditions were provided on 15 December 2020. The Appellant provided comments on 22 December 2020 and negotiations are ongoing. A formal without prejudice meeting is to be held by 17 February 2021 to discuss draft conditions (all parties).</p> <p>A further review is listed for 19 February 2021.</p>	

4.	File Number:	1612 of 2020
Appellant:		Sutgold Pty Ltd
Respondent:		Redland City Council
Proposed Development:		<p>Development permit for a reconfiguration of 9 Lots into 275 Residential Lots, 3 Balance Lots, 1 Load Centre Lot, 2 Park Lots, 2 Open Space Lots, 1 Pedestrian Connection Lot and 1 Multi-function Spine Lot in 12 stages.</p> <p>36-56 Double Jump Road, 26 Prospect Crescent and 27 Brendan Way, Victoria Point more properly described as Lot 4 on RP57455, Lot 1 on RP95513, Lot 2 on RP86773, Lot 1 on RP86773, Lot 3 on RP148004, Lot 7 on RP57455, Lot 2 on RP169475, Lot 2 on RP165178, Lot 6 on SP145377, Lot 801 on SP261302 and Lot 5 on SP293881.</p>
Appeal Details:		Appeal against deemed refusal by Council.
Current Status:		<p>Appeal filed 5 June 2020. A hearing was held on 23 July 2020 where it was ordered that the respondent was required to notify the parties of its position and grounds if refused or conditions if it should be approved by 7 August 2020.</p> <p>The matter was considered at the General Meeting of Council on 5 August 2020 where it was resolved that the matter ought to be refused. The parties were notified of Council's position as respondent on 6 August 2020.</p> <p>A review was held on 19 August 2020. Orders were made on the papers that that the Appellant was to provide grounds for appeal by 2 September 2020. Council received the grounds of appeal on 9 September 2020. A without prejudice meeting was held on 23 September 2020. A review was held on 16 October 2020. It was ordered that that the parties engage in a further without prejudice meeting by 4 November 2020. A site visit with Council's and Appellant's ecological experts was held on 19 October 2020 and further without prejudice discussions were held on 22 October 2020.</p> <p>The matter was listed for review on 8 December 2020 and it was ordered that the Appellant was to provide its minor change material by 11 December 2020. Council advised that it did not oppose the minor change application on 18 December 2020. The matter is listed for review and minor change hearing is to be held on 2 February 2021.</p> <p>The minor change application was approved the Court. Council is required to file and serve its up-dated reasons for refusal by 19 February 2021. The appellant is to serve grounds for approval by 3 March 2021. A further review is listed for 11 March 2021.</p>

5.	File Number:	1724 of 2020
Appellant:		Fort Street Real Estate Capital Pty Ltd
Respondent:		Redland City Council
Proposed Development:		Combined development permit for a material change of use (fast food outlet) and reconfiguring a lot (access easement and subdivision by lease). Birkdale Fair Shopping Centre at 2-12 Mary Pleasant Drive, Birkdale and more properly described as Lot 1 on RP816847.
Appeal Details:		Appeal against refusal by Council.
Current Status:		<p>Appeal filed on 17 June 2020. A review was held on 27 July 2020 where it was ordered that the appellant was to notify the parties of any changes to the development application by 31 July 2020. On 14 August 2020 the respondent (Council) notified the appellant that Council would not be opposing the minor change and notified its fully articulated grounds of refusal.</p> <p>A review was held on 19 August 2020 where it was ordered that the parties should exchange its list of experts by 26 August 2020 and that joint expert reports must be completed by 30 September 2020. All joint expert reports were exchanged and a without prejudice meeting was held on 15 October 2020. A three day trial was held on 25-27 November 2020.</p> <p>The judgment was handed down on 11 December 2020 and the appeal was allowed subject to lawful conditions. Draft conditions were provided by Council to the Appellant on 15 January 2021.</p> <p>The parties are continuing to negotiate draft conditions.</p>

6.	File Number:	2080 of 2020
Appellant:		Silkwear Developments Pty Ltd
Respondent:		Redland City Council
Proposed Development:		Development permit for a reconfiguration of a lot (1 into 5 lots) respect of land at 1-13 Beckwith Street, Ormiston, more properly described as Lot 8 on RP895452 (Council ref: RAL19/0087).
Appeal Details:		Appeal against conditions.
Current Status:		<p>Appeal filed on 7 July 2020. A review was undertaken on 2 September 2020. It was ordered that Council is to draft and serve the grounds for the conditions in dispute by 16 September 2020. The appellant is to file and serve any amended grounds for setting aside the disputed conditions by 25 September 2020. A without prejudice meeting was held on 2 October 2020. A further without prejudice meeting was held on 15 October 2020. The Appellant provided revised plans to address stormwater quality and road design on 29 October 2020 and a further without prejudice meeting was due to be held on 19 November 2020 and review on 20 November 2020. These dates were adjourned in order for further changes to take place. Revised material was received on 24 November 2020 and a further without prejudice meeting was held on 26 November 2020.</p> <p>Further to the without prejudice meeting, revised material was provided and further discussions took place on a without prejudice basis.</p> <p>The appeal was adjourned at review on 10 December 2020 and was listed for further review on 5 February 2021, including a minor change application. This was adjourned to 17 February 2021.</p>

7.	File Number:	2081 of 2020
Appellant:	Silkwear Developments Pty Ltd	
Respondent:	Redland City Council	
Proposed Development:	Development permit for a reconfiguration of a lot (1 into 5 lots) respect of land at 1-13 Beckwith Street, Ormiston, more properly described as Lot 8 on RP895452.	
Appeal Details:	Appeal against infrastructure charges notice.	
Current Status:	<p>Appeal filed on 7 July 2020. A review was undertaken on 2 September 2020. A without prejudice meeting was held on 2 and 15 October 2020. A further without prejudice meeting was to be held on 19 November 2020. These dates were adjourned in order for further changes to take place. Revised material was received on 24 November 2020 and a further without prejudice meeting took place on 26 November 2020.</p> <p>The appeal was adjourned at review on 10 December 2020 and was listed for further review on 5 February 2021. Further without prejudice discussions have taken place and the matter has been adjourned to 30 March 2021.</p>	

8.	File Number:	2337 of 2020
Appellant:	Bernard Diab and Tracey Diab	
Respondent:	Redland City Council	
Proposed Development:	Development permit for a material change of use for home-based business in respect of land at 393 Mount Cotton Road, Capalaba and more properly described as Lot 4 on SP297142.	
Appeal Details:	Appeal against refusal by Council.	
Current Status:	<p>Appeal filed on 17 August 2020. A review was held on 16 October 2020. The respondent (Council) issued its consolidated reasons for refusal on 30 October 2020. A without prejudice conference chaired by the ADR Registrar was held on 19 November 2020. The appellant agreed to provide a revised plan early in the week commencing 23 November 2020 with further comments to be provided within one week of receipt. This information was received on 7 December 2020.</p> <p>The matter has been adjourned to 30 March 2021 to negotiate conditions.</p>	

9.	File Number:	2893 of 2020
Appellant:	Paige Pty Ltd	
Respondent:	Redland City Council	
Co-Respondent	Sutgold Pty Ltd	
Proposed Development:	Development permit for reconfiguring a lot – 1 into 23 lots and new road on land located at 152-156 Bunker Road, Victoria Point on Lot 23 on RP86773.	
Appeal Details:	Appeal against deemed refusal by Council.	
Current Status:	<p>Appeal filed on 13 October 2020. Council provided its position on the appeal on 20 November 2020. A review was held on the 23 November 2020 and it was ordered that Council (Respondent) is to provide its particularised list of provisions relevant to the grounds for refusal by 27 November 2020. The particularised list identifying each assessment benchmark was provided on 9 December 2020.</p> <p>A further consolidated list of reasons for refusal were provided on 18 December</p>	

9.	File Number:	2893 of 2020
Appellant:	Paige Pty Ltd	
Respondent:	Redland City Council	
Co-Respondent	Sutgold Pty Ltd	
	2020. The Co-respondent provided their position on 9 February 2021. The appellant is to provide its reasons for approval by 17 February 2021. A review is listed for 19 February 2021.	

10.	File Number:	39 of 2021
Appellant:	Sutgold Pty Ltd	
Respondent:	Redland City Council	
Co-Respondent	Harridan Pty Ltd	
Proposed Development:	Development permit for a reconfiguration of a Lot (2 lots into 37 lots, 1 drainage lot, new road and 3 access easements) over land located at 26 Prospect Crescent and 27 Brendan Way, Victoria Point, more particularly described as Lot 801 on SP261302 and Lot 6 on SP145377.	
Appeal Details:	Appeal against deemed refusal by Council. A directions hearing is listed for 18 February 2021.	
Current Status:	Appeal filed on 4 January 2021.	

11.	File Number:	40 of 2021
Appellant:	Sutgold Pty Ltd	
Respondent:	Redland City Council	
Proposed Development:	Development permit for a reconfiguration of a Lot (3 lots into 157 lots, 2 entry park lots, 2 drainage lots, 2 multi-function spine lots and new road) over land located at 52, 56, 62, 64 and 66 Double Jump Road, Victoria Point, more properly described as Lot 7 on RP86773, Lot 8 on RP222878, Lot 9 on RP222878, Lot 2 on RP165178 and Lot 5 on SP293881.	
Appeal Details:	Appeal against deemed refusal by Council. A directions hearing is listed for 18 February 2021.	
Current Status:	Appeal filed on 4 January 2021.	

12.	File Number:	41 of 2021
Appellant:	Alexandra Margaret Shaw	
Respondent:	Redland City Council	
Proposed Development:	Other Change to a development approval (Development permit for a standard format reconfiguration) over land at 17-19 Honeygem Place, Birkdale and more properly described as Lot 1 on SP 174943.	
Appeal Details:	Appeal against conditions of approval.	
Current Status:	Appeal filed on 22 December 2020.	

13.	File Number:	42 of 2021
Appellant:	Tea Cup Cottage Pty Ltd	
Respondent:	Redland City Council	
Proposed Development:	Development permit for material change of use (Residential care facility) over land at 17-19 Honeygem Place, Birkdale and more properly described as Lot 1 on SP 174943.	
Appeal Details:	Appeal against conditions of approval.	
Current Status:	Appeal filed on 22 December 2020.	

APPEALS TO THE QUEENSLAND COURT OF APPEAL

14.	File Number:	8114 of 2018 (MCU012812)/ (QPEC Appeal 3641 of 2015)
Appellant:	Redland City Council	
Respondent:	King of Gifts Pty Ltd and HTC Consulting Pty Ltd	
Proposed Development:	Material Change of Use for Service Station (including car wash) and Drive Through Restaurant 604-612 Redland Bay Road, Alexandra Hills (Lot 21 on SP194117)	
Appeal Details:	Appeal against the decision of the Planning and Environment Court to allow the appeal and approve the development.	
Current Status:	<p>Appeal filed by Council on 30 July 2018. Council's outline of argument was filed on 28 August 2018. The appellant's outline of argument was filed on 20 September 2018. The matter was heard before the Court on 12 March 2019.</p> <p>The judgment of the Supreme Court on 13 March 2020 was that the appeal is allowed and the orders made on 18 June 2019 be set aside. The appeal is to be remitted back to the Planning and Environment Court and the respondent is to pay the appellant's costs of the appeal.</p> <p>At a review in the P & E Court on 15 June 2020 the Court ordered that written submissions are to be filed by 10 July 2020 with a hearing listed for 17 July 2020. The written submissions were filed on 10 July 2020.</p> <p>The judgment in the Planning and Environment Court was issued on 7 August 2020 and the appeal was allowed.</p> <p>A further appeal has been submitted by Council. An outline of argument and list of authorities were filed on 20 November 2020. The respondent's outline was filed on 19 January 2021. Amended outline of arguments are due to be filed by 19 February 2021 and a hearing date has been set down for 15 March 2021.</p>	

DEVELOPMENT TRIBUNAL APPEALS AND OTHER MATTERS

15.	File Number:	Appeal 20-021
Appellant:		Darren Horton
Respondent:		Redland City Council
Proposed Development:		Design and siting request for a swimming pool 11 Reserve Esplanade, Wellington Point (Lot 1 on RP53836)
Appeal Details:		Appeal against the decision of the Redland City Council to direct refusal of a swimming pool structure within the front boundary setback in a design and siting referral.
Current Status:		<p>Appeal filed on 2 September 2020. A tribunal site visit and meeting was held on 13 November 2020. Additional submissions were made on behalf of the Appellant on 18 November 2020 and a response provided by Council on 20 November 2020.</p> <p>Council was notified on 16 December 2020 that the Tribunal orders the Appellant, pursuant to section 250 of the Planning Act, to reconsider the design of the external walls of the proposed swimming pool structure to consider changes to the finish, colours and texture and for these to be provided within 20 days or request the tribunal to decide the appeal without any changes.</p> <p>On 19 December 2020 the Appellant submitted revised treatment of the external walls of the swimming pool to the Tribunal. On 5 January 2021 a response was provided to the Appellant, on behalf of the Tribunal, that whilst it is not the role of the Tribunal to recommend treatment, it had reviewed the details provided and considered that the submitted material was not acceptable.</p> <p>Revised plans were submitted to the Tribunal on 19 January 2021. On the 4 February 2021 the Tribunal wrote to the appellant advising it is considering approving the amended plans lodged however, has requested that a landscape plan is provided showing plant layout, sizes and proposed maintenance and how the plan complies with relevant Council landscaping policies by 18 February 2021.</p>

Human Rights

There are no known human rights implications associated with this report.

OFFICER'S RECOMMENDATION/COUNCIL RESOLUTION 2021/64

Moved by: Cr Wendy Boglary

Seconded by: Cr Paul Bishop

That Council resolves to note this report.

CARRIED 11/0

Crs Karen Williams, Wendy Boglary, Peter Mitchell, Paul Gollè, Lance Hewlett, Mark Edwards, Julie Talty, Rowanne McKenzie, Tracey Huges, Adelia Berridge and Paul Bishop voted FOR the motion.

14.3 MCU20/0077 RECONFIGURING A LOT (1 INTO 2 LOTS) AND MATERIAL CHANGE OF USE FOR RETIREMENT FACILITY AT 236-246 QUEEN STREET, CLEVELAND**Objective Reference:** A526807**Authorising Officer:** Louise Rusan, General Manager Community & Customer Services**Responsible Officer:** David Jeanes, Acting General Manager, Community and Customer Service**Report Author:** Chris Vize, Service Manager City Planning & Assessment

Attachments:

1. Site and Locality Plans [↓](#)
2. Reconfiguring a Lot Proposal Plan [↓](#)
3. Retirement Facility Proposal Plan [↓](#)
4. Recommended Conditions of Approval [↓](#)
5. External Consultant's Report [↓](#)

PURPOSE

To refer this application to a General Meeting of Council for determination at the request of the divisional Councillor.

BACKGROUND

Council has received an application on land at 236-246 Queen Street, Cleveland (refer Attachment 1) seeking a development permit for reconfiguring a lot (1 into 2 lots) and material change of use for a retirement facility.

The owners of the property are Mrs Michelle M Webb and Mr Adam A Webb and the applicant is Bristar Group Pty Ltd c/- AJS Surveys Pty Ltd.

The application should be decided by 17 March 2021 in accordance with the *Planning Act 2016*. Should the decision not be made by that date the application may be deemed approved.

The assessment of the application has occurred in line with the assessment framework outlined in the *Planning Act 2016*. The key issues identified in the assessment are:

- Built form and streetscape
- Communal and private open space
- Landscaping
- Ecological impacts
- Traffic impacts
- Pedestrian access
- Vehicle parking
- Stormwater management
- Sewer and water services
- Waste management

ISSUES**Proposal**

The development application seeks a development permit for reconfiguring a lot (1 into 2 lots) and material change of use for a retirement facility (refer Attachments 2 and 3).

Proposed lot 1 is 3182m² in size and contains the existing dwelling house and associated outbuildings. Proposed lot 2 is 9861m² in size and will contain the proposed retirement facility.

The proposed retirement facility comprises:

- 197 one-bedroom semi-dependant retirement facility units
- One (1) two-bedroom semi-dependant retirement facility unit
- One (1) two-bedroom on-site manager's unit
- A five (5) level building that follows the topography of the land, with a maximum height of 13 metres about ground level
- 99 car parking spaces
- 49 mobility scooter parking spaces
- A large communal dining area on Level 2
- A small communal roof terrace on Level 2
- Communal courtyard areas on the Ground and Lower Ground levels

The retirement facility is intended to cater for seniors and retirees who are generally single or have partners living in high care accommodation off site. While each unit contains a kitchenette, the on-site kitchen will serve three meals a day for residents. The site also has a communal laundry area on site.

Vehicle access to the proposed retirement facility is provided via the cul-de-sac head in Queen Street. The development proposes a footpath in the Queen Street road reserve extending from the western side of proposed lot 2 and connecting to the existing footpath in Delancey Street.

Site & Locality

The subject site is located on the northern side of Queen Street and contains an existing dwelling house and associated outbuildings. The site contains scattered vegetation mostly concentrated around the existing dwelling house, with a mix of exotic and native species. The land falls from 23m Australian Height Datum (AHD) in the north-western corner to 6m AHD along the eastern boundary. The slope is most pronounced on the western side of the lot, where the land falls from at a gradient of approximately 1 in 6, and displays a gentle slope on the eastern side of the lot.

Adjoining the site to the west are a number of dwelling houses fronting Duchess Place. Dwelling houses and dual occupancies exist on the southern side of Queen Street, with the Cleveland Aquatic Centre and ambulance depot to the south-east. An existing retirement facility is located to the eastern boundary of the site. Industrial tenancies exist to the northern boundary, but are separated from the subject site by an existing 10 metre wide landscape buffer. The Queen Street road reserve is partly formed, with the road pavement extending approximately one-third of the frontage of the subject site. The balance of the road reserve to the east of the cul-de-sac bulb, extending to Wellington Street, is unformed and heavily vegetated.

The subject site is zoned medium density residential (MDR) and is surrounded by MDR-zoned land to the east and west and land zoned mixed use to the north.

Planning History

The subject site was previously zoned environmental management under the Redlands Planning Scheme 2006. This zoning changed to MDR after consideration of submissions to the draft City Plan, and came into effect with the implementation of the City Plan in 2018. The submission in relation to this property was assessed by an external planning consultant.

Council engaged an external planning consultant (Reel Planning) to provide assessment advice to Council and this advice has been considered by assessment officers in their assessment of the application.

Assessment framework

The application has been made in accordance with the Planning Act Development Assessment Rules and constitutes a code assessable application for reconfiguring a lot and material change of use under the City Plan.

In accordance with section 45 of the *Planning Act 2016*:

- '(3) A **code assessment** is an assessment that must be carried out only—*
- (a) against the assessment benchmarks in a categorising instrument for the development; and*
 - (b) having regard to any matters prescribed by regulation for this paragraph.*
- (6) Subsections (7) and (8) apply if an assessment manager is, under subsection (3) or (5), assessing a development application against or having regard to—*
- (a) a statutory instrument; or*
 - (b) another document applied, adopted or incorporated (with or without changes) in a statutory instrument.*
- (7) The assessment manager must assess the development application against or having regard to the statutory instrument, or other document, as in effect when the development application was properly made.*
- (8) However, the assessment manager may give the weight the assessment manager considers is appropriate, in the circumstances, to—*
- (a) if the statutory instrument or other document is amended or replaced after the development application is properly made but before it is decided by the assessment manager—the amended or replacement instrument or document; or*
 - (b) another statutory instrument—*
 - (i) that comes into effect after the development application is properly made but before it is decided by the assessment manager; and*
 - (ii) that the assessment manager would have been required to assess, or could have assessed, the development application against, or having regard to, if the instrument had been in effect when the application was properly made.'*

Section 26 of the Planning Regulation 2017, relevantly, identifies that:

- '(1) For [section 45\(3\)\(a\)](#) of the [Act](#), the code assessment must be carried out against the assessment benchmarks for the development stated in [schedules 9](#) and [10](#).*

- (2) *Also, if the prescribed assessment manager is the local government, the code assessment must be carried out against the following assessment benchmarks—*
- (a) *the assessment benchmarks stated in—*
 - (i) *the regional plan for a region, to the extent the regional plan is not identified in the planning scheme as being appropriately integrated in the planning scheme; and*
 - (ii) *the State Planning Policy, part E, to the extent part E is not identified in the planning scheme as being appropriately integrated in the planning scheme; and*
 - (iii) *any temporary State planning policy applying to the premises;*
 - (b) *if the local government is an infrastructure provider—the local government’s LGIP.*
- (3) *However, an assessment manager may, in assessing development requiring code assessment, consider an assessment benchmark only to the extent the assessment benchmark is relevant to the development.’*

Section 27 of the *Planning Regulation 2017*, relevantly, identifies that:

- ‘(1) For section 45(3)(b) of the Act, the code assessment must be carried out having regard to—*
- (a) *the matters stated in schedules 9 and 10 for the development; and*
 - (c) *if the prescribed assessment manager is a person other than the chief executive or the local government—the planning scheme; and*
 - (d) *if the prescribed assessment manager is a person other than the chief executive—*
 - (i) *the regional plan for a region, to the extent the regional plan is not identified in the planning scheme as being appropriately integrated in the planning scheme; and*
 - (ii) *the State Planning Policy, to the extent the State Planning Policy is not identified in the planning scheme as being appropriately integrated in the planning scheme; and*
 - (iii) *for designated premises—the designation for the premises; and*
 - (e) *any temporary State planning policy applying to the premises; and*
 - (f) *any development approval for, and any lawful use of, the premises or adjacent premises; and*
 - (g) *the common material.*
- (2) *However—*
- (a) *an assessment manager may, in assessing development requiring code assessment, consider a matter mentioned in subsection (1) only to the extent the assessment manager considers the matter is relevant to the development; and*
 - (b) *if an assessment manager is required to carry out code assessment against assessment benchmarks in an instrument stated in subsection (1), this section does*

not require the assessment manager to also have regard to the assessment benchmarks.'

common material, for a development application, means—

- '(a) all the material about the application that the assessment manager receives before the application is decided, including—*
- (i) any material relating to a proposed development application that is substantially similar to the development application as made; and*
 - (ii) any material attached to, or given with, the development application; and*
 - (iii) any material relating to the application given to the assessment manager after the application is made; and*
 - (iv) any referral agency's response, including any advice or comment given by a referral agency and any response given under [section 57](#) of the [Act](#); and*
 - (v) any properly made submissions about the application, other than a submission that is withdrawn; and*
 - (vi) any other submission about the application that the assessment manager has accepted; and*
 - (vii) any other advice or comment about the application that a person gives to the assessment manager; and*
- (b) if a development approval for the development is in effect—the approval; and*
- (c) an infrastructure agreement applying to the premises.'*

Pursuant to section 45(3) of the *Planning Act 2016*, the application was assessed against the following applicable assessment benchmarks.

City Plan Version 4:

- Medium density residential zone code
- Healthy waters code
- Infrastructure works code
- Landscape code
- Transport, servicing, access and parking code
- Environmental significance overlay code
- Landslide hazard overlay code
- State Planning Policy 2017
- South East Queensland Regional Plan 2017, Part E
- Planning Regulation 2017, Schedule 11
- Local Government Infrastructure Plan

Pursuant to section 45(3) of the *Planning Act 2016*, Council had regard to the following matters in its assessment of the application.

- Existing approvals on adjoining land
- Common material, including written submissions accepted by the assessment manager

Written submissions accepted as common material

The following planning matters were raised in written submissions received and accepted by the assessment manager as common material to the application. It is recognised that these submissions were received prior to the information response being received, which included amended proposal plans for the development.

- Traffic impacts to the local roads and intersection to Delancey Street
- Results in increased flooding risk to the downstream property and road
- Detrimental impact on environmental values of the Queen Street road reserve
- Insufficient car parking proposed on site
- Impacts on water and sewerage infrastructure capacity
- Impacts on privacy to adjoining residents
- May exacerbate landslide hazard on the site
- Bulky structure and unsuitable streetscape outcome
- Insufficient private open space areas

The assessment manager has had regard to the submissions about these planning matters in the assessment of the development against the assessment benchmarks.

Decision Making Rules

Section 60 of the *Planning Act 2016* states that:

‘(2) To the extent the application involves development that requires code assessment, and subject to section 62, the assessment manager, after carrying out the assessment—

- (a) must decide to approve the application to the extent the development complies with all of the assessment benchmarks for the development; and*
- (b) may decide to approve the application even if the development does not comply with some of the assessment benchmarks; and*

Examples—

- 1 An assessment manager may approve an application for development that does not comply with some of the benchmarks if the decision resolves a conflict between the benchmarks.*
- 2 An assessment manager may approve an application for development that does not comply with some of the benchmarks if the decision resolves a conflict between the benchmarks and a referral agency’s response.*

- (c) may impose development conditions on an approval; and*
- (d) may, to the extent the development does not comply with some or all the assessment benchmarks, decide to refuse the application only if compliance cannot be achieved by imposing development conditions.*

Example of a development condition—

A development condition that affects the way the development is carried out, or the management of uses or works that are the natural and ordinary consequence of the development, but does not have the effect of changing the type of development applied for.’

- (5) *The assessment manager may give a preliminary approval for all or part of the development application, even though the development application sought a development permit.*
- (6) *If an assessment manager approves only part of a development application, the rest is taken to be refused.'*

Application Assessment

The development is considered to comply with the relevant assessment benchmarks, subject to the imposition of conditions. The most pertinent parts of the assessment are discussed in this section.

Reconfiguring a lot

The proposed lots are sufficient in size and with appropriate dimensions to achieve their intended end use for medium density development. Both lots will be connected to essential infrastructure, with sufficient capacity to service the proposed development on proposed lot 2 and future medium density development on proposed lot 1. Conditions are recommended to achieve these service connections.

Land use

A retirement facility is a land use that is encouraged in the MDR zone.

Built form and streetscape

The site has frontage to Queen Street, with the majority of this frontage being unformed road reserve that is heavily vegetated. In this regard, a significant part of the development will be screened from the streetscape by this existing and retained vegetation. There will be visibility from the street at the driveway entrance and, as the development follows the topography of the land which falls to the east away from the site's entry, the elements that will be visible will be one to two storeys of built form and the driveway and carparking area at the entrance.

Performance outcomes PO13 to PO15 of the MDR zone code seek the following:

'Design elements contribute to an interesting and attractive streetscape and building through:

- 1) the provision of projections and recesses in the facade which reflect changes of internal functions of buildings, including circulation;*
- 2) variations in material and building form;*
- 3) modulation in the facade, horizontally or vertically;*
- 4) articulation of building entrances and openings; and*
- 5) corner treatments to address both street frontages.'*

'Design elements promote a subtropical and climate responsive design character through:

- 1) the use of deep verandahs, decks and eaves, and*
- 2) integration of buildings within landscape planting.'*

'Roof form assists in reducing the appearance of building bulk by:

- 1) articulating individual buildings;*
- 2) incorporating variety in design;*
- 3) incorporating a roof pitch, gable or the like in buildings up to 13m; and*

- 4) *screening plant and equipment, such as vents, lift over-runs or solar energy and storm water collectors.'*

'Parking facilities are located so that they do not dominate the streetscape or the building form when viewed from the street.'

The view into the site from the street frontage will be interesting and attractive, with the main building entrance being prominent and displaying an expressive roof form, mixture of textures and materials and being framed by landscaping. Car parking on the western side is located towards the rear of the site and carparking along the southern boundary is at a lower level to the driveway entrance. This layout will ensure that carparking is not a dominant feature in the streetscape. The cantilevered design of the driveway ramp along the southern boundary ensures that the existing vegetation in Queen Street will be retained and protected and the development will integrate effectively within this landscaped setting.

The built form within the site is attractive, with the exterior treatment of the building including variation in materials and textures and both horizontal and vertical modulation. The roof form has a variety of pitch across the length of the building and, with the changes in levels across the site, the building will be very-well articulated. All above ground units include balconies and all units have the ability to achieve cross ventilation as openings are provided at the front and rear of each unit.

Communal and private open space

Performance outcome PO4 of the MDR zone code seeks the following:

'Developments involving more than 20 dwellings provide sufficient communal open space to:

- 1) create usable, flexible spaces suitable for a range of activities; and*
- 2) provide facilities including seating, landscaping and shade.'*

The development includes a significant amount of communal open space in the form of three courtyards on the ground and lower ground levels and a rooftop terrace space on level 2. These spaces have dimensions exceeding 5 metres and amount to approximately 1250m² in area, which equates to approximately 12.7% of the site area of proposed lot 2. The development achieves PO4 by adopting the deemed to comply solution in AO4.1, which seeks a minimum of 5% of the site area as communal open space.

While not considered as part of the open space area, the development also includes a large indoor communal area for meals and activities on level 2.

Performance outcome PO5 of the MDR zone code seeks the following:

*'Development provides private open space that is:
useable in size and shape to meet the needs of a diversity of potential residents;*

- 1) functional and easily accessible from living or common areas to promotes outdoor living as an extension of the dwelling;*
- 2) clearly identified as private open space; and*
- 3) provides a high level of privacy for residents and neighbours.'*

All units in the development are provided with either a ground level courtyard sized between 12m² and 15m² or an above ground balcony of 5m². The dimensions of these spaces are such that they can accommodate a small table and chairs, which is considered sufficient to cater for the needs of the occupants. The courtyard and balcony area are all accessible from living areas within the units. The balconies are sufficiently set back from external boundaries to ensure no detrimental impact on the privacy of adjoining development.

The development has been designed to encourage occupants to make use of the extensive communal spaces within the development. These spaces are accessible to all unit occupants via stairs, lifts and walkways. In this regard, the use of private open space areas will be limited to break out space, with recreational needs being satisfied through accessing the communal spaces.

It is considered that there is sufficient private open space afforded to all units and it is considered that the development meets PO5.

Landscaping

Performance outcome PO19 of the MDR zone code seeks the following:

'On-site landscaping is provided to:

- 1) enhance the appearance of the development;*
- 2) complement any native vegetation within the site;*
- 3) provide privacy between dwellings; and*
- 4) screen unsightly components.'*

The development achieves the outcome by incorporating substantial landscaping across the site and in particular along the boundaries and within open space/ courtyard areas. Less desirable components of the development, such as waste storage and carparking, are screened from the street by a combination of landscaping, topography and benching of the site. A recommended condition ensures that detailed landscaping plans will be provided at the subsequent conditioned works assessment stage.

Sewer and water services

Performance outcomes PO5 to PO11 of the infrastructure works code seek the following:

'All infrastructure is connected to existing networks in a safe, efficient and functional way, and does not impose loads on those networks that exceed their capacity.'

'All infrastructure is designed and constructed in a manner that minimises whole of lifecycle costs, including short and long term maintenance requirements.'

'All infrastructure is designed and located to be easily and safely accessed for repair and maintenance purposes.'

'All infrastructure remains fit for purpose throughout its design life.'

'A reliable water supply is provided that is sufficient to meet the anticipated use of the premises, including potable and non-potable requirements.'

'Developments accessed by common private title have appropriate fire hydrant infrastructure and unimpeded access to emergency services vehicles.'

'Wastewater is treated and disposed of in a manner that is sufficient for the volume of wastewater generated on the site and to a level that ensures risks to public health, water quality and the environment are minimised.'

The development proposes to connect to reticulated sewer and water supply. A 100mm diameter water main exists within the Queen Street road reserve, with an existing connection to proposed lot 1 at the south-west corner of the site. This is proposed to be extended along the frontage to provide a connection to proposed lot 2. This water main has sufficient capacity and water pressure to cater for the proposed retirement facility. An additional fire hydrant is proposed near the connection point for proposed lot 2.

Lot 1 is proposed to connect into existing reticulated sewerage on the southern side of Queen Street. The only connection available for proposed lot 2 is the existing reticulated sewerage in Wellington Street. To allow for this connection, the development proposes to tunnel bore along the northern side of the Queen Street road reserve. Management of the impacts of the infrastructure connection is discussed in the following section. The sewerage network has sufficient capacity to accommodate the proposed development.

The development demonstrates that it will provide reticulated sewer and water that will have sufficient capacity for the development and is designed to result in an efficient network that is easily accessed for maintenance purposes. The development achieves performance outcomes PO5 to PO11 of the infrastructure works code.

Ecological impacts

The environmental significance overlay covers much of the subject site, as well as the adjacent Queen Street road reserve, and identifies that the site contains matters of local environmental significance. Much of the subject site has been cleared of vegetation, with this matter resolved through separate enforcement proceedings. The assessment of this development application can therefore only consider the values on the land at present.

The relevant performance outcomes for discussion are PO2, PO3, PO4, PO7 and PO11, which seek the following:

‘Development does not result in a significant reduction in the level or condition of biodiversity and ecological processes in the locality.’

‘Development does not cause substantial fragmentation of habitat areas.’

‘Connections between habitat areas are retained, so that:

- movement of key species is not inhibited or made less safe; and*
- normal gene flow between populations is continued.*

Connections may include both continuous corridors and “stepping stone” patches and refuges.’

‘Retained habitat is protected to ensure its on-going condition and resilience, and to avoid degradation as a result of edge effects.’

‘Development minimises potential for disturbance of wildlife as a result of noise, light, vibration or other source.’

The applicant has submitted an ecological report that identifies the environmental values on the site and road reserve and assesses the impact of the development upon them. The ecological report describes three (3) distinct vegetation communities as they are at present:

1. The proposed ultimate Lot 1 in the upper one-third of the site (with existing dwelling). Vegetation is predominantly exotic.
2. The lower two-thirds which represents the proposed unit site. This has been extensively cleared with very few remaining native trees. What remains is not viable habitat in terms of the code.
3. The Queen Street road reserve. This is well vegetated with native species from the proposed unit entrance to the unit development to Wellington Street to the east.

The ecological report indicates that the road reserve vegetation is largely remnant native vegetation associated with Regional Ecosystem RE 12.3.6, which is the basis for the mapping of the Environmental Significance Overlay in this location. Several native trees will be impacted by works within the road reserve for services alignment for the sewer. However Concept Services Plan – Sheet 2 RCC 011-19 SK106 Issue B dated 27/10/2020 demonstrates that the sewer connection to Wellington Street through the road reserve will be tunnel bored to minimise vegetation impact.

The ecological report notes correctly that remaining environmental value within the subject site is negligible. This is consistent with current observation of the site as it is now. It is agreed that the overlay mapping of the site itself is out of date.

Two components of the proposal are designed to minimise impact on the road reserve vegetation and its habitat viability:

1. Tunnel boring of the sewer connection to Wellington Street
2. Suspension of the entrance ramp on piers to avoid impact on the root zones of trees that overlap the road reserve and southern boundary of the development footprint

Council's arborist has assessed these proposed construction measures and considers that they will work in concept and protect the native vegetation in question. This is sufficient for this stage of the assessment process, and a condition has been recommended for the provision of further construction detail at the subsequent conditioned works assessment stage and an updated arboricultural assessment associated with those details.

It is recognised that the site itself does not represent a connection between habitat areas, with the site surrounded by urban development to the north, east and west. Habitat connection is facilitated along the Queen Street road reserve, with this vegetation being retained as discussed above.

Impacts on native fauna from noise and lighting associated with the development are considered to be minimal, as the locality is already an urbanised environment, with fauna being already exposed to these sources of disturbance.

It is considered that, with the imposition of the recommended condition, the development will achieve the performance outcomes in the environmental significance overlay code.

Traffic impacts

Performance outcomes PO3 and PO4 of the transport, servicing, access and parking code seeks the following:

‘Development maintains or improves the safe and efficient operation of transport networks having regard to (amongst other things):

- 1) the existing or planned function of the roads affected;*
- 2) available sight distances and the location and design of access points;*
- 3) accessibility by public transport, pedestrians and cyclists;*
- 4) the potential for conflict between vehicles, pedestrians and cyclists;*
- 5) the loss or increase of on-street parking;*
- 6) the location, construction and maintenance of utility infrastructure; and*
- 7) the nature and intensity of traffic and parking generated by the development.’*

*‘Where new roads are constructed, their design and construction is sufficient to accommodate:
their intended function;*

- 1) safe and efficient movement of all users, including pedestrians and cyclists;*
- 2) on-street parking;*
- 3) bus movement and public transport stops;*
- 4) street tree planting and streetscaping;*
- 5) utility infrastructure, including stormwater management; and*
- 6) treatments that prevent excessive speeds.’*

The development site is accessed exclusively from Queen Street, with this street connecting with Delancey Street to the west via an unsignalised, all-movements intersection. Queen Street currently provides vehicular access to 31 dwelling units, which, based on modelling, generates approximately 240 vehicles per day using Queen Street. Based on the expected trip movements for the proposed 199 retirement units, the development is estimated to generate an additional 420 vehicles per day on Queen Street. The recommended design volume for Queen Street, which is classed as an ‘access street’, is 1,000 vehicles per day, and therefore the expected post-development traffic volume of approximately 660 vehicles per day will be well below this design capacity.

While this is a significant increase in the amount of traffic on Queen Street compared to the existing situation, it is recognised that occupation of the proposed retirement facility will only be realised over time and not all at once. Therefore, the change experienced by users of the road will be gradual and allow time for behaviours and expectations of those users to adapt.

The traffic impact report provided by the applicant demonstrates that treatment is required to the intersection of Queen Street and Delancey Street to manage the safety and efficiency of this section of the road network. The applicant has provided a design plan for the intersection, which includes a right hand turning lane and a left hand slip lane in Delancey Street. Council’s engineering assessment officers have assessed this design and consider that it meets performance outcomes PO3 and PO4.

The design does propose to remove four (4) street trees on the western side of Delancey Street to facilitate a table drain. These trees contribute to the streetscape amenity in the locality and their removal can be avoided by including kerb and channel to this edge of the road with piped

drainage, rather than a table drain. This is recommended as a condition of approval, as well as the provision of a painted cycle lane, in order to meet performance outcome PO4.

Pedestrian access

Performance outcome PO6 of the transport, servicing, access and parking code seeks the following:

'Safe and convenient pedestrian and cycle infrastructure is provided, and as far as possible, is integrated with external networks to maximise accessibility by walking and cycling.'

The application proposes to construct a footpath along Queen Street, extending from the existing footpath in Delancey Street to the entrance to the retirement facility. This will provide access for pedestrians and mobility scooter users to existing health care, commercial and other services along Shore Street West. The signalised intersection of Delancey Street and Shore Street West provides a safe crossing point for these users. The proposal is considered to comply with performance outcome PO6.

Vehicle parking

Performance outcome PO8 of the transport, servicing, access and parking code seeks the following:

'On-site vehicle parking:

- 1) is clearly defined, safe and easily accessible;*
- 2) accommodates a sufficient number of vehicles, having regard to:*
 - 1) the type and size of development;*
 - 2) expected resident, employee and customer movements;*
 - 3) the location of the use;*
 - 4) the capacity of the existing road network to accommodate on-street parking; and*
 - 5) access to public transport;*
- 3) includes dedicated parking spaces for people with a disability, motor cycles and bicycles.'*

The development provides 99 on-site car parking spaces for the development, which includes four (4) car parking spaces for staff (for a total of eight (8) staff at any one time), 20 car parking spaces for visitors, one (1) mini-bus car park, two (2) disabled parks; the remaining spaces are for the residents. Further to this, the development will provide spaces for mobility scooters, which are used to supplement the on-site car parking spaces and provide a variety of transport modes for residents. The number of car parking spaces provided is considered to meet the performance outcome. As an indicator, acceptable outcome AO8.1 identifies for a retirement facility with semi-dependent units, parking rates of:

- One (1) space per three (3) residents
- One (1) space per two (2) employees
- One (1) visitor space per ten (1) units
- One (1) space where a bus or ambulance can stand without impeding other vehicle movements

With the development adopting this acceptable outcome, it is considered that there is sufficient car parking provided on the site having regard to the type and size of the development. It is recognised that the development assumes an occupancy rate of 1.1 residents per unit across the site. It is a reasonable assumption that the majority of semi-dependent units will be occupied by a single resident. However, as this is considered fundamental to ensuring sufficient car parking, it is recommended that the number of residents accommodated at any one time be limited to meet this assumed occupancy rate (maximum 219 residents).

The parking spaces are easily accessible across the site, with sufficient dimensions and manoeuvring areas. Considering the expected residency, bicycle and motor cycle parking is not considered necessary, and instead the provision of mobility scooter spaces is much more practical.

Stormwater management

Performance outcomes PO3 to PO6 (inclusive), PO9 and PO10 of the healthy waters code seek the following:

'The stormwater drainage system maintains pre-development velocity and volume of run-off external to the site and does not otherwise worsen or cause nuisance to adjacent, upstream and downstream land.'

'Stormwater drainage is designed and constructed to convey stormwater flow resulting from the relevant design storm event under normal operating conditions.'

'The stormwater drainage system is designed to function in the event of a minor system blockage.'

'Roof and surface run-off is managed to prevent stormwater flows from entering buildings and be directed to a lawful point of discharge.'

'Development protects and does not adversely impact the environmental values or water quality of receiving waterways.'

'The entry to and transport of contaminants in stormwater or waste water is avoided.'

The subject site is serviced by two existing stormwater pipes that drain the majority of the site through the adjoining property to the east (Lot 22 RP869108, known as 11-21 Grant Street), into existing reticulated stormwater in Wellington Street and then discharging into Black Swamp Wetlands. The proposal involves directing stormwater for proposed lot 1 to existing reticulated stormwater at the Queen Street cul-de-sac head. Existing reticulated pipes in the Queen Street road reserve have sufficient capacity to accommodate these stormwater flows. Stormwater associated with lot 2 and the retirement facility is proposed to be detained on-site in a detention tank, treated via catridge filters and then discharged into the existing pipes in the adjoining property to the east.

The applicant has submitted a hydraulic report that demonstrates that the stormwater flow's hydraulic grade line would be completely contained within the existing piped drainage, including accounting for system blockages. The supporting flood study by Engeny demonstrates that the resultant flows will not cause an actionable nuisance to neighbouring properties or Wellington Street. The development is considered to comply with performance outcomes PO3 to PO6 of the healthy waters code.

Additionally, the submitted water quality modelling demonstrates that the treated stormwater will achieve the water quality objectives outlined in acceptable outcome AO9.1 of the healthy

waters code, thereby achieving compliance with associated performance outcomes PO9 and PO10 of this code.

Waste management

Performance outcome PO15 of the infrastructure works code seeks the following:

‘Waste management facilities are provided such that:

- 1) there is a dedicated, sealed waste and recycling container storage area that is convenient and safe to use;*
- 2) there is adequate volume and separate containers for waste and recyclables likely to be generated;*
- 3) spills or wash down from waste containers can be adequately contained; and*
- 4) nuisance to adjoining properties is minimised.’*

Performance outcome PO23 of the medium density residential zone code seeks the following:

‘Waste disposal and servicing areas are not visible from public places and do not have adverse amenity impacts on adjoining properties.’

The application proposes that waste and recycling is collected in a number of wheelie bins distributed on each level of the development. On-site management is responsible for transporting these wheelie bins to the collection area on Level 2, where the waste and recycling is decanted into bulk bins. One 3000 litre bulk waste bin and two 3000 litre bulk recycle bins are proposed within a refuse collection area that is screened from the street and sufficiently separated from sensitive uses. The bulk bins are collected from this area by a rear-lift waste collection vehicle, with the proposed schedule being two waste collections and one recycle collection per week.

These container sizes assume a generation rate of 30L/ dwelling/ week for waste and 30L/ dwelling/ week for recycling. This generation is considered suitable for the type of development proposed. However, there is concern with the amount of food waste from the centralised kitchen resulting in a higher generation rate overall. The submitted waste management plan mentions that food waste could be separated from general waste to reduce the amount of general waste. It is considered that this is necessary in order to have sufficient waste container storage on site. A condition is recommended that requires a revised waste management plan be submitted for assessment that includes separate food waste collection and disposal, which may include on-site or off-site composting of pre-consumer food waste.

The proposal also does not include separate green waste collection and disposal and, with the amount of communal landscaped areas on the site, this will result in significant waste generation. A condition is recommended that requires the development enter an agreement for the landscape contractor to collect and remove green waste from the site.

The submitted information demonstrates that the rear lift waste collection vehicle can adequately manoeuvre on site to collect the waste bins and enter and exit the site in forward gear.

Subject to conditions, it is considered that the development complies with performance outcomes PO15 and PO23 of the infrastructure works code.

Infrastructure Charges

The proposed development is subject to infrastructure charges in accordance with the Adopted Infrastructure Charges Resolution. The total charge applicable to this development is:

Total charge: \$2,023,370.45

This charge has been calculated as follows in accordance with Council's Adopted Infrastructure Charges Resolution.

RAL COMPONENT**Residential Component**

(2 X Dwelling House - 3 or more bedroom X \$30,226.70)	\$60,453.40
Residential Demand Credit	
(1 X Dwelling House - 3 or more bedroom X \$30,226.70)	\$-30,226.70
Total Council Charge:	
	\$30,226.70

MCU COMPONENT

Residential Component	
(198 X 1-2 bedroom Aged Care Units (semi-dependant) X \$10,110.00)	\$2,001,780.00
(1 X 2 bedroom Caretakers Dwelling X \$21,590.45)	\$21,590.45
Demand Credit	
(1 X 3 bedroom residential dwelling X \$30,226.70)	\$30,226.70
Total Council Charge:	
	\$1,993,143.75

Offsets

There are no offsets that apply under Chapter 4 Part 2 of the *Planning Act 2016*.

Refunds

There are no refunds that apply under Chapter 4 Part 2 of the *Planning Act 2016*.

State Referrals

The application did not trigger any State referrals.

Conclusion

The development application is considered to comply, or can be made to comply through conditions, with the applicable assessment benchmarks. The application is therefore recommended for approval subject to conditions.

STRATEGIC IMPLICATIONS**Legislative Requirements**

The development application has been assessed in accordance with the *Planning Act 2016*.

Risk Management

Standard development applications risks apply. In accordance with the *Planning Act 2016* the applicant may appeal a condition of approval or a decision to refuse the application.

Financial

Should an appeal be filed against the decision of Council, subsequent legal costs will apply.

People

There are no implications for staff associated with this report.

Environmental

Environmental impacts are discussed in the 'Issues' section of this report where relevant.

Social

Social impacts are discussed in the 'Issues' section of this report where relevant.

Human Rights

There are no known human rights implications associated with this report.

Alignment with Council's Policy and Plans

The assessment and officer's recommendation align with Council's policies and plans as described within the 'Issues' section of this report.

CONSULTATION

Consulted	Consultation Date	Comments/Actions
Councillor Division 2	25/06/2020	Application referred to divisional Councillor as per standard procedure. Application called in by Councillor for a decision by Council.
Reel Planning	From June 2020 to February 2021	External planning consultant provided assessment advice to Council on the development application.

OPTIONS**Option One**

That Council resolves to issue a development permit for reconfiguring a lot (1 into 2 lots) and material change of use for a retirement facility, on land described as Lot 20 on SP175602 and situated at 236-246 Queen Street, Cleveland, subject to the conditions in Attachment 4.

Option Two

That Council resolves to issue a development permit for reconfiguring a lot (1 into 2 lots) and material change of use for a retirement facility without conditions or subject to amended conditions (amended conditions will need to be established).

Option Three

That Council resolves to refuse the application (grounds of refusal will need to be established).

MOTION TO MOVE INTO CLOSED SESSION AT 10:48am**COUNCIL RESOLUTION 2021/65**

Moved by: Cr Wendy Boglary

Seconded by: Cr Tracey Huges

That Council resolves to close the meeting to the public in accordance with Section 254J of the *Local Government Regulation 2012*.

This matter is considered to be confidential under Section 254J(3)(e) of the *Local Government Regulation 2012*, and the Council is satisfied that discussion of this matter in an open meeting would, on balance, be contrary to the public interest as it deals legal advice obtained by the local government or legal proceedings involving the local government including, for example, legal proceedings that may be taken by or against the local government.

CARRIED 9/0

Crs Wendy Boglary, Peter Mitchell, Lance Hewlett, Mark Edwards, Julie Talty, Rowanne McKenzie, Tracey Huges, Adelia Berridge and Paul Bishop voted FOR the motion.

Crs Karen Williams and Paul Gollè were not present when the motion was put.

MOTION TO MOVE INTO OPEN SESSION AT 11:17am**COUNCIL RESOLUTION 2021/66**

Moved by: Cr Rowanne McKenzie

Seconded by: Cr Peter Mitchell

That Council moves out of Closed Council into Open Council.

CARRIED 8/0

Crs Wendy Boglary, Peter Mitchell, Lance Hewlett, Mark Edwards, Julie Talty, Rowanne McKenzie, Tracey Huges and Paul Bishop voted FOR the motion.

Crs Karen Williams, Paul Gollè and Adelia Berridge were not present when the motion was put.

OFFICER'S RECOMMENDATION

That Council resolves to issue a development permit for reconfiguring a lot (1 into 2 lots) and material change of use for a retirement facility, on land described as Lot 20 on SP175602 and situated at 236-246 Queen Street, Cleveland, subject to the conditions in Attachment 4.

COUNCIL RESOLUTION 2021/67

Moved by: Cr Peter Mitchell

Seconded by: Cr Rowanne McKenzie

That Council resolves as follows:

- 1. To issue a development permit for reconfiguring a lot (1 into 2 lots) and material change of use for a retirement facility, on land described as Lot 20 on SP175602 and situated at 236-246 Queen Street, Cleveland, subject to the conditions in Attachment 4 as amended.**
- 2. To release publicly, the independent external consultant's report and recommendations referenced on page 162 of the general meeting agenda, as an attachment to the minutes of this general meeting item.**

CARRIED 5/3

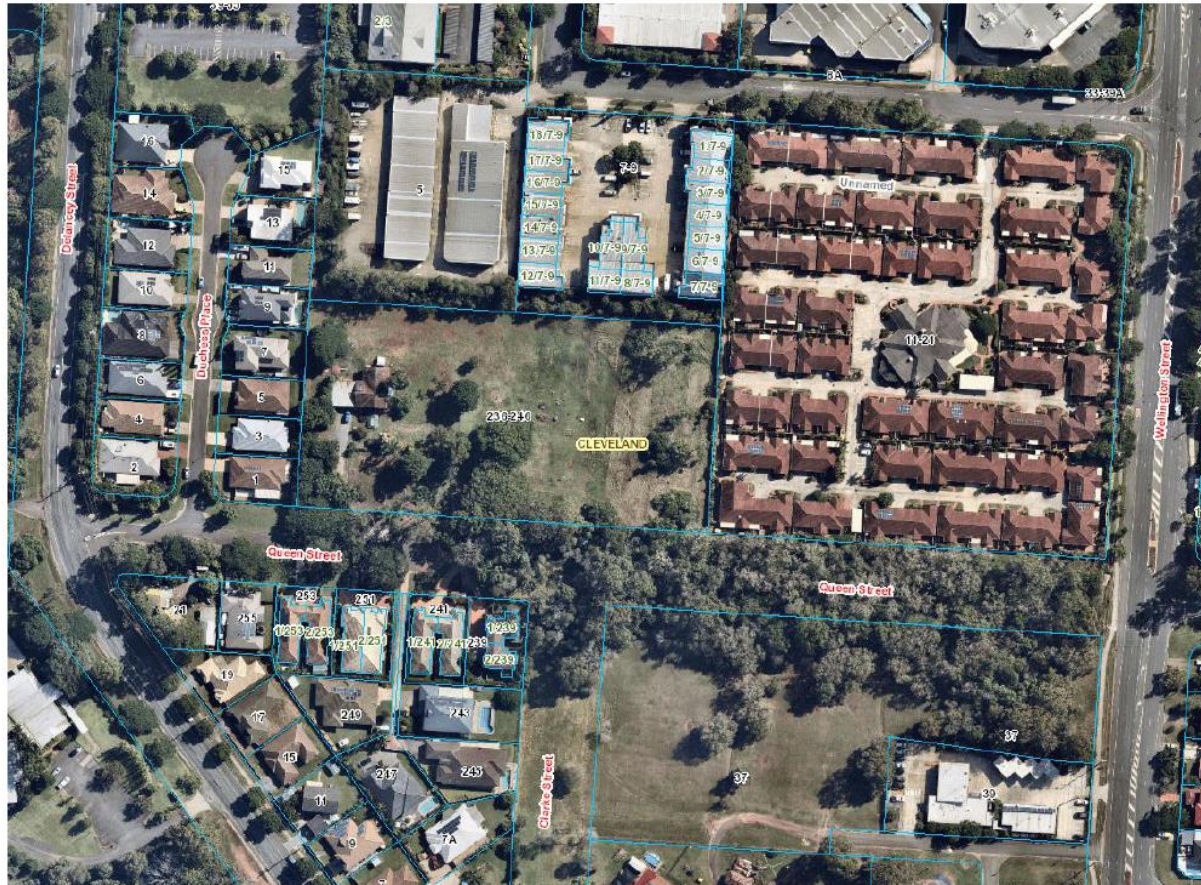
Crs Peter Mitchell, Lance Hewlett, Mark Edwards, Julie Talty and Rowanne McKenzie voted FOR the motion.

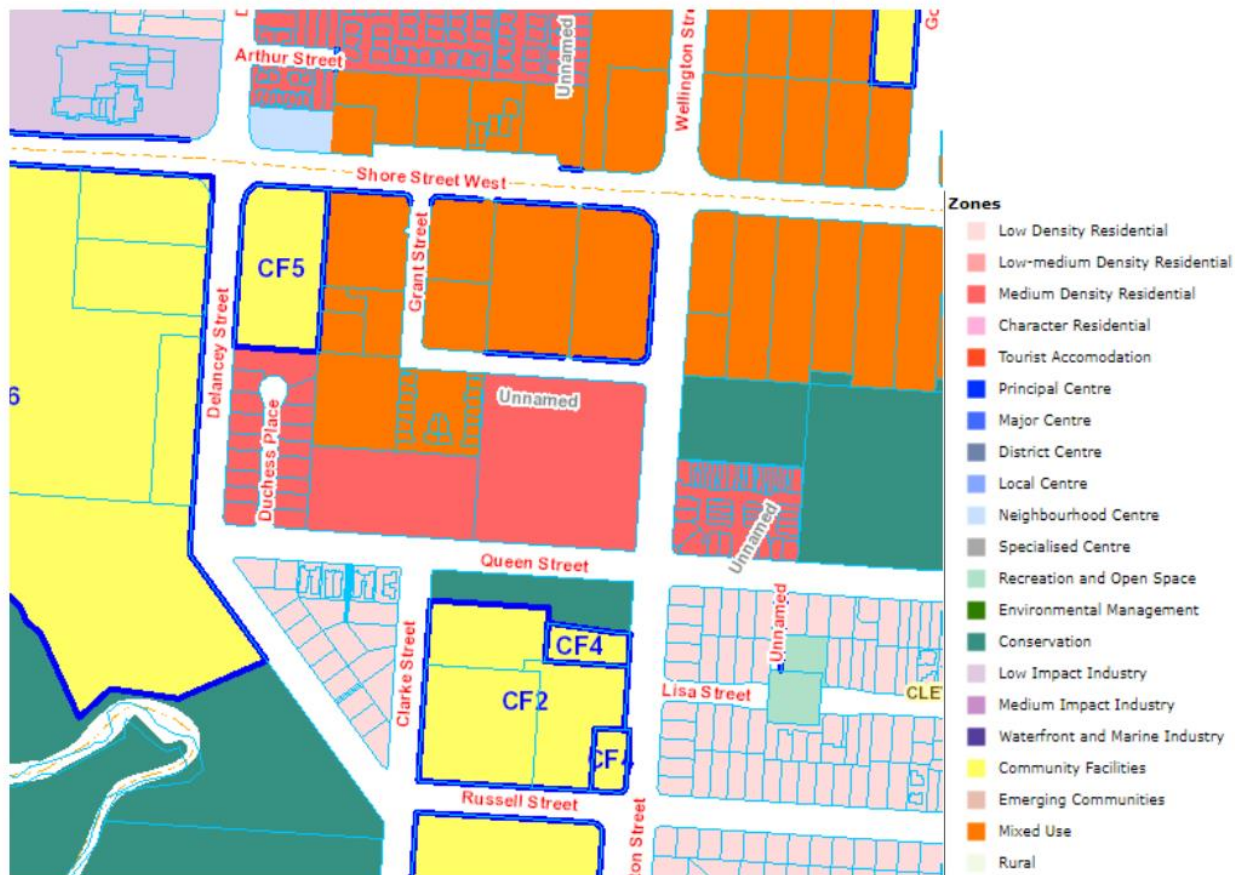
Crs Tracey Huges and Paul Bishop voted AGAINST the motion.

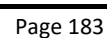
Cr Wendy Boglary abstained from voting on the motion and in accordance with s254E(2)(c) *Local Government Regulation 2012* the Councillor is taken to have voted in the negative.

Crs Karen Williams, Paul Gollè and Adelia Berridge were not present when the motion was put.

Attachment 1 – Site and locality plans







LIFESTYLE VILLAGE - CLEVELAND

234 QUEEN STREET, CLEVELAND, QLD 4163



DRAWING LIST		
NO.#	DRAWING NAME	REV
0.00	COVER SHEET	5
0.01	SITE ANALYSIS 1 - CONTEXT	3
0.02	SITE ANALYSIS 2	4
0.03	DESIGN PHILOSOPHY	3
0.04	MASTER PLANNING - DESIGN PRINCIPLES	3
0.05	MASTER PLANNING - SITE ISOMETRICS	4
0.06	ARCHITECTURAL STATEMENT - WAYFINDING	2
0.07	ARCHITECTURAL STATEMENT - WAYFINDING 2	2
0.08	MATERIALS & ROOF FORMS - GARDEN COURTYARD	1

DRAWING LIST		
NO.#	DRAWING NAME	REV
0.09	MATERIALS & ROOF FORMS - EXERCISE COURTYARD	2
0.10	MATERIALS & ROOF FORMS - ACTIVITIES COURTYARD	1
1.01	SITE PLAN	13
2.09	LOWER GROUND	9
2.10	GROUND	13
2.11	LEVEL 1	12
2.12	LEVEL 2	14
2.13	LEVEL 3	10
3.10	ELEVATIONS	6

DRAWING LIST		
NO.#	DRAWING NAME	REV
3.20	SECTIONS	6
3.21	SECTIONS	4
3.22	SECTIONS	4
3.23	DETAIL SECTIONS	3
4.01	UNIT TYPE DETAIL	5
5.01	COMMUNAL AREAS 1	3
5.02	COMMUNAL AREAS 2	2
9.00	PERSPECTIVES SHEET 1	4
9.01	PERSPECTIVES - COURTYARD 2	3
9.02	PERSPECTIVES - QUEEN ST	1

LIFESTYLE VILLAGE - CLEVELAND

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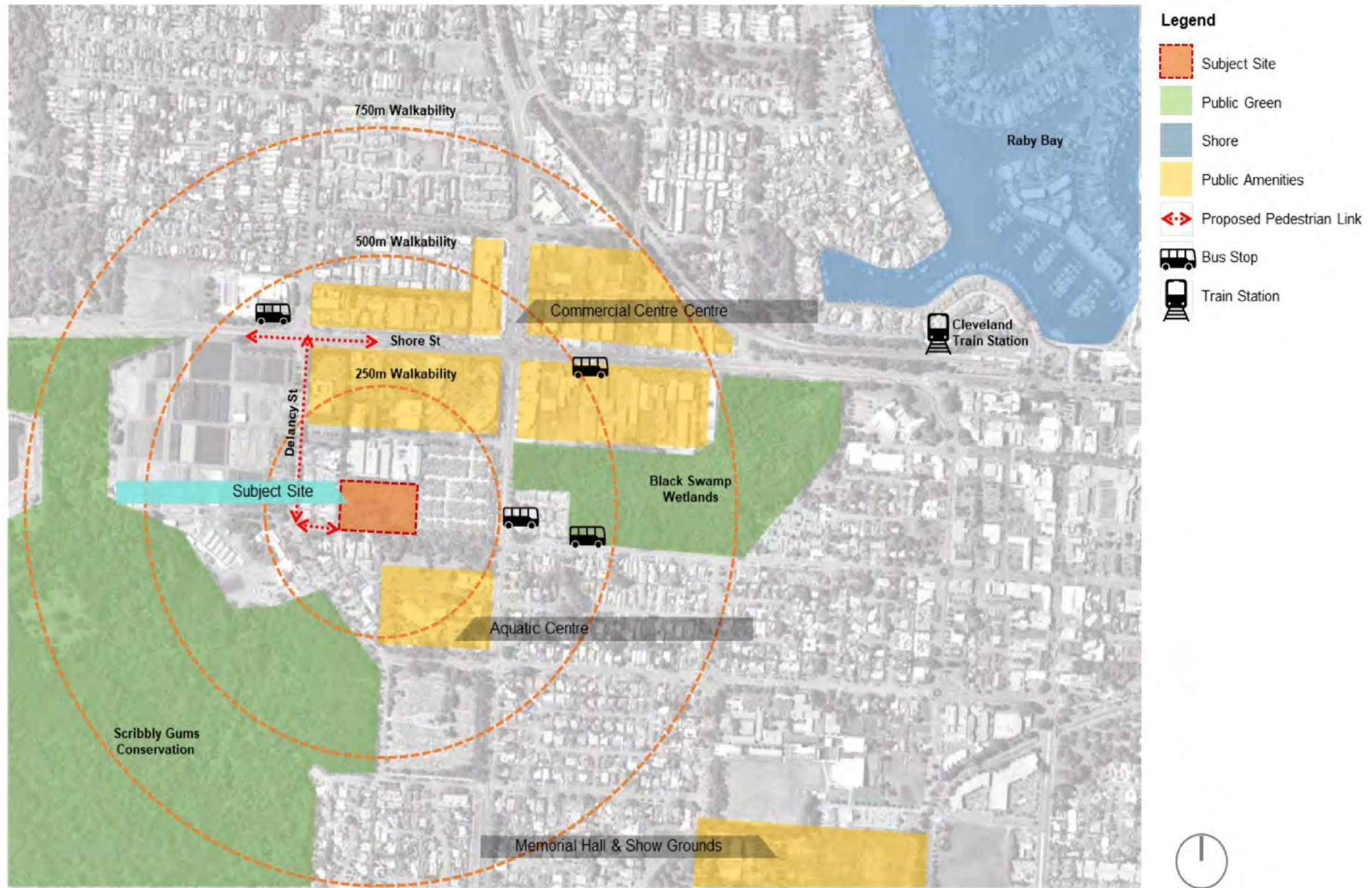
COVER SHEET

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14.10.2020

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SITE ANALYSIS 1 - CONTEXT

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SITE ANALYSIS 2

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25.08.2020

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Project Design Philosophy



Independency and Choice

- Ability to move & choose
- Number of activity choices at large and small groupings
- Safe & secure environment.



Walkable Communities

- Connected to the wider community
- Clear way finding on gradients suitable to the demographic
- Providing seniors living options to keep people in the community they know



Environment & Landscape as a Social Platform

- Take advantage of the sloped site to create distinct activities spaces
- Opportunity to create terraces as social settings
- Passive solar and ventilation strategies
- Courtyard defined by themes

Value & Home

- Apartments designed with domestic setting principles
- Apartment grouped in relatable scale & economic arrangements
- Creating opportunities for the residents to feel ownership of the spaces
- Economical use of material and space

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DESIGN PHILOSOPHY

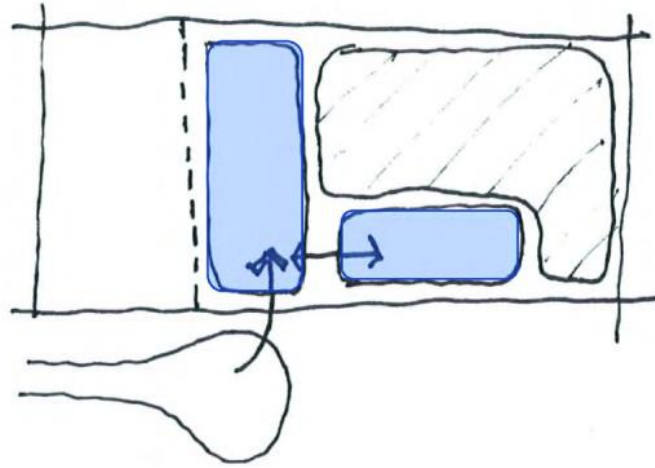
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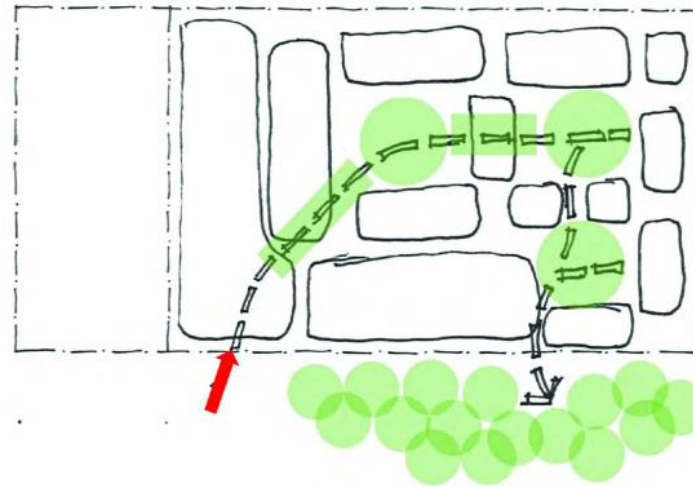
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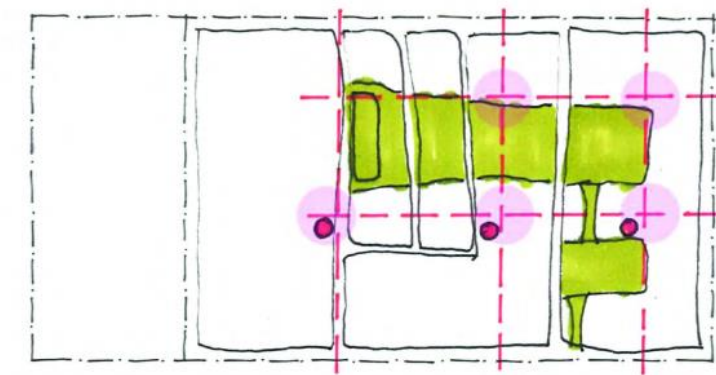
Master Planning Principles



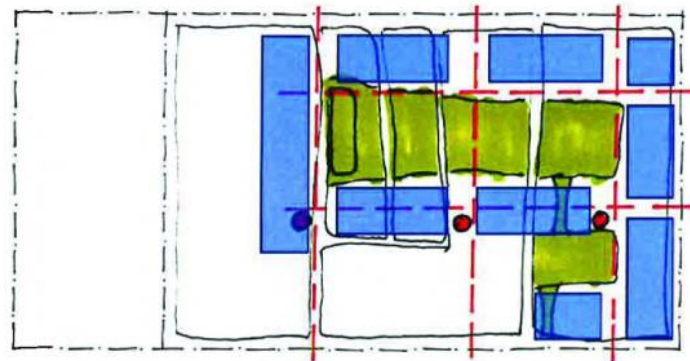
Vehicle entry
& Car parking



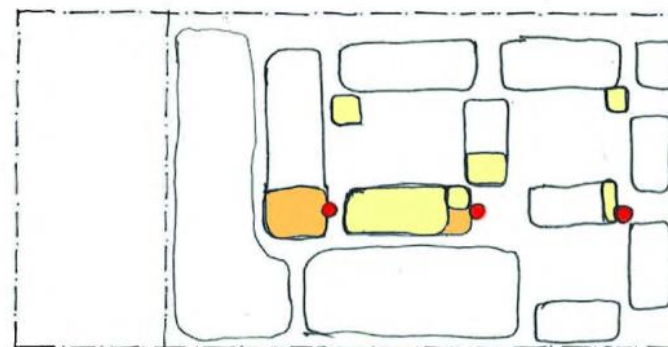
Pedestrian entry and
green spaces



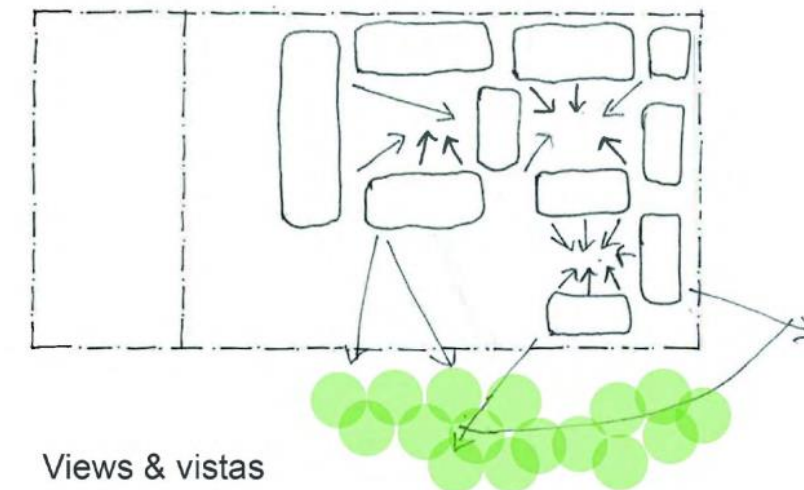
Circulation grid and lift
locations



Massing



Internal common space and
back of house



Views & vistas

LIFESTYLE VILLAGE - CLEVELAND

234 QUEEN STREET, CLEVELAND, QLD 4163

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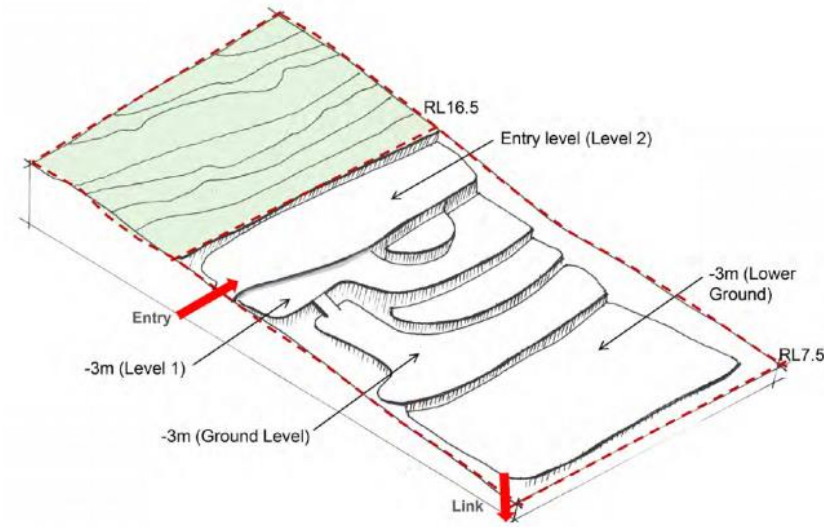
MASTER PLANNING - DESIGN PRINCIPLES

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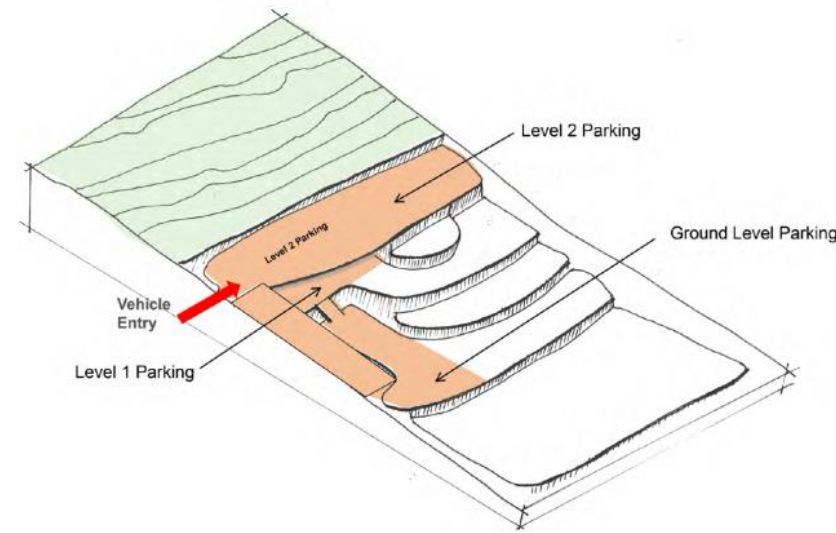
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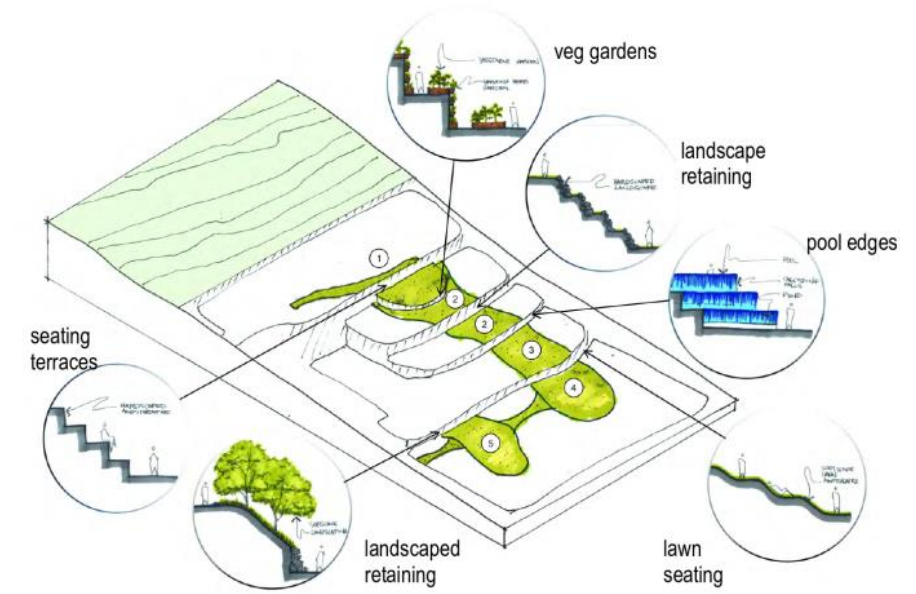
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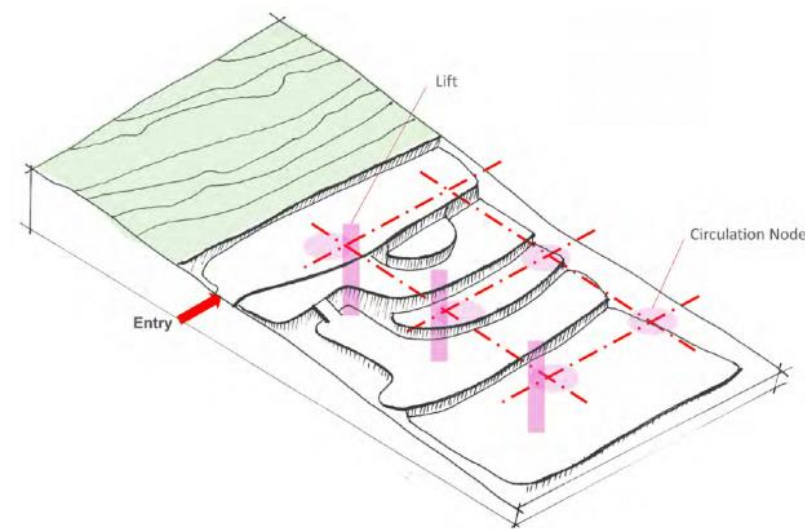
PROPOSED LEVELS



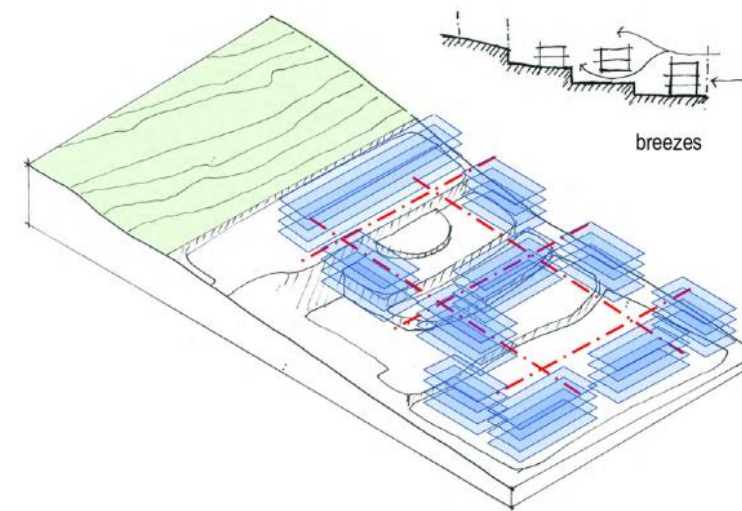
CARPARKING PLATFORMS



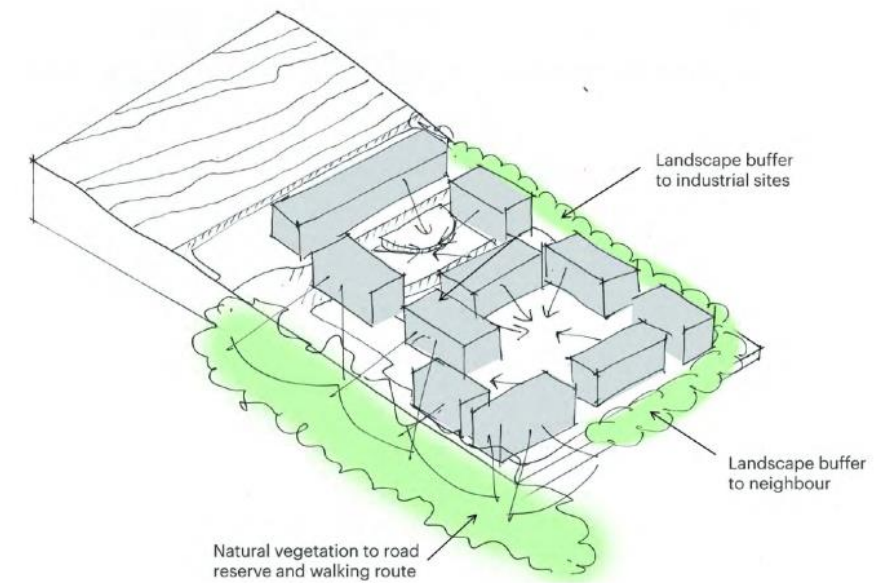
COMMUNAL GARDEN AMENITY - TERRACING



CIRCULATION AND LIFTS



MASSING



VIEWS & VISTAS

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MASTER PLANNING - SITE ISOMETRICS

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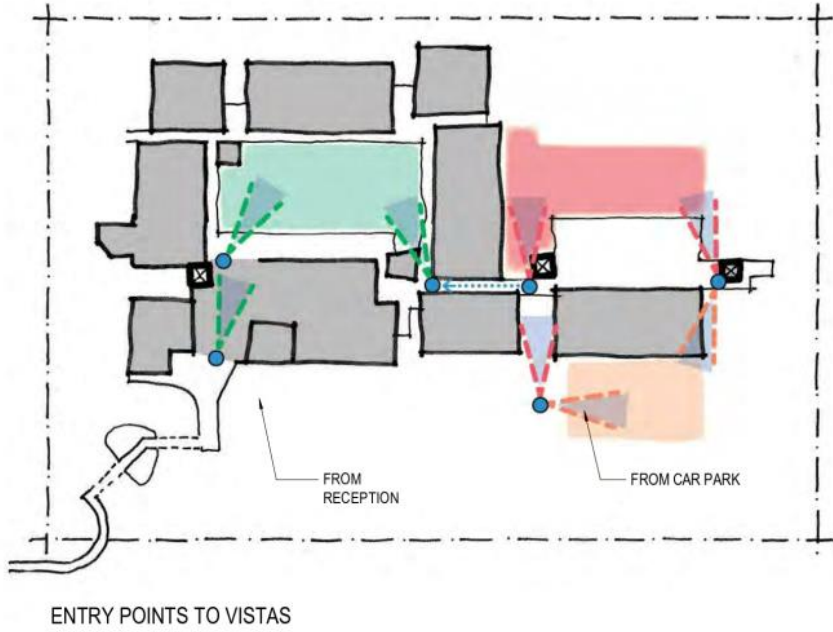
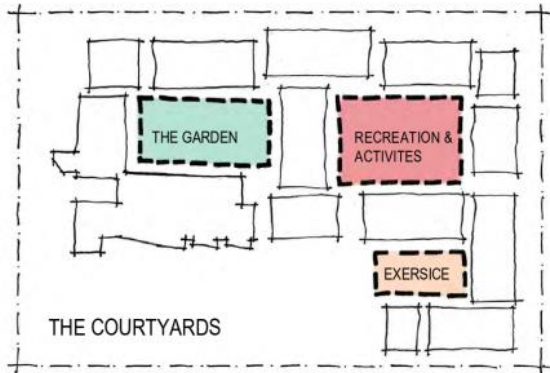
PLACE MAKING - COURTYARDS

THE THREE COURTYARDS EACH PROVIDE THEIR OWN SENSE OF PLACE BY THE FUNCTION OF THE COURTYARD AND ALSO BY THE MATERIAL ACCENTS AND COLOURS FOR THE COURTYARD.

THE GREEN COURTYARD PROVIDES VISUAL AND DIRECT ACCESS TO GARDEN SPACES FOR THE COMMUNITY TO ENJOY AND TAKE PART IN. BALCONIES COLOURS FACING INTO THE COURTYARD USE DARKER BROWN TIMBER COLOURS TO IDENTIFY THIS LOCATION IN ADDITION TO THE LANDSCAPING.

THE RED COURTYARD IS THE ACTIVITY & RECREATION COURTYARD WITH THE LANDSCAPE PREDOMINATLY DEVOTED TO GAMES AND SOCIAL SPORTS. THE BALCONIES IN THIS SPACE USE MEDIUM RED/ BROWN TIMBER COLOURS TONES TO IDENTIFY THIS SPACE.

THE ORANGE COURTYARD IS DEVOTED TO EXERCISE AND WELLNESS WITH OUTDOOR GYM EQUIPMENT THAT IS PURPOSE SELECTED FOR SENIORS IN MIND. THE BALCONIES TO THIS SPACE USE BLOND TIMBER TONES TO HELP REINFORCE THE UNDERSTANDING OF THIS LOCATION.



WAYFINDING - FROM ENTRY TO COURTYARD

AS THE USER ENTERS THE SITE, THEY CAN SELECT WHICH LEVEL THEY ENAGE WITH EITHER BY THE PEDESTRIAN CONNECTION TO THE FRON DOOR OR BY THE CARPARKING LEVEL THEY INTEND TO USE.

ONCE THE USER HAS SELECTED WHICH LEVEL TO ENTER ON, THE DESIGN LEADS THE PEDESTRIAN TO A VIEW OF THE CLOSEST INTERNAL COURTYARD SPACE.

THE FUNCTION, LANDSCAPING AND COLOUR OF THE COURTYARD ALLOWS THE PEDESTRIAN TO ORIENTATE THEMSELVES TO THE BUILDING BY IDENTIFYING IF THEY ARE IN THE RIGHT COURTYARD THAT THEIR INTENDED UNIT OR DESTINATION LIVES.

THE PEDESTRIAN CAN EITHER CHOOSE TO MOVE ALONG THE GRID OF WALKWAYS AROUND THE PERIMETER OF THE COURTYARD OR MOVE ALONG TO THE NEXT COURTYARD LOCATION.

THE WALKWAYS ARE KEPT PREDOMINATLY OPEN AROUND THE VERTICAL CIRULATION AND ALONG THE MAJOR WALKWAYS AS TO ALLOW FOR WIDE VISTA'S TO OCCUR REINFORCING THE LOCATION THAT THE PEDESTRIAN IS IN RELATIVE TO THE COURTYARDS.



2 - VIEW INTO THE GARDEN COURTYARD



VIEW FROM RECEPTION TO THE GARDEN COURTYARD

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ARCHITECTURAL STATEMENT -
WAYFINDING

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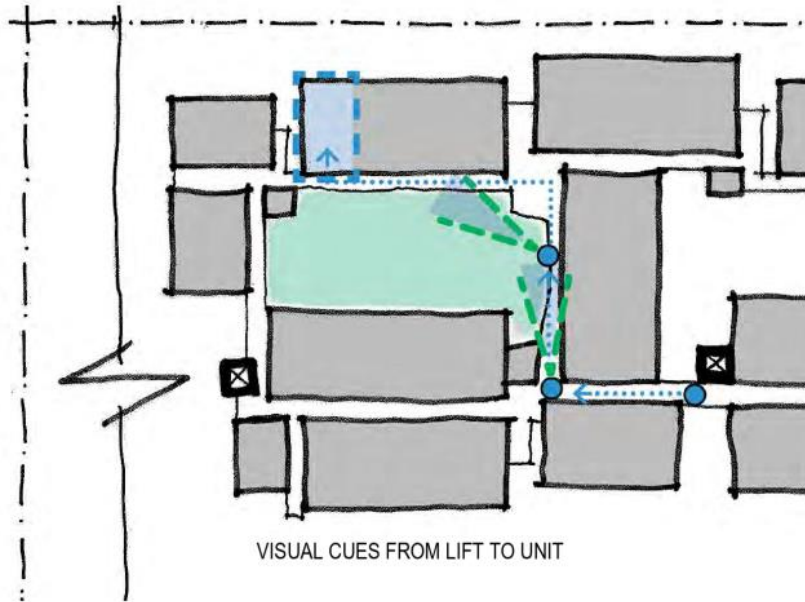
rev. 2

WAYFINDING - VISUAL CUES

ONCE THE USER HAS ARRIVED AT THE DESIRED COURTYARD, VISUAL CUES ARE USED AT THE INDEIVIDUAL UNITS TO ALLOW THE PEDESTRIAN TO IDENTIFY THEIR UNIT THEY INTEND TO VISIT. THEY CAN THEN NAVIGATE VIA THE LIFT OR AGROUSS THE INTERNAL CIRCULATION TO THEIR INTENDED UNIT.

THE VISUAL CUES ARE :

- UNITS ON GROUND LEVEL PLANTER BOXES PLACED OUTSIDE OF THE UNITS DOOR ARE TENDED BY THE UNITS OWNER TO PERSONALISE THEIR FRONT ENTRY
- PLANTER BOXES ASSOCIATED WITH THE SHARED BALCONY LOCATIONS ALONG THE PERIMETER WALKWAYS CAN BE OWNED BY THE ADJACENT UNITS TO PROVIDE A CUE TO THEIR FRONT DOOR LOCATION
- LAUNDRY BUILDING COLUMN - THE CLADDING FOR THIS ELEMENT IS SELECTED TO COMPLAMENT ITS COURTYARD
- WINDOW SILLS ALONG THE UNITS WINDOW INTO THE CORRIDOR HAVE A DEBTH INTERNALLY TO ALLOW UNIT OWNERS TO PLACE OBJECTS



LAUNDRY BUILDING COLUMN AND BALCONY PLANTERS



GROUND LEVEL PLANTER BOX NEXT TO UNIT ENTRY



WINDOW SILL DRESSING

EXAMPLE VISUAL CUES

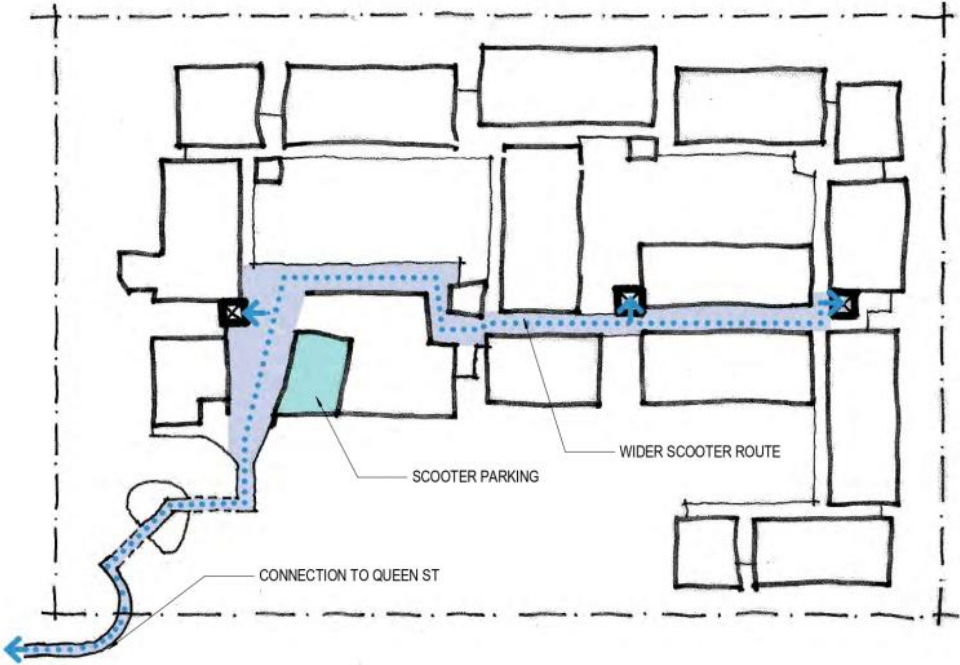
MOBILITY AIDS AND SCOOTER CONNECTIONS

THE ABOVE DIAGRAM ILLUSTRATES THE MAIN CORRIDOR ROUTE ALONG LEVEL 2 OF THE BUILDING WHICH CONNECTS EACH OF THE LIFT CORES TOGETHER THROUGH A WIDENED PATH OF TRAVEL AS TO ALLOW SCOOTERS TO NAVIGATE THE BUILDING AND OUT ONTO THE NEW OUTDOOR PATH CONNECTION ON QUEEN ST.

EACH LEVEL HAS A SIMILAR CORRIDOR ROUTE THAT CONNECTS THE LIFT CORES TOGETHER

ALONG THIS ROUTE SCOOTER PARKING LOCATIONS HAVE BEEN DISTRIBUTED TO EACH LEVEL EXCEPT LEVEL 3.

PEDESTRIAN ROUTES THROUGH THE REST OF THE BUILDING HAVE A REDUCED CORRIDOR WIDTH COMPARED TO THIS ROUTE AS IT IS NOT INTENDED TO ALLOW SCOOTERS PAST THE MAIN THROUGHFAIR .

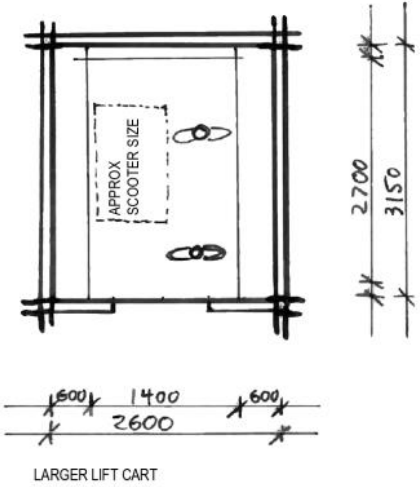


VERTICAL MOVEMENT

LIFT SIZES HAVE BEEN SELECTED TO ALLOW FOR A SCOOTER AND A PEDESTRIAN TO STAND COMFORTABLY WITHIN THE SAME LIFT CABIN. THEY ARE LARGER THAN THE STANDARD STROCHER LIFT. THIS ALSO DOUBLES FOR EASE OF FUNITURE MOVEMENT

LIFTS HAVE BEEN SELECTED AS THE PRIMARY VERTICAL CIRCULATION MODE FOR THE DEVELOPMENT . STAIRS HAVE BEEN PROVIDED TO ALIGN WITH THE REQUIRED BUILDING EGRESS NEEDS. HOWEVER, RAMPS THAT WOULD BE SUITABLE FOR THE TARGET DEMOGRAPHIC WOULD REQUIRE EXCESSIVE LENGHTS TO TRANSVERSE THE STEEP GRADIENT OF THE SITE.

THE LIFTS ARE SITUATED AS TO ALLOW FOR REDUNDANCY IN THE EVENT THAT ONE IS REQUIRED TO UNDERGO MAINTENANCE OR NEEDS TO BE SHUT DOWN.



LARGER LIFT CART



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WAYFINDING 2

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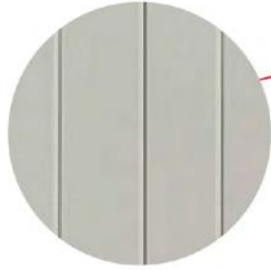
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rev. 2

3 - PERSPECTIVE VIEW



WHITE TEXTURED SOFFIT
AND BLADE WALL



VERTICAL JOINT
CLADDING - WHITE



TIMBER COLOURED
BATTEN BALUSTRADE



GLAZED BALUSTRADE



POWDERCOATED
FENCING BETWEEN UNITS



VERTICAL JOINT CLADDING
TIMBER COLOUR JARRAH OR SIMILAR



DARK GREY TEXTURED
SOFFIT AND BLADE WALL

BUILDING FORMS

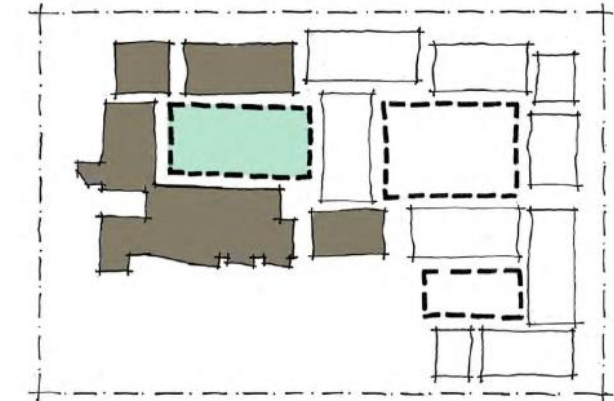
ROOF PITCHES ARE VARIED BETWEEN 3 TO 7 DEGREES TO KEEP WITHIN OH&S REQUIREMENTS AS TO AVOID ADDITIONAL BALUSTRADING AND PERIMETER SAFETY MEASURES.

THE ROOF FORM, AND MATERIAL COMPOSITION OF THE MASSES ARE DEVIED THROUGH THE LENGHT OF THE CONSECUTIVE UNITS.

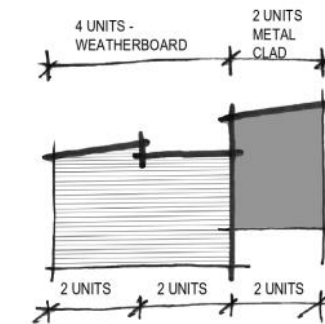
ROOF PITCHES ARE BROKEN EVERY 2 TO 3 UNITS ALONG A FACADE UNLESS THEY ARE TO A COMMUNAL SPACES WHERE THE BUILDING REFLECTS LARGER GATHERING LOCATIONS

EACH COURTYARD'S PERIMETER BUILDINGS TAKE ON A COLOUR PALLET ASSOCIATED WITH THAT COURTYARD

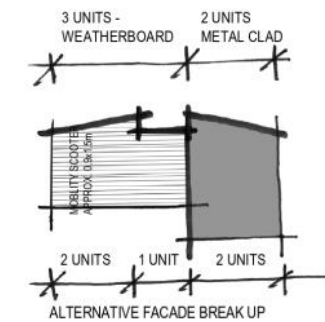
THE PALLET UTILISES A MIX OF 3 COLOURS BETWEEN A LIGHT SCHEME AND A DARK SCHEME.



GARDEN COURTYARD - BUILDINGS WITH JARRAH COLOUR SCHEME



TYPICAL FACADE BREAK UP



ALTERNATIVE FACADE BREAK UP

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MATERIALS & ROOF FORMS - GARDEN
COURTYARD

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5 - PERSPECTIVE VIEW - EXERCISE COURTYARD



TIMBER COLOURED
BATTEN BALUSTRADE



VERTICAL JOINT
CLADDING - WHITE



GLAZED SLIDING DOORS -
POWDERCOATED
ALUMINIUM FRAME



POWDERCOATED SCREEN
BETWEEN UNITS



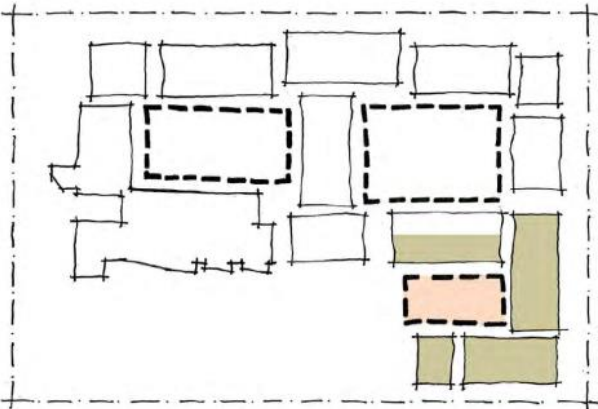
WHITE TEXTURED SOFFIT
AND BLADE WALL



VERTICAL JOINT CLADDING
TIMBER COLOUR SPOTTED GUM OR
SIMILAR



GLAZED BALUSTRADE



EXERCISE COURTYARD - BUILDINGS WITH SPOTTED GUM COLOUR SCHEME



TYPICAL SUNHOOD ON
CORNER WINDOWS

MATERIALS

THE SELECTION OF MATERIALS HAS CONSIDERED THE FOLLOWING REQUIREMENTS:

- LONGEVITY FOR MAINTENANCE EASE AND ROBUSTNESS
- NON COMBUSTIBILITY FOR THE NATURE OF THE BUILDING TYPE
- AESTHETIC CONTEXT OF QUEENSLAND VERNACULAR THROUGH WEATHERBOARDING AND TIN CLADDING
- SMOOTHNESS OF TEXTURE OF THE MATERIAL TO CONSIDER THE CHARACTERISTICS OF THE SENIOR DEMOGRAPHIC
- COLOUR VIBRANCY TO CONSIDER THE VISUAL IMPAIRMENT ISSUES AND ASSIST IN THE WAYFINDING STRATEGY

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MATERIALS & ROOF FORMS - EXERCISE COURTYARD

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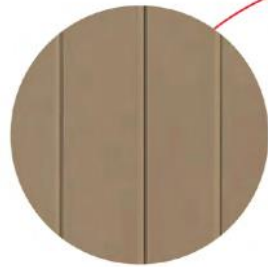
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4 - PERSPECTIVE VIEW



WHITE TEXTURED SOFFIT
AND BLADE WALL



VERTICAL JOINT
CLADDING - TIMBER
COLOUR BRUSH BOX OR
SIMILAR



GLAZED BALUSTRADE



POWDERCOATED SCREEN
BETWEEN UNITS



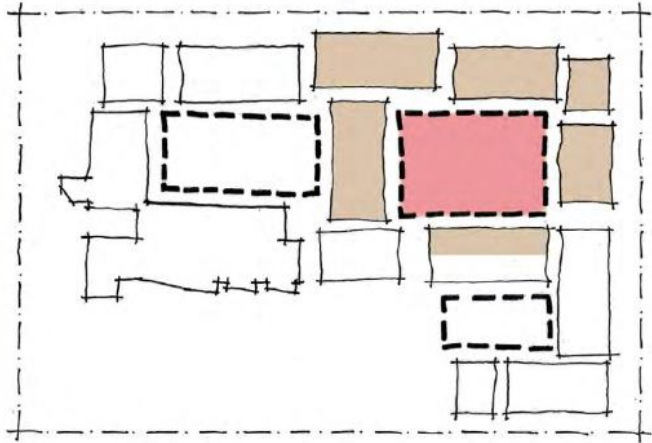
DARK GREY TEXTURED
SOFFIT AND BLADE WALL



VERTICAL JOINT
CLADDING - WHITE



TIMBER COLOURED
BATTEN BALUSTRADE



ACTIVITIES COURTYARD - BUILDINGS WITH BRUSH BOX COLOUR SCHEME

BUILDING FORM 1
GLAZED BALUSTRADE
BLADE WALL & ROOF



BUILDING FORM 2
BATTEN BALUSTRADE
FLOATING BALCONY AND
ROOF



ELEVATION PALLET - SPOTTED GUM



ELEVATION PALLET - JARRAH



ELEVATION PALLET - BRUSHBOX

COLOUR SCHEME TYPES. DIAGRAM

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**MATERIALS & ROOF FORMS - ACTIVITIES
COURTYARD**

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rev. 1



PROJECT SUMMARY AREAS

SITE AREAS		COMMUNAL OPEN SPACE	
Name	Area	Name	Area
SITE	9661 m ²	COMMUNAL BALCONIES	191 m ²
FUTURE DEVELOPMENT SITE	3182 m ²	COMMUNAL OPEN GARDEN SPACE	1090 m ²
SITE COVER	4183 m ²	COMMUNAL OPEN SPACE	1856 m ²
	42.4%	COMMUNAL SEMI-OPEN SPACE	188 m ²
			34.3% 3327 m ²
LANDSCAPED AREA - COURT YARDS	1283 m ²	COMMUNAL ENCLOSED SPACE	
LANDSCAPED AREA - PRIVATE	449 m ²	Name	Area
LANDSCAPED AREA - SITE LANDSCAPING	1826 m ²	COMMUNAL ENCLOSED SPACE	457 m ²
	36% 3558 m ²		

DOES NOT INCLUDE PATHWAYS, ROAD OR CARPARKING. DOES INCLUDE LANDSCAPED AREAS OF COMMUNAL OPEN SPACE

YIELD

YIELD SCHEDULE (BY TYPE)	
TYPE	QTY
UNIT TYPE 1	124
UNIT TYPE 2	73
UNIT TYPE 3	1
UNIT TYPE - MANAGERS	1
TOTAL	199

YIELD SCHEDULE (BY LEVEL)	
UNIT TYPE	QTY
LOWER GROUND	
UNIT TYPE 1	17
UNIT TYPE 2	8
SUB TOTAL	25
GROUND	
UNIT TYPE 1	29
UNIT TYPE 2	25
UNIT TYPE - MANAGERS	1
SUB TOTAL	55

YIELD SCHEDULE (BY LEVEL)	
UNIT TYPE	QTY
LVL 1	
UNIT TYPE 1	40
UNIT TYPE 2	36
SUB TOTAL	76
LVL 2	
UNIT TYPE 1	27
UNIT TYPE 2	4
SUB TOTAL	31
LEVEL 3	
UNIT TYPE 1	11
UNIT TYPE 3	1
TOTAL	199

VEHICLES & PARKING

CARPARK SCHEDULE	
CARPARK TYPE	QTY
MINI BUS	1
PWD BAY	2
SMALL BAY	3
STANDARD	93
TOTAL	99

SCOOTER PARKING	
LEVEL	QTY
LOWER GROUND	17
GROUND	11
LVL 1	11
LVL 2	10
TOTAL	49

LEGEND

PERSPECTIVE VIEW
VIEW NUMBER
DRAWING SHEET NUMBER
WALL BELOW
BOUNDARY LINE

0 2 4 6 10 20 m

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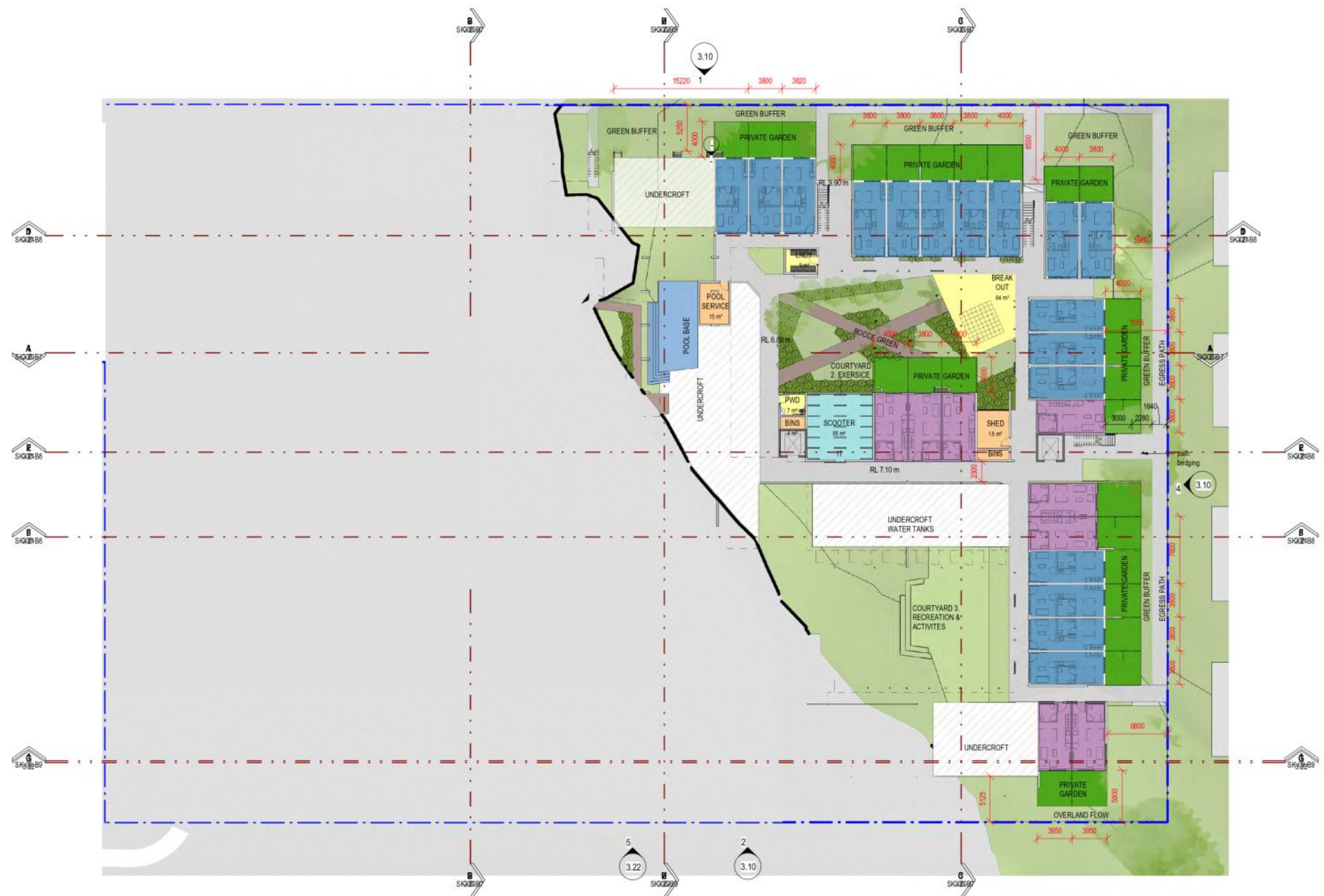
SITE PLAN

1 : 250 @ A1

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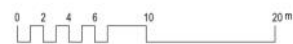
rev. 13



1
3.10
LOWER GROUND
1 : 250

YIELD LOWER GROUND	
TYPE	Count
UNIT TYPE 1	7
UNIT TYPE 1	1
UNIT TYPE 1	1
UNIT TYPE 1	8
UNIT TYPE 2	2
UNIT TYPE 2	6
	25

- LEGEND
- UNIT TYPE 1 - ENSUITE TO CENTRE
 - UNIT TYPE 2 - ENSUITE TO CORRIDOR
 - BACK OF HOUSE/ STAFF/ SERVICES
 - SCOOTER PARKING
 - COMMON
 - PRIVATE GARDEN
 - UNDERCROFT



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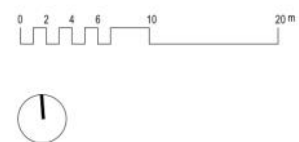
LOWER GROUND

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A2.09

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GROUND
 As indicated @ A1
 A2.10



1 Level 1
3.10 1:250

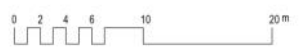
YIELD LEVEL 1

Type	Comments	Count
UNIT TYPE 1	40	
UNIT TYPE 2	36	
	76	

11 SCOOTER PARKS

LEGEND

- UNIT TYPE 1 - ENSUITE TO CENTRE
- UNIT TYPE 2 - ENSUITE TO CORRIDOR
- BACK OF HOUSE/STAFF/SERVICES
- SCOOTER PARKING
- COMMON
- PRIVATE GARDEN
- UNDERCROFT



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LEVEL 1
As indicated @ A1
A2.11
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0 2 4 6 10 20 m



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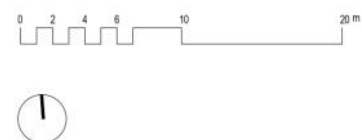
LEVEL 2

As indicated @ A1

A2.12

14.10.2020

rev. 14



rev. 10



1
2.09
1:200
NORTH ELEVATION



2
2.09
1:200
SOUTH ELEVATION



3
2.10
1:200
WEST ELEVATION



4
2.09
1:200
EAST ELEVATION

LEGEND

---	BOUNDARY LINE	SUN HOODS
---	INTERNAL BOUNDARY LINE	METAL BALUSTRADES
---	EXISTING NATURAL GROUND LINE	HORIZONTAL SCREENS
---	13M HEIGHT LIMIT	GLAZING
---	TIMBER COLOURED CLADDING 1 BUSHBOX SCHEME	
---	TIMBER COLOURED CLADDING 2 SPOTTED GUM SCHEME	
---	TIMBER COLOURED CLADDING 3 JARRAH SCHEME	
---	PAINTED WHITE VERTICAL JOINT	
---	TEXTURED WALL CLADDING DARK GREY TRIMS AND COLUMNS	
---	TEXTURED WALL CLADDING OFF WHITE WHITE TRIMS AND COLUMNS	

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ELEVATIONS

As indicated @ A1

3.10

14.10.2020

rev. 6



LEGEND

--- BOUNDARY LINE	SUN HOODS
--- INTERNAL BOUNDARY LINE	METAL BALUSTRADES
--- EXISTING NATURAL GROUND LINE	HORIZONTAL SCREENS
--- 13M HEIGHT LIMIT	GLAZING
TIMBER COLOURED CLADDING 1 BUSHBOX SCHEME	
TIMBER COLOURED CLADDING 2 SPOTTED GUM SCHEME	
TIMBER COLOURED CLADDING 3 JARRAH SCHEME	
PAINTED WHITE VERTICAL JOINT	
TEXTURED WALL CLADDING DARK GREY TRIMS AND COLUMNS	
TEXTURED WALL CLADDING OFF WHITE WHITE TRIMS AND COLUMNS	

LEGEND

UNIT TYPE 1 - ENSUITE TO CENTRE
UNIT TYPE 2 - ENSUITE TO CORRIDOR
BACK OF HOUSE/STAFF/SERVICES
SCOOTER PARKING
COMMON
PRIVATE GARDEN
UNDERCROFT

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SECTIONS

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3.20

14.10.2020

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D
2.09
SECTION D - LONG SECTION
1:200



E
2.09
SECTION E - LONG SECTION
1:200



F
2.09
SECTION F - LONG SECTION
1:200

LEGEND

- BOUNDARY LINE
- INTERNAL BOUNDARY LINE
- EXISTING NATURAL GROUND LINE
- 13M HEIGHT LIMIT
- TIMBER COLOURED CLADDING 1
- TIMBER COLOURED CLADDING 2
- TIMBER COLOURED CLADDING 3
- PAINTED WHITE - VERTICAL JOINT
- TEXTURED WALL CLADDING DARK GREY TRIMS AND COLUMNS
- TEXTURED WALL CLADDING OFF WHITE WHITE TRIMS AND COLUMNS
- SUN HOODS
- METAL BALUSTRADES
- HORIZONTAL SCREENS
- GLAZING

LIFESTYLE VILLAGE - CLEVELAND

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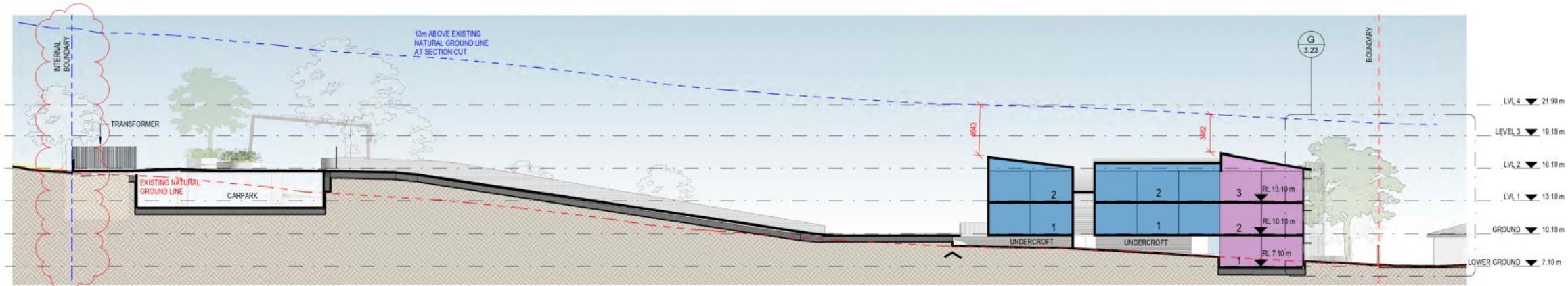
SECTIONS

As indicated @ A1

3.21

14.10.2020

rev. 4



SECTION G - LONG SECTION
1:200



SECTION H - CROSS SECTION
1:200



SECTION I - CROSS SECTION
1:200



SOUTH ELEVATION - AT BOUNDARY
1:200

- LEGEND**
- UNIT TYPE 1 - ENSUITE TO CENTRE
 - UNIT TYPE 2 - ENSUITE TO CORRIDOR
 - BACK OF HOUSE/ STAFF SERVICES
 - SCOOTER PARKING
 - COMMON
 - PRIVATE GARDEN
 - UNDERCROFT

LEGEND

- BOUNDARY LINE
- INTERNAL BOUNDARY LINE
- EXISTING NATURAL GROUND LINE
- 13M HEIGHT LIMIT
- TIMBER COLOURED CLADDING 1
- TIMBER COLOURED CLADDING 2
- TIMBER COLOURED CLADDING 3
- PAINTED WHITE VERTICAL JOINT
- TEXTURED WALL CLADDING DARK GREY TRIMS AND COLUMNS
- TEXTURED WALL CLADDING OFF WHITE WHITE TRIMS AND COLUMNS
- SUN HOODS
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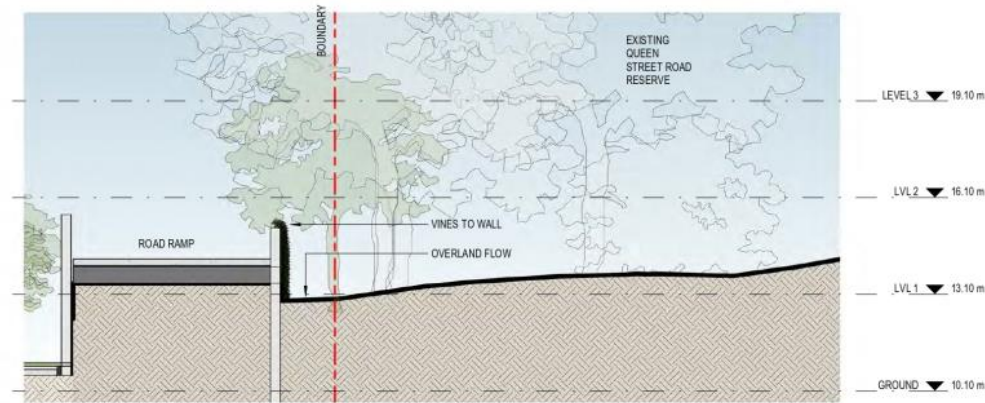
SECTIONS

As indicated @ A1

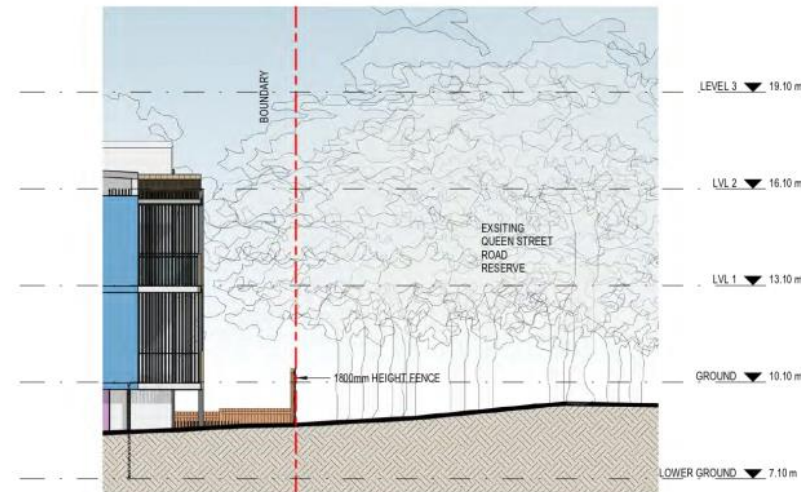
3.22

14.10.2020

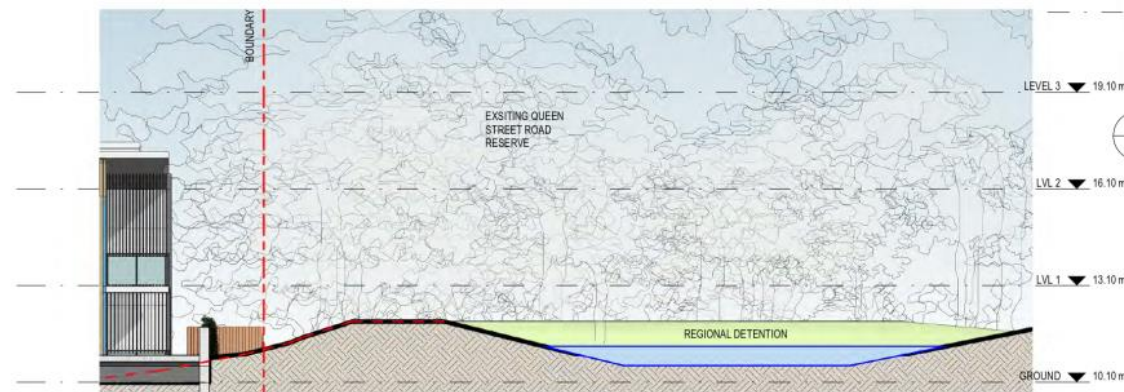
rev. 4



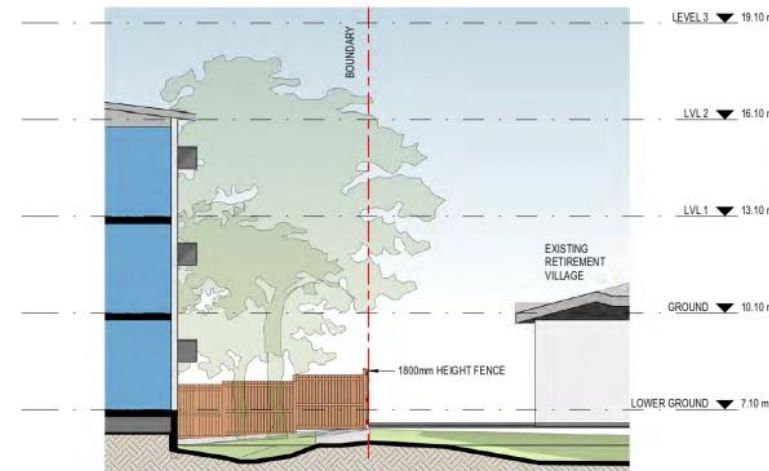
B
3.20
1:100
SECTION B - CROSS SECTION - SOUTHERN BOUNDARY



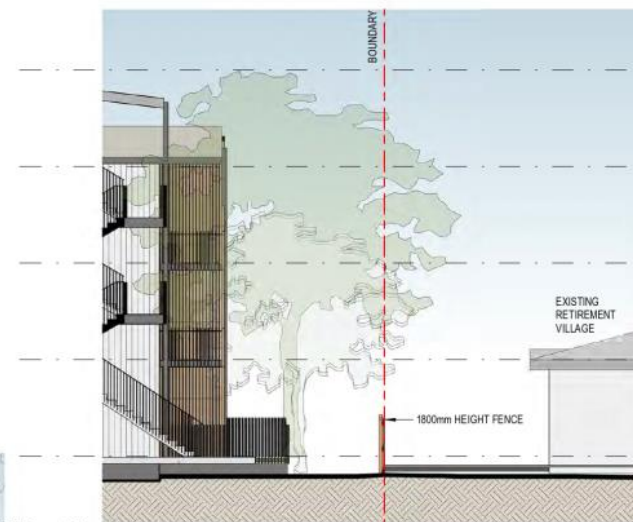
C
3.20
1:100
SECTION C - CROSS SECTION - SOUTHERN BOUNDARY



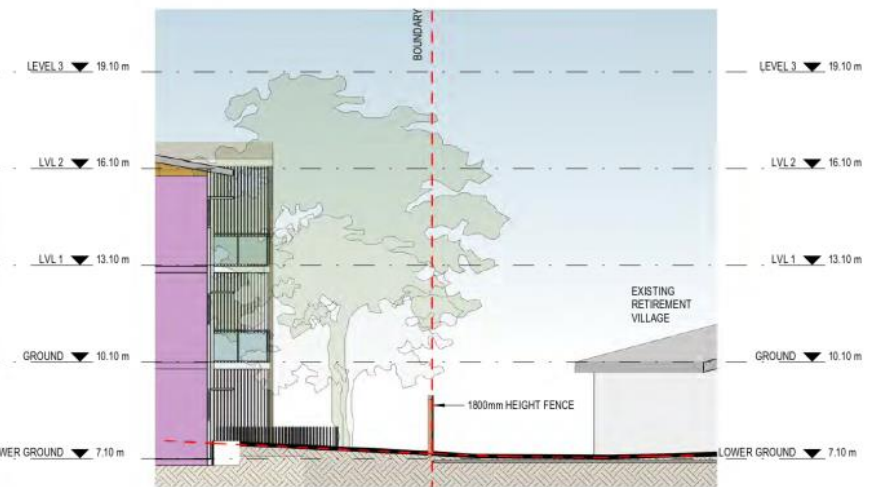
H1
3.22
1:100
SECTION H - CROSS SECTION - SOUTHERN BOUNDARY



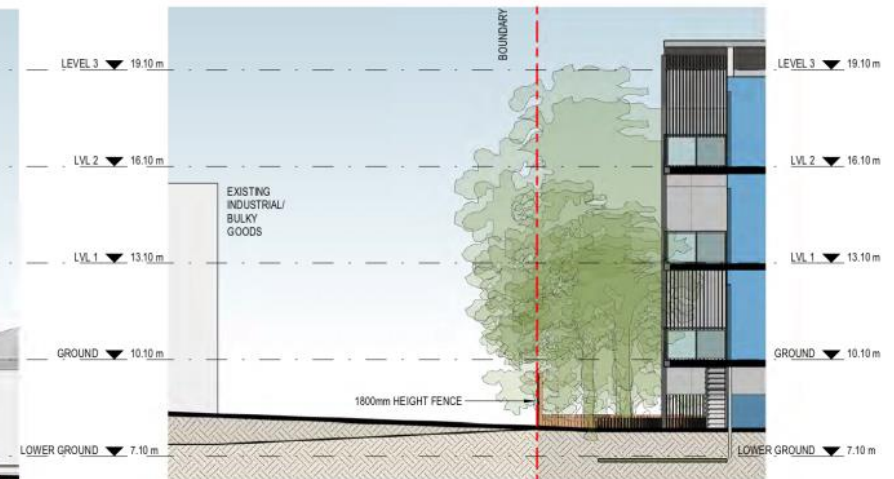
D
3.21
1:100
SECTION D - LONG SECTION - EASTERN BOUNDARY



E
3.21
1:100
SECTION E - LONG SECTION - EASTERN BOUNDARY



G
3.22
1:100
SECTION G - LONG SECTION - EASTERN BOUNDARY



H2
3.22
1:100
SECTION H - CROSS SECTION - NORTHERN BOUNDARY

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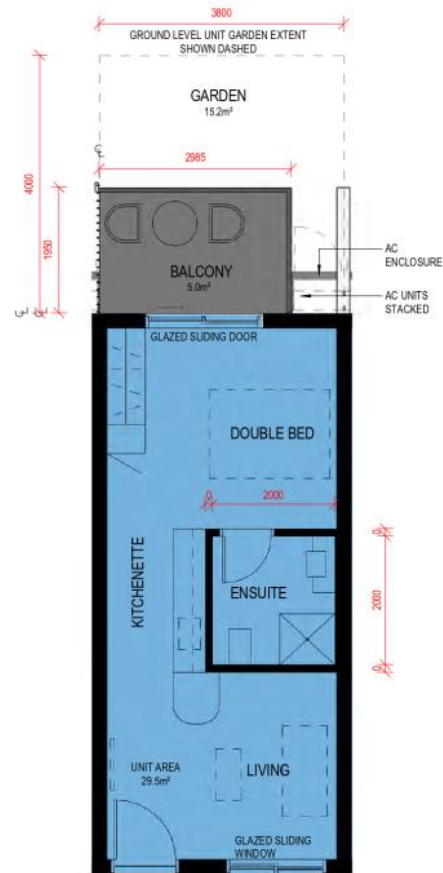
DETAIL SECTIONS

1:100 @ A1

3.23

25.08.2020

rev. 3



1 UNIT TYPE 1 (BLUE) PLAN
1:50
NOTE:
2 x TYPE 1 UNITS CAN BE CONVERTED INTO
UNIT TYPE 3 OR MANAGER'S UNIT
ARRANGEMENT



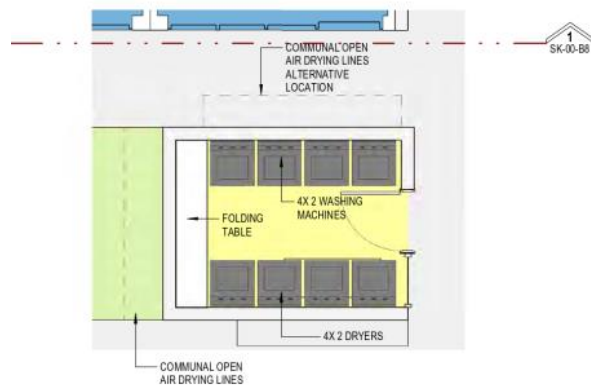
6 UNIT TYPE 3 (BROWN) PLAN
1:50



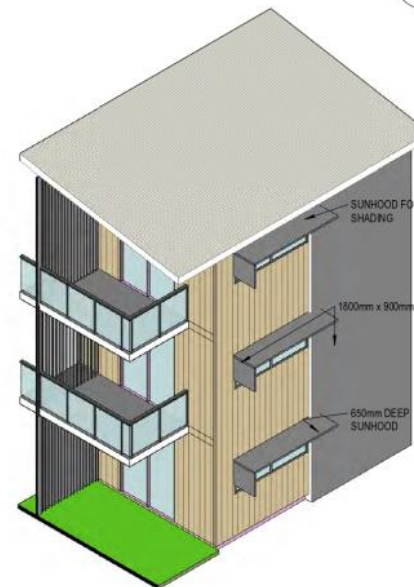
3 UNIT TYPE 2 (PINK) PLAN
1:50



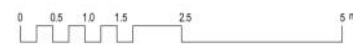
7 MANAGERS UNIT (GREEN) PLAN
1:50



5 COMMUNAL LAUNDRY
1:50



8 ISOMETRIC VIEW - SUNHOOD



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UNIT TYPE DETAIL
1:50 @ A1
A4.01

25.08.2020
rev. 5

EXAMPLES OF COMMUNAL OPEN SPACES



PRIVATE OPEN SPACE	
Name	Area
BALCONY	845 m ²
PRIVATE OPEN SPACE - (UNIT GARDENS)	567 m ²
160 UNITS WITH BALCONIES @ 5.2m ² each (10m ² required to meet DTS)	
39 UNITS WITH GARDEN SPACES @15.2m ² each (25m ² required to meet DTS)	
TYPICAL SINGLE UNIT SIZE 50-60m ² TOWN PLANNING BALCONY IS MIN 10 m ² - THIS EQUALS 1/6 OF THE AREA OF THE UNIT	
UNIT SIZE IS A MINIMUM OF 29.5m ² 1/6 OF THIS IS 4.91m ² . EACH UNIT IS TYPICALLY PROVIDED WITH 5.2m ² OF BALCONY SPACE	

PERFORMANCE SOLUTION FOR PRIVATE OPEN SPACE

THE TYPICAL USER THAT THE VILLAGE IS DESIGNED FOR IS SENIORS AND RETIREES WHO ARE GENERALLY SINGLE OR HAVE PARTNERS WHO LIVE IN HIGH CARE ACCOMMODATION OFF SITE. THE DESIGN PROMOTES SOCIAL ACTIVITY AND INTEGRATION AS AN IMPORTANT PSYCHOLOGICAL COMPONENT TO THE WELLBEING OF THE RESIDENTS. THE DESIGN HAS SHIFTED THE PRIVATE OPEN SPACE INTO A MORE PUBLIC REALM TO PROMOTE ACTIVITY AND INTERACTION ACROSS THE VILLAGE. THE DESIGN SEEKS TO PROVIDE MORE THAN THE MINIMUM REQUIREMENTS FOR COMMUNAL OPEN SPACE AS COMPENSATION FOR THE REDUCTION IN PRIVATE SPACES AND OFFERS A NUMBER OF DIFFERENT SCALES OF COMMUNAL OPEN SPACE FOR DIFFERENT NUMBERS OF SOCIAL GATHERING.

COMMUNAL OPEN SPACE REQUIREMENT
@15% SITE AREA = 7.6M2/ UNIT

PROVIDING 17.6m² / UNIT - EXCESS IS 10M2
199 UNITS - 2.2m² OF COMMUNAL ENCLOSED SPACE EACH
TOTAL 12.2m² EXCESS

BALCONY UNITS - ACCESS TO 15.3m² OF SOCIAL SPACE+ 7.6 STANDARD REQUIREMENT

GARDEN UNITS - ACCESS TO 27.2m² OF SOCIAL SPACE + 7.6 STANDARD REQUIREMENT

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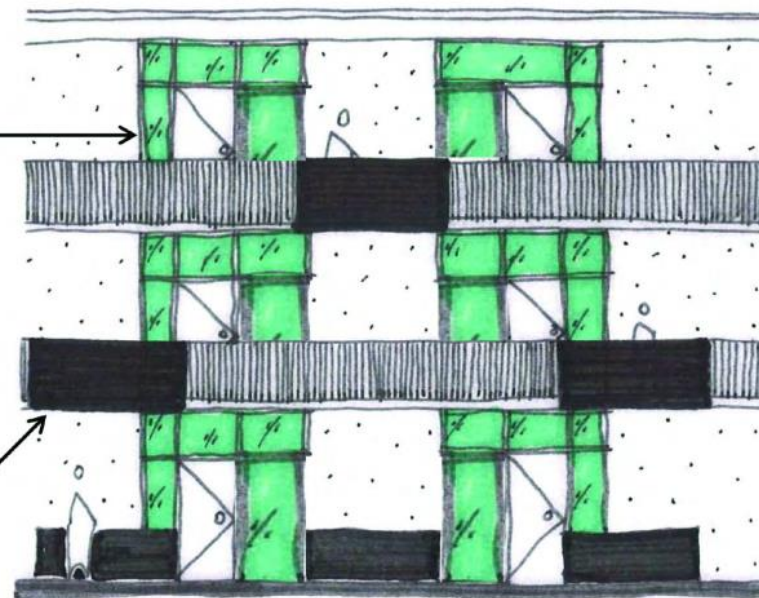
COMMUNAL AREAS 1
1 : 100 @ A1 25.08.2020
5.01 rev. 3



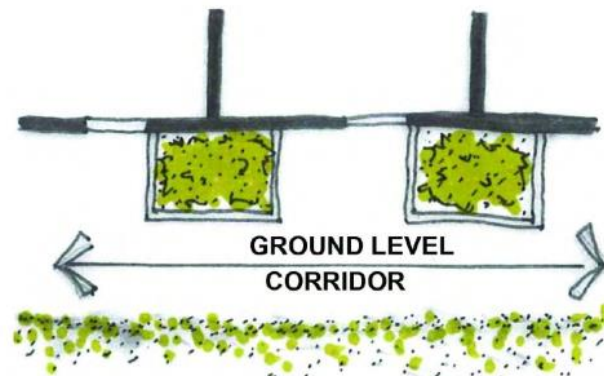
Full Height Glazing



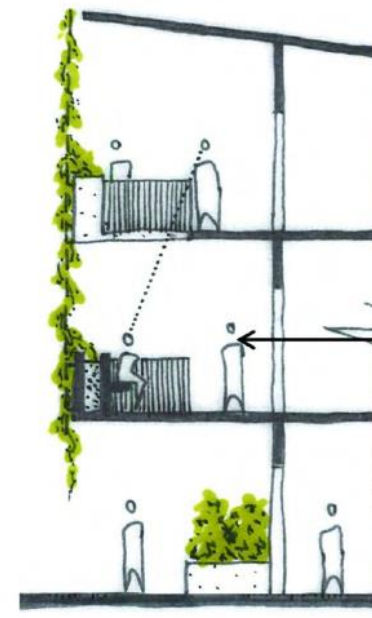
Opaque & Translucent
Balustrading



Façade Design



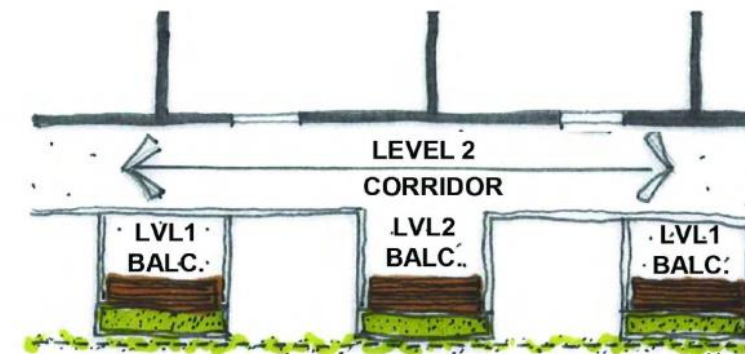
Ground Level Corridor Plan



Corridor Section



External Corridor



Upper Level Corridor Plan

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COMMUNAL AREAS 2

@ A1

5.02

25.08.2020

rev. 2



5 - PERSPECTIVE VIEW - EXERCISE COURTYARD



6 - PERSPECTIVE VIEW - ACTIVITY COURTYARD



7 - PERSPECTIVE VIEW GROUND FLOOR ENTRY AT RAMP BASE



8 - PERSPECTIVE VIEW - SOUTH EAST CORNER - TREES OMITTED FOR CLARITY

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PERSPECTIVES SHEET 1

@ A1

25.08.2020

9.00

rev. 4



Balcony & façade character



Corridor to Laundry Corner



Privacy screens



Stairwell and connections



Walkway Balcony

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PERSPECTIVES - COURTYARD 2

@ A1

25.08.2020

9.01

rev. 3



9 - VIEW FROM QUEEN STREET

NOTE :
SIGNAGE DESIGN TO STREET IS INDICATIVE

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PERSPECTIVES - QUEEN ST

@ A1

14.10.2020

9.02

rev. 1

Amended attachment 4 – Recommended conditions of approval**PART A – Reconfiguring a lot conditions**

<u>ASSESSMENT MANAGER CONDITIONS</u>	<u>TIMING</u>
1. Comply with all conditions of this approval, at no cost to Council, at the timing periods specified in the right-hand column. Where the column indicates that the condition is an ongoing condition, that condition must be complied with for the life of the development.	
<u>Approved plans and documents</u>	
2. Undertake the development in accordance with the approved plans and documents referred to in Table 1, subject to the conditions of this approval and any notations by Council on the plans.	Prior to Council approval of the survey plan.

Plan/document title	Reference number	Prepared by	Plan/doc. date
Subdivision proposal plan	S0082-P3	AJS Surveys	14/10/2020
Concept pre-development stormwater catchment plan	SK01 issue E	CMT Engineers	22/10/2020
Concept post-development catchment plan (ROL)	SK101 issue B	CMT Engineers	27/10/2020
Concept roadworks and drainage plan (ROL)	SK102 issue B	CMT Engineers	27/10/2020
Concept stormwater drainage details	SK104 issue B	CMT Engineers	27/10/2020
Concept services plan – sheet 1	SK105 issue B	CMT Engineers	27/10/2020
Concept services plan – sheet 2	SK106 issue B	CMT Engineers	27/10/2020
Vegetation retention plan layout sheet 1 of 2	S50538_VRP_001 issue D	S5 Environmental	27/10/2020
Vegetation retention plan layout sheet 2 of 2	S50538_VRP_002 issue D	S5 Environmental	27/10/2020
Vegetation retention plan schedule sheet 1 of 3	S50538_VRP_003 issue D	S5 Environmental	27/10/2020
Vegetation retention plan schedule sheet 2 of 3	S50538_VRP_004 issue D	S5 Environmental	27/10/2020
Vegetation retention plan schedule sheet 3 of 3	S50538_VRP_005 issue D	S5 Environmental	27/10/2020
Arborist review RFI for 236 Queen Street, Cleveland	Version 01	Redlands Tree Service	26/08/2020

Table 1: Approved plans and documents

3. Submit to Council a survey plan for approval, in accordance with the approved plans, following compliance with all relevant conditions and requirements of this approval.	Prior to expiry of the currency period for the development.
Existing structures	
4. Remove any existing fences and/or incidental works that straddle the new boundaries, or alter to realign with the new property boundaries or to be wholly contained within one of the new properties.	Prior to Council approval of the survey plan.
Utility services	
5. Relocate any services (for example water, sewer, electricity, telecommunications and roofwater) that are not wholly located within the lots that are being serviced.	Prior to Council approval of the survey plan.
6. Pay the cost of any alterations to existing public utility mains, services or installations due to building and works in relation to the proposed development, or any works required by conditions of this approval. Any cost incurred by Council must be paid in accordance with the terms of any cost estimate provided to perform the works.	At the time the works occur, or prior to Council approval of the survey plan, whichever is the sooner.
7. Design and install electricity and telecommunication conduits to service both lots in accordance with the requirements of the relevant service providers and the City Plan Infrastructure Works Code and Infrastructure Works Policy. Provide Council with written confirmation from the service provider for the supply of electricity and telecommunication services. <i>Note: you need to engage the services of a telecommunications carrier to install and operate a telecommunications network. It is recommended you do this immediately after receiving this development approval to ensure a connection will be available to future residents. To find out if NBN is currently available for this development, visit the NBN website: https://www2.nbnco.com.au/develop-or-plan-with-the-nbn/new-developments.html</i>	Prior to Council approval of the survey plan.
Access and roadworks	
8. Remove all redundant vehicle crossovers and reinstate kerb and channel, road pavement, service and footpaths.	Prior to Council approval of the survey plan.
Stormwater management	

<p>9. Convey roof water and surface water to a lawful point of discharge, as indicated on the approved stormwater management plans.</p>	<p>Prior to on maintenance or Council approval of the survey plan, whichever is the sooner.</p> <p>Ongoing condition.</p>
<p>10. Manage stormwater discharge from the site as to not cause an actionable nuisance to adjoining properties.</p>	<p>Ongoing condition.</p>
<p><u>Water and wastewater</u></p>	
<p>11. Connect all lots to the existing reticulated sewerage and reticulated water systems.</p> <p>Note: All live connections must be undertaken by Redland City Council.</p>	<p>Prior to Council approval of the survey plan.</p>
<p>12. Remove any redundant sewerage connections within the site or servicing the development and provide documentary evidence to Council or its delegate that this has occurred.</p>	<p>Prior to Council approval of the survey plan.</p>
<p><u>Vegetation protection</u></p>	
<p>13. Provide an updated and detailed Arboricultural Impact Assessment and Tree Protection Plan for all trees located along the Queen Street road verge and along boundaries of adjoining properties where construction works will encroach within 10% of any of the trees calculated TPZ (tree protection zone). The assessment must be drafted to be compatible with civil plans submitted as part of the operational works application and must include the methodology for the tunnel bored sewer pipe installation and any other services or construction works associated with the operational works that may impact existing trees. The Assessment must be drafted in accordance with the guidelines outlined in <i>Australian Standard AS4970-Protection of Trees on Development Sites</i>, addressing sections 2.3.4 & 2.3.5 and must be prepared by a minimum level 5 qualified Arborist.</p>	<p>As part of the operational works application.</p>
<p>14. Retain and protect from damage all existing vegetation identified for retention on the approved vegetation retention plans.</p>	<p>At all times.</p>
<p><u>Excavation and fill</u></p>	

15. Construct all retaining structures in accordance with the Australian Standard for Earth-retaining structures (AS4678-2002), in particular the minimum 60 year design life requirements.	Prior to Council approval of the survey plan.
<u>Sediment and erosion control</u>	
16. Design, implement and maintain measures and practices in accordance with Best Practice Erosion and Sediment Control published by the International Erosion Control Association Australasian Chapter 2008 (IECA).	During construction phase.
<u>Dust control</u>	
17. Implement dust control measures at each phase of site development and operation in accordance with IECA Best Practice Erosion and Sediment Control.	During site works and construction phase.
<u>Split valuation</u>	
18. Pay a contribution to Council for the purposes of paying the State Government Split Valuation Fees. The current value of the contribution is \$39.35 (excluding GST) per allotment (2020/2021 Financial Year). The amount of contribution must be paid at the rate applicable at the time of payment. A Split Valuation Fee is required for each allotment contained on the Plan(s) of Survey, including balance lots.	Prior to Council approval of the survey plan.
<u>Landscaping works</u>	
19. Remove all weed species, as identified in the Redlands Coast Biosecurity Plan 2018-2023.	Prior to Council approval of the survey plan.
20. Turf all areas of disturbance within the road verge with turf cut from a weed free source containing no viable weed seed.	Prior to Council approval of the survey plan.
<u>ADDITIONAL APPROVALS</u>	
The following further development permits are necessary to allow the development to be carried out.	
<ul style="list-style-type: none"> Operational works is required for the following works: <ul style="list-style-type: none"> Earthworks Water reticulation Sewerage reticulation 	

- Excavation and fill
- Verge works

Further approvals, other than a development permit, are also required for your development. This includes, but is not limited to, the following:

- Road opening permit – for any works proposed within an existing road reserve.

PART B – Material change of use conditions

<u>ASSESSMENT MANAGER CONDITIONS</u>	<u>TIMING</u>
1. Comply with all conditions of this approval, at no cost to Council, at the timing periods specified in the right-hand column. Where the column indicates that the condition is an ongoing condition, that condition must be complied with for the life of the development.	
<u>Approved plans and documents</u>	
2. Undertake the development in accordance with the approved plans and documents referred to in Table 1, subject to the conditions of this approval and any notations by Council on the plans.	Prior to the use commencing and ongoing.

Plan/document title	Reference number	Prepared by	Plan/doc. date
Materials and roof forms – garden courtyard	0.08 rev 1	Thomson Adsett	25/08/2020
Materials and roof forms – exercise courtyard	A0.09 rev 2	Thomson Adsett	25/08/2020
Materials and roof forms – activities courtyard	0.10 rev 1	Thomson Adsett	25/08/2020
Site plan	A1.01 rev 13	Thomson Adsett	14/10/2020
Lower ground	A2.09 rev 9	Thomson Adsett	25/08/2020
Ground	A2.10 rev 13	Thomson Adsett	14/10/2020
Level 1	A2.11 rev 12	Thomson Adsett	14/10/2020
Level 2	A2.12 rev 14	Thomson Adsett	14/10/2020
Level 3	A2.13 rev 10	Thomson Adsett	25/08/2020
Elevations	3.10 rev 6	Thomson Adsett	14/10/2020
Sections	3.20 rev 6	Thomson Adsett	14/10/2020
Sections	3.21 rev 4	Thomson Adsett	14/10/2020
Sections	3.22 rev 4	Thomson Adsett	14/10/2020
Detail sections	3.23 rev 3	Thomson Adsett	25/08/2020
Unit type detail	A4.01 rev 5	Thomson Adsett	25/08/2020

Communal areas 1	5.01 rev 3	Thomson Adsett	25/08/2020
Communal areas 2	5.02 rev 2	Thomson Adsett	25/08/2020
Perspectives sheet 1	9.00 rev 4	Thomson Adsett	25/08/2020
Perspectives – courtyard 2	9.01 rev 3	Thomson Adsett	25/08/2020
Perspectives – Queen St	9.02 rev 1	Thomson Adsett	14/10/2020
Landscape concept plan	20.003 sheet 1 issue G	AGLA	22/10/2020
Landscape concept plan (lower ground)	20.003 sheet 2 issue G	AGLA	22/10/2020
Landscape concept plan (ground level)	20.003 sheet 3 issue G	AGLA	22/10/2020
Landscape concept plan (level 01)	20.003 sheet 4 issue G	AGLA	22/10/2020
Landscape concept plan (level 02)	20.003 sheet 5 issue G	AGLA	22/10/2020
Landscape sections	20.003 sheet 6 issue G	AGLA	22/10/2020
Landscape sections	20.003 sheet 7 issue G	AGLA	22/10/2020
Landscape sections	20.003 sheet 8 issue G	AGLA	22/10/2020
Landscape elevations	20.003 sheet 9 issue G	AGLA	22/10/2020
Proposed planting schedule	20.003 sheet 10 issue G	AGLA	22/10/2020
Lifestyle village Cleveland - acoustic report	70B-20-0109-TRP- 6774643-4	Vipac Engineers & Scientists	20/10/2020
Site based stormwater management plan	011-19 rev 2	CMT Engineers	19/10/2020
Concept post development stormwater catchment plan	SK02 issue F	CMT Engineers	22/10/2020
Concept roadworks and general layout plan	SK03 issue G	CMT Engineers	22/10/2020
Concept stormwater drainage details – sheet 1	SK04 issue F	CMT Engineers	22/10/2020
Concept stormwater drainage details – sheet 2	SK05 issue E	CMT Engineers	22/10/2020
Concept earthworks plan	SK08 issue E	CMT Engineers	22/10/2020
Concept earthworks sections – sheet 1	SK09 issue E	CMT Engineers	22/10/2020
Concept earthworks sections – sheet 2	SK10 issue B	CMT Engineers	22/10/2020
Footpath plan	SK11 issue B	CMT Engineers	22/10/2020
Concept suspended ramp undercroft plan	SK12 issue A	CMT Engineers	21/10/2020
Concept stormwater drainage plan	SK13 issue A	CMT Engineers	22/10/2020

Internal stormwater catchment plan	SK14 issue A	CMT Engineers	26/10/2020
Catchment plan for downstream analysis	SK15 issue A	CMT Engineers	04/01/2021
Downstream overland flow path	SK16 issue A	CMT Engineers	04/01/2021
Downstream catchment longitudinal sections	SK17 issue A	CMT Engineers	04/01/2021
Concept intersection plan – Delancey Street & Queen Street (as amended in red by Council)	SK18 issue A	CMT Engineers	22/01/2021
Entry ramp structure	SK-S-115 issue A	CMT Engineers	19/10/2020
Flow and pressure test report	Q4695	HTC	23/07/2020
Queen St Cleveland hydraulic impact assessment		Engeny	28/01/2021
Traffic engineering assessment report	BMC20083	BMC Traffic	15/10/2020
Traffic engineering response	BMC20083	BMC Traffic	06/01/2021
Operational waste management plan	20BRW0018 rev 4	TTM	12/06/2020

Table 1: Approved plans and documents

<u>Commencement of use</u>	
3. Do not commence the use until the Survey Plan for the proposed lot has been endorsed by Council and issued with a dealing number by the Department of Natural Resources, Mines and Energy.	Prior to the use commencing.
<u>Operational aspects</u>	
4. Limit the number of residents within the development to a maximum of two hundred and nineteen (219) residents at any one time.	Ongoing.
<u>Design</u>	
5. Locate, design and install outdoor lighting, where required, to minimise the potential for light spillage to cause nuisance to neighbours.	Prior to the use commencing and ongoing.
6. Submit certification to Council from a licensed surveyor confirming that floor levels and maximum overall height of the building are in accordance with the development approval. All levels must be provided to Australian Height Datum (AHD).	After completion of the building construction but prior to the issue of Certificate of Classification or Final Building Approval.

Parking	
<p>7. Provide one hundred and three (103) car parks on site generally in accordance with the approved site plan. The total number of car parks must include a:</p> <ul style="list-style-type: none"> • minimum of two (2) disability parking spaces; • minimum of twenty (20) visitor parking spaces; • one parking space for a mini-bus; • maximum of three (3) small car parking spaces; and • maximum of two (2) car parking spaces provided in tandem, and these must be marked for staff parking only. <p>Access to car parking spaces, bin bays and driveways must remain unobstructed and available for their intended purpose.</p>	Prior to the use commencing and ongoing.
Conditioned works assessment	
<p>8. Submit to Council, and receive approval for, Conditioned Works Assessment for the documents and works referred to in Table 2:</p>	Prior to the works commencing.

Document or works	Assessment criteria
Landscape plans	<ul style="list-style-type: none"> • City Plan medium density residential zone code • City Plan landscape code • City Plan planning scheme policy 2 – infrastructure works
Arborist report	<ul style="list-style-type: none"> • City Plan planning scheme policy 2 – infrastructure works
Water supply and sewerage	<ul style="list-style-type: none"> • South East Queensland (SEQ) Water Supply and Sewerage Design and Construction code • City Plan infrastructure works code • City Plan planning scheme policy 2 – infrastructure works
Footpath and verge works	<ul style="list-style-type: none"> • City Plan infrastructure works code • City Plan planning scheme policy 2 – infrastructure works
Sediment and erosion control plan/program	<ul style="list-style-type: none"> • City Plan healthy waters code • City Plan infrastructure works code • City Plan planning scheme policy 2 – infrastructure works • International Erosion Control Association Best Practice Erosion and Sediment Control document
Earthworks plans	<ul style="list-style-type: none"> • City Plan healthy waters code • City Plan infrastructure works code • City Plan planning scheme policy 2 – infrastructure works • Australian Standard for earth retaining structures (AS4678-2002) • Australian Standard for guidelines on earthworks for commercial and residential development (AS3798-2007)

Construction management plan	<ul style="list-style-type: none"> City Plan healthy waters code City Plan infrastructure works code City Plan planning scheme policy 2 – infrastructure works
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Table 2: Conditioned works assessment

Conditioned works assessment	
9. Submit to Council, and receive approval for, Conditioned Works Assessment for the documents and works referred to in Table 3:	Prior to the use commencing.

Document or works	Assessment criteria
Waste management plan	<ul style="list-style-type: none"> Demonstrating compliance with waste management conditions of approval
Acoustic certification	<ul style="list-style-type: none"> City Plan planning scheme policy 6 – environmental emissions City Plan medium density residential zone code

Table 3: Conditioned works assessment

10. Comply with all conditions and approved plans in the Conditioned Works Approval(s).	Prior to the use commencing and ongoing.
Bonds	
11. Lodge with Council the bonds listed in Table 4:	Prior to requesting a pre-start meeting or works commencing, whichever is the sooner.

Bond item	Amount	Returned
Road cleaning bond	\$2,000	When works accepted on maintenance by Council.
Road opening approval bond	\$2,500	When works accepted on maintenance by Council.
TOTAL	\$4,500	

Table 4: Bonds

12. Lodge a defects liability bond to the greater value of either: <ul style="list-style-type: none"> a) 10% of the contributed asset(s); or b) \$2,500. 	Prior to contributed asset being accepted on maintenance by Council.
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This bond will be returned after formal acceptance by Council of the contributed asset(s) off maintenance and the transfer of the applicable works to Council.	
Inspections	
13. Arrange with Council for the following inspections to be carried out at the relevant time in accordance with Table 5: Inspections below.	At timing indicated in table 4.

Inspection	Timing
Pre-start	Prior to any works commencing.
Erosion and sediment control	Immediately after installation of erosion and sediment control measures.
Tree protection	At any time when a variation is proposed to the tree protection measures or damage occurs to existing protected vegetation as a result of site works.
Driveway crossover	Box inspection to be undertaken with reinforcing mesh in place and supported on bar chairs prior to the concrete being poured.
Footpath	Box inspection to be undertaken prior to the fibre reinforced concrete being poured.
Stormwater bedding	After the stormwater pipelines are bedded and prior to backfilling.
On maintenance	On completion of all civil and landscaping works to be transferred into public ownership as required by this approval and its conditions and prior to the commencement of the 12 months maintenance period.
Compliance inspection	On completion of the development in accordance with the approval and its conditions.
Off maintenance	At the end of the minimum 12 months maintenance period.

Table 5: Inspections

For the pre-start, on maintenance/compliance and off maintenance inspections, at least **five (5) business days** notice must be given to Council. For all other inspections, a minimum of **24 hours** notice must be given to Council.

The contributed assets must be accepted on maintenance and the development must pass a Compliance Inspection before the issue of a Certificate of Classification.

Note: The Civil Consulting Engineer should inspect the works and satisfy themselves that the works are satisfactory prior to booking the respective inspections. In instances where Council's representative(s) fails an inspection, Council will charge a re-inspection fee prior to re-visiting the site. The cost of this re-inspection is identified in Council's Register of Fees and is reviewed each financial year.

General	
14. Provide details to Council of the nominated Principal Contractor, including copies of the Principal Contractor's workcover and public	Prior to requesting a pre-start meeting or

liability currency certificates. The public liability insurance policy must be a minimum of ten million dollars and must indemnify Redland City Council.	works commencing, whichever is the sooner.
15. Submit to Council a copy of the proposed Program of Civil Works.	Prior to requesting a pre-start meeting or works commencing, whichever is the sooner.
16. Provide temporary drainage during the building construction phase such that discharge from all constructed roofs and paved areas is disposed of to a lawful point of discharge in accordance with the Queensland Urban Drainage Manual (QUDM). Maintain the temporary system for the duration of the building works.	During construction.
17. Notify Council and rectify, in consultation with Council, any damage to Council infrastructure as a result of construction activities, at no cost to Council.	As soon as practical following identification of the damage.
18. Provide written certification from a Registered Professional Engineer Queensland (RPEQ) certifying that all civil works have been completed in accordance with the approved drawings and specifications and to the applicable Australian Standards.	Prior to on maintenance or the use commencing, whichever is the sooner.
19. Undertake the development works so that there is no risk to public safety at any time on the site, adjacent public land, road reserve or private property. Should the site be unattended or abandoned, public safety must still be maintained.	During construction phase.
20. Rectify any damage done to the road verge during construction, including topsoiling and re-turfing.	Prior to the use commencing.
21. Maintain all contributed assets for a minimum period of 12 months from the date the works are accepted on maintenance by Council. The works will be accepted off maintenance only where the works have been suitably maintained to any manufacturer's specifications and Council standards and are fit for purpose.	During the on maintenance period.
Roadworks	

<p>22. Submit and have approved by Council a Road Opening Approval for any works being undertaken within the road reserve. Provide the following to Council as part of the application:</p> <ul style="list-style-type: none"> a) A completed application form and associated fee, at the rate applicable at the time of payment. b) A copy of the contractor's Workcover insurance currency certificate. c) A copy of the contractor's Public Liability insurance currency certificate. The public liability insurance policy must be a minimum of ten million dollars and must indemnify Redland City Council. d) Submission of a Traffic Management Plan (TMP) and/or a Traffic Guidance Scheme (TGS) that is prepared and authorised by a person who holds a current DTMR 'Open Level' Traffic Management Design Certification and should include proposed haul routes for construction vehicles associated with the works, as applicable. 	<p>Prior to requesting a pre-start meeting or works commencing, whichever is the sooner.</p>
<p>23. Construct the intersection upgrade at the corner of Delancey Street and Queen Street in accordance with the approved intersection plan, subject to the following changes marked on the plan:</p> <ul style="list-style-type: none"> • provide piped drainage, with kerb and channel along the western edge of Delancey Street in order to avoid removal of existing street trees; and • provide an on-street painted cycle lane. 	<p>Prior to the use commencing.</p>
<p>24. Construct a 2.0m wide footpath along Queen Street linking into the existing footpath in Delancey Street. Details of the works must be provided as part of the conditioned works assessment.</p>	<p>Prior to the use commencing.</p>
<p><u>Stormwater management</u></p>	
<p>25. Convey roof water and surface water to a lawful point of discharge, as indicated on the approved stormwater management plans.</p>	<p>Prior to the use commencing and ongoing.</p>
<p>26. Manage stormwater discharge from the site as to not cause an actionable nuisance to adjoining properties.</p>	<p>Once the works have commenced, during the construction phase and ongoing.</p>
<p>27. Design and implement stormwater drainage, management and quality in accordance with the approved stormwater management plans.</p>	<p>Prior to on maintenance and ongoing.</p>

<p>28. Maintain all internal stormwater management devices for the life of the development in accordance with approved documentation and to manufacturer's specifications.</p>	<p>Ongoing condition.</p>
Utilities and services	
<p>29. Pay the cost of any alterations to existing public utility mains, services or installations due to building and works in relation to the proposed development, or any works required by conditions of this approval. Any cost incurred by Council must be paid at the time the works occur in accordance with the terms of any cost estimate provided to perform the works, or prior to plumbing final or the use commencing, whichever is the sooner.</p>	<p>At the time of works occurring.</p>
<p>30. Connect the development to external reticulated sewer, external reticulated water and underground electricity supply.</p>	<p>Prior to the use commencing.</p>
<p>31. Remove any redundant sewerage connections within the site or servicing the development and provide documentary evidence to Council or its delegate that this has occurred.</p>	<p>Prior to site works commencing.</p>
<p>32. Provide water connections and water meters in accordance with Council's Standard Drawings. Provide details to Council of the water meters and their locations.</p>	<p>Prior to on maintenance or the use commencing, whichever is the sooner.</p>
Excavation and filling	
<p>33. Undertake any required excavation and fill works in accordance with the following:</p> <ul style="list-style-type: none"> a) Design retaining walls/structures to have a minimum design life of 60 years and to be in accordance with Australian Standard 4678:2002 – Earth Retaining Structures (as amended). b) Undertake compaction in accordance with Australian Standard 3798:2007 – Guidelines on earthworks for commercial and residential developments (as amended) and Australian Standard 2870:2011 – Residential Slabs and Footings (as amended). c) Comply with the relevant requirements of the Building Regulations 2006 (as amended) where involving gradients or embankments. 	<p>During construction.</p>

<p>34. Submit to Council test certificates for all filling greater than 400mm in depth, confirming that the necessary levels of compaction have been achieved, including a Level 1 inspection and testing report in accordance with AS3798.</p>	<p>Prior to a compliance inspection, which must be undertaken prior to the use commencing.</p>
<p>35. Provide certification from a Registered Professional Engineer Queensland (RPEQ) for the design and construction of any retaining walls greater than 1m in height, in relation to stability and resistance to overturning and sliding (overall safety factor of 1.5) in accordance with AS1170.1 and AS3600.</p>	<p>Prior to a compliance inspection, which must be undertaken prior to the use commencing.</p>
<p>36. Connect all drainage pipes associated with a retaining wall to a lawful point of discharge in accordance with the Queensland Urban Drainage Manual (QUDM).</p>	<p>Prior to a compliance inspection, which must be undertaken prior to the use commencing.</p>
<p><u>Waste management</u></p>	
<p>37. Submit an amended waste management plan, based on the approved waste management plan but with the following additions:</p> <ul style="list-style-type: none"> • details on how food waste associated with the communal kitchen will be collected and disposed of separately to general waste; • identify the location of food waste storage containers in the vicinity of the kitchen, ensuring that these are screened from public view; and • if proposed, provide details of any composting arrangements on or off-site for pre-consumer food waste. 	<p>As part of the request for Conditioned Works Assessment.</p>
<p>38. Install and maintain a screened refuse collection area, located as indicated on the approved plans, for the storage of a minimum of 1x 3000L general waste and 2x 3000L co-mingled recycling bins (or equivalent sized bins). The storage area must be impervious, well drained and provided with a hose cock.</p>	<p>Prior to the use commencing and ongoing.</p>
<p>39. Enter into a contractual agreement with a landscape contractor that requires the contractor to collect and remove any green waste that they generate on the site.</p>	<p>Prior to the use commencing.</p>
<p><u>Erosion and sediment control</u></p>	
<p>40. Design, implement and maintain measures and practices in accordance with "Best Practice Erosion and Sediment Control"</p>	<p>During construction phase.</p>

published by the International Erosion Control Association (Australasian Chapter) (2008).	
<p>41. Ensure dewatering activities (such as from excavations or sediment basins) do not discharge water offsite or where the water could reasonably be expected to move offsite or into waters or stormwater, unless the following are met:</p> <ul style="list-style-type: none"> a) The concentration of total suspended solids (TSS) must not exceed 50 mg/L. b) Turbidity (nephelometric turbidity units - NTU) values must not be greater than 10% of the turbidity of waters immediately upstream of the sites water entry points at time of the release. c) The pH must be within the range of 6.5-8.5 except where, and to the extent, the natural receiving waters lie outside this range. d) Water is to be sampled by experienced personnel and tested by a NATA (National Association of Testing Authorities) accredited laboratory. 	During construction phase.
<p>42. Provide a stabilised construction exit at each exit point for the site. Maintain this area so that no loose debris is deposited on to adjoining roadways. Remove any material brought onto the road as soon as possible.</p>	During construction phase.
<p>43. Implement dust control measures at each phase of site development and operation in accordance with IECA (2008) Best Practice Erosion and Sediment Control.</p>	During construction phase.
<u>Survey and as-constructed information</u>	
<p>44. Submit as constructed drawings and documentation for all works that are to be transferred into public ownership, prepared in accordance with planning scheme policy 2 – infrastructure works.</p> <p>Include surveyed as constructed data showing works completed (digital and hard copies) and amended design plan data showing construction deviation from design plans (digital and hard copies). The digital data and the design data must be endorsed by a RPEQ and Landscape Architect holding AILA (Australian Institute of Landscape Architecture) membership and a registered surveyor using the certification clauses contained in planning scheme policy 2 – infrastructure works.</p>	As soon as all works are completed and prior to the request for on maintenance or the use commencing, whichever is the sooner.
<u>Acoustic attenuation</u>	
<p>45. Incorporate acoustic attenuation into the development as specified in section 8.1 of the acoustic report.</p>	Prior to site works commencing.

<u>Acoustic certification</u>	
<p>46. Submit the specifications for the mechanical plant to Council for Conditioned Works Assessment in accordance with the assessment criteria listed in Table 2: Conditioned Works Assessment of this approval, and in accordance with the approved acoustic report (section 8.2). The specifications must be certified by a qualified acoustic consultant to confirm the development complies with this approval and the assessment criteria detailed in Table 2: Conditioned Works.</p>	As part of the request for Conditioned Works Assessment.
<u>Landscaping works</u>	
<p>47. Submit detailed landscape plans that are generally in accordance with the approved concept landscape plans and include the following:</p> <ul style="list-style-type: none"> • full planting details; • complete species lists, ensuring that no species listed as declared or non-declared weed species in the Redlands Coast Biosecurity Plan 2018-2023 are used; • details of lighting types and locations; • other relevant details as outlined in section 6.1.3 of planning scheme policy 2 – infrastructure works. 	As part of the request for Conditioned Works Assessment.
<p>48. Landscape the site in accordance with the landscape plans approved as part of the conditioned works assessment and maintain these landscaped areas.</p>	Prior to the use commencing and ongoing.
<u>ADDITIONAL APPROVALS</u>	

The following further **development permits** are necessary to allow the development to be carried out.

- Building works approval.

Further approvals, other than a development permit, are also required for your development. This includes, but is not limited to, the following:

- Conditioned works assessment as detailed in Table 2 of the conditions.
- Plumbing and drainage works.
- Road opening permit for any works proposed within an existing road reserve.
- Food business licence for any development proposing to conduct a food business under the *Food Act 2006*.
- Advertising devices are regulated under Council's Subordinate Local Law No. 1.4 (Installation of Advertising Devices) 2015, and may require Council approval under the Law.

ASSESSMENT MANAGER ADVICE

- **Infrastructure charges**

Infrastructure charges apply to the development in accordance with the Adopted Infrastructure Charges Resolution (No. 2.3) 2016 levied by way of an Infrastructure Charges Notice. The infrastructure charges are contained in the attached Redland City Council Infrastructure Charges Notice.

- **Live connections**

Redland City Council is responsible for all live water and wastewater connections. Contact *must* be made with Council to arrange live works associated with the development.

Further information can be obtained from Council on 07 3829 8999.

- **Coastal processes and sea level rise**

Please be aware that development approvals issued by Redland City Council are based upon current lawful planning provisions which do not necessarily respond immediately to new and developing information on coastal processes and sea level rise. Independent advice about this issue should be sought.

- **Hours of construction**

Please be aware that you are required to comply with the *Environmental Protection Act* in regards to noise standards and hours of construction.

- **Workplace health and safety**

Please be aware that you are required to comply with the *Work Health and Safety Act 2011* in regards to all works associated with this development approval.

- **Services installation**

It is recommended that where the installation of services and infrastructure will impact on the location of existing vegetation identified for retention, an experienced and qualified arborist that is a member of the Australian Arborist Association or equivalent association, be commissioned to provide impact reports and on site supervision for these works.

- **Asbestos management and removal**

Please be aware that where asbestos related materials are to be removed on a development site, appropriate measures must be taken to not cause a public health risk under the *Public Health Act 2005*. A suitably qualified asbestos removalist that holds a current Workplace Health & Safety A or B class asbestos removal licence must be engaged to remove more than 10m² of non-friable asbestos. The removal of friable asbestos must be undertaken by a business that holds a current Class A asbestos removal licence. For further information on asbestos visit the Queensland Government website <https://www.asbestos.qld.gov.au/>. For licensing enquiries please contact Workplace Health

and Safety Queensland on 1300 362 128 or www.worksafe.qld.gov.au/injury-prevention-safety/asbestos

- **Fire ants**

Areas within Redland City have been identified as having an infestation of the Red Imported Fire Ant (RIFA). Biosecurity Queensland should be notified on 13 25 23 of proposed development(s) occurring in the Fire Ant Restricted Area before earthworks commence. It should be noted that works involving movements of soil associated with earthworks may be subject to movement controls and failure to obtain necessary approvals from Biosecurity Queensland is an offence. It is a legal obligation to report any sighting or suspicion of fire ants within 24 hours to Biosecurity Queensland on 13 25 23. The Fire Ant Restricted Area as well as general information can be viewed on the Department of Agriculture and Fisheries (DAF) website www.daf.qld.gov.au/fireants

- **Cultural heritage**

The *Aboriginal Cultural Heritage Act 2003* requires anyone who carries out a land use activity to exercise a duty of care. Further information on cultural heritage duty of care is available on the Department of Aboriginal and Torres Strait Islander Partnerships (DATSIP) website:

<https://www.datsip.qld.gov.au/resources/datsima/people-communities/cultural-heritage/cultural-heritage-duty-care.pdf>

The DATSIP has established a register and database of recorded cultural heritage matters, which is also available on the Department's website:

<https://www.datsip.qld.gov.au/people-communities/aboriginal-torres-strait-islander-cultural-heritage/cultural-heritage-search-request>

Quandamooka Yoolooburrabee Aboriginal Corporation (QYAC) is the registered cultural heritage body in the Redland City local government area. It is recommended you consult with QYAC in relation to aboriginal and cultural heritage matters prior to the commencement of works on site. QYAC can be contacted on 07 3415 2816 or admin@QYAC.net.au

Should any aboriginal, archaeological or historic sites, items or places be identified, located or exposed during construction or operation of the development, the *Aboriginal and Cultural Heritage Act 2003* requires all activities to cease. Please contact DATSIP for further information.

- **Fauna protection**

It is recommended an accurate inspection of all potential wildlife habitats be undertaken prior to removal of any vegetation on site. Wildlife habitat includes trees (canopies and lower trunk) whether living or dead, other living vegetation, piles of discarded vegetation, boulders, disturbed ground surfaces, etc. It is recommended that you seek advice from the Queensland Parks and Wildlife Service if evidence of wildlife is found.

- Environment Protection and Biodiversity Conservation Act**
 Under the Commonwealth Government's *Environment Protection and Biodiversity Conservation Act* (the EPBC Act), a person must not take an action that is likely to have a significant impact on a matter of national environmental significance without Commonwealth approval. Please be aware that the listing of the Koala as **vulnerable** under this Act may affect your proposal. Penalties for taking such an action without approval are significant. If you think your proposal may have a significant impact on a matter of national environmental significance, or if you are unsure, please contact Environment Australia on 1800 803 772. Further information is available from Environment Australia's website at www.ea.gov.au/epbc

Please note that Commonwealth approval under the EPBC Act is independent of, and will not affect, your application to Council.

NOTICE ABOUT DECISION – STATEMENT OF REASONS

Assessment Benchmarks:	<p>The proposed development was assessed against the following assessment benchmarks:</p> <ul style="list-style-type: none"> City Plan version 4: <ul style="list-style-type: none"> Medium density residential zone code Healthy waters code Infrastructure works code Landscape code Transport, servicing, access and parking code Environmental significance overlay code Landslide hazard overlay code State Planning Policy 2017 South East Queensland Regional Plan 2017, Part E <i>Planning Regulation 2017</i>, Schedule 11 Local Government Infrastructure Plan
Matters Prescribed by a Regulation	<p>Council had regard to the following matters in the assessment of the application:</p> <ul style="list-style-type: none"> Existing approvals on adjoining land Common material, including written submissions accepted by the assessment manager.

The key issues identified in the assessment were:

- built form and streetscape;
- communal and private open space;
- ecological impacts;
- traffic impacts;
- pedestrian access;
- vehicle parking;
- stormwater management;

- sewer and water services; and
- waste management.

Issue	Performance assessment
Built form and streetscape	The site is largely screened from view from the street by the existing unformed vegetated Queen Street road reserve. The portion that is visible at the entrance to the development is attractive and will fit into the streetscape. The building incorporates variations in material, textures and colours and is well articulated throughout the development.
Communal and private open space	The development includes extensive areas of communal open space across the site, which is accessible and usable for residents of the facility and their guests. Each unit is provided with sufficient private open space for the needs of the occupants.
Ecological impacts	Ecological values exist within the Queen Street road reserve and are preserved through the design of this development. The site will be connected to reticulated sewerage through the Queen Street road reserve, however this will be achieved through tunnel boring to protect the existing vegetation. Additionally, the vehicle ramp along the Queen Street boundary will be cantilevered so that the root zones of trees along this boundary are protected.
Traffic impacts	Vehicle movements on Queen Street, with this development, will not exceed the design capacity of this road. The intersection of Queen Street and Delancey Street will be required to be upgraded with turn lanes to achieve safety and efficiency for this road corridor.
Pedestrian access	A pedestrian footpath along Queen Street connecting this development through to Delancey Street will be a condition of approval.
Vehicle parking	The development provides sufficient car parks for the expected parking demand of the development. The site also includes mobility scooter parking within the site for residents.
Stormwater management	Stormwater associated with the retirement facility will be discharged via existing drainage pipes through the adjoining development to the east. The development includes a detention tank and filter treatment within the site before discharge. It has been demonstrated that there is sufficient capacity to cater for the development without causing a worsening to downstream properties.
Sewer and water services	The development will connect to all essential urban services and, subject to upgrades required in this

	approval, there is sufficient capacity in these infrastructure networks to accommodate the development.
Waste management	In order to have sufficient and appropriate storage of waste on the site, conditions require that separate food waste container(s) are provided on the site to accommodate waste from the communal kitchen and that green waste is removed by the landscape contractor.

Additional Attachment
Independent Consultant Advice for MCU20/0077

Objective Reference: MCU20/0077

Authorising Officer: TBC

Responsible Officer: TBC

Report Author: Reel Planning – Mica Cook, Senior Planner

Reviewed – Helena Charlton, Principal Planner

Attachments:

A – Proposal Plans

B - Conditions

PURPOSE

This development application is referred to Council for determination.

BACKGROUND

The application seeks approval for a Development Permit for Reconfiguration of a Lot (1 into 2) and Material Change of Use for *Retirement Facility* (199 Dwelling Units) over land at 236-246 Queen Street, Cleveland.

The application is Code assessable and has no requirements for referral to any other relevant entity under the *Planning Regulation 2017*.

The owner of the property is Michelle Maree Webb & Adam Arthur Webb and the applicant is Bristar Group Pty Ltd c/- AJS Surveys Pty Ltd.

The application was properly made on 3 July 2020. On 7 July 2020 Council issued a Confirmation Notice to the applicant notifying them of the assessment manager and confirming the details of the application. On 21 July 2020 Council issued the application with an Information Request advising the applicant that Council provided in principle support for the proposed Retirement facility, however further details were required for Council to undertake a more detailed assessment of the proposal. The primary issues raised with the applicant included:

- Pedestrian connectivity
- Building design and height
- Retaining walls
- Open space
- Carparking
- Landscape design and Ecology
- Engineering – sewer and water.

On 15 October 2020, the applicant provided a response to the information request. Following a review of the response Council issued a further request for information on 9 December 2020 and a response was provided on 25 January 2021.

The decision making period, based on Code assessment timeframes, was the DATE In accordance with the *Planning Act 2016*, formal extensions to the decision making period were

Additional Attachment Independent Consultant Advice for MCU20/0077

made between Council and the Applicant with the final day for the extended decision making period being the 17 March 2021.

The assessment of the application has occurred in line with the assessment framework outlined in the *Planning Act 2016* for Code assessment.

ISSUES

Proposal

The application seeks approval for two aspects of development. Firstly, Reconfiguration of a lot (1 into 2 lots). This is proposed as stage 1 of the project (see **Figure 1**).

Proposed lot 1 will have an area of 3,366m² and is intended to be retained in its current form with the existing dwelling house on the site to be retained. The site plan submitted keeps Lot 1 as a 'balance area for future development' and there is no proposed use included as part of this development application.

Proposed lot 2, will facilitate the development of the proposed Retirement facility and will be comprised of a total area of 9,677m².



Figure 1 – Proposed subdivision plan

The second, stage 2, aspect of the development seeks development approval for a Material Change of Use for a Retirement facility over proposed Lot 2. The facility will include 199 semi-dependant self-contained dwelling units. The facility will house an onsite manager, shared cafeteria, three large communal open space areas, carparking and mobility scooter parking, communal facilities, landscaping and onsite servicing.

Additional Attachment
Independent Consultant Advice for MCU20/0077

The Retirement facility comprises a number of interconnected buildings which contain self-contained units with either private courtyards or balconies. Each building is centred around a communal open space area which provides a particular use area for residents (i.e., garden, exercise and recreation/activities).

The unit composition by number of bedrooms is outlined as follows:

- 197, 1 bed apartments;
- 1, 2 bed apartments; and
- 1, 2 bed managers unit.

The proposal includes resident and visitor carparking across 3 'levels' and mobility scooter parking for residents.

Site and locality

The site is located at 236-246 Queen Street, Cleveland and more formally described as Lot 20 on SP175602 (see **Figure 2**).



Figure 2 – 236-246 Queen Street, Cleveland (Source: Red-E Map)

The site is currently improved with a single detached residential dwelling and associated outbuildings. The lot can be described as being mostly vacant, vegetated with sporadic mature vegetation and has a significant slope from west to east.

The subject site has a total site area of 1.304ha and is regularly shaped with a frontage to Queen Street (a cul-de-sac). The length of the subject land is approximately 161m with a depth of approximately 81m. As evidenced in **Figure 3**, the eastern extent of Queen Street is unconstructed road reserve that is heavily vegetated with predominately native mature

Additional Attachment Independent Consultant Advice for MCU20/0077

vegetation. Queen Street terminates in a cul-de-sac head and is a no through road. We understand there are currently no plans to construct the eastern part of Queen Street and it is not mapped as future trunk road network under the Redlands Priority Infrastructure Plan.

The site is located in an area that exhibits established detached residential dwellings to the south and west of the site, commercial (semi industrial) development adjoining to the north and a retirement village to the east of the site with frontage to Wellington Street.

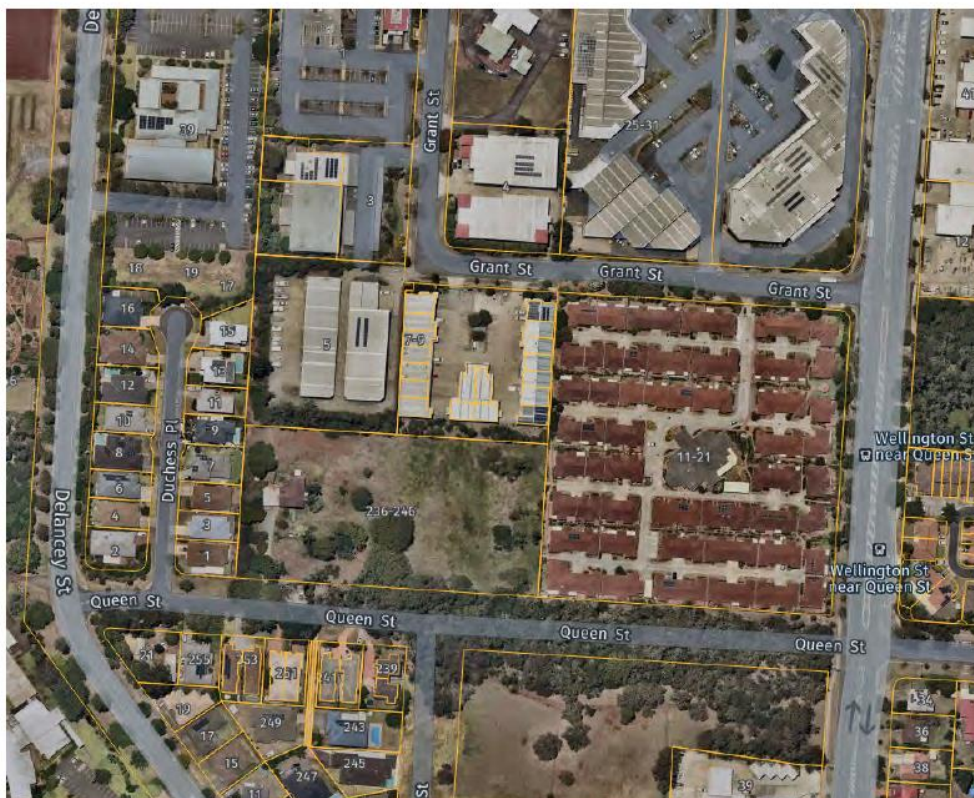


Figure 3 – Aerial of site (Source: Nearmap)

Planning history

There is no relevant planning history over the site.

Assessment framework

The application has been made in accordance with the *Planning Act 2016 (PA)* Development Assessment Rules and is a code assessable application for a Development Permit for Reconfiguration of a lot (1 into 2) and a Development Permit for Material Change of Use for Retirement facility (199 units) under the Redland City Plan.

In accordance with section 45 of the PA:

*(3) A **code assessment** is an assessment that must be carried out only—*

Additional Attachment
Independent Consultant Advice for MCU20/0077

- (a) against the assessment benchmarks in a categorising instrument for the development; and*
 - (b) having regard to any matters prescribed by regulation for this paragraph.*
- (6) Subsections (7) and (8) apply if an assessment manager is, under subsection (3) or (5), assessing a development application against or having regard to—*
 - (a) a statutory instrument; or*
 - (b) another document applied, adopted or incorporated (with or without changes) in a statutory instrument.*
- (7) The assessment manager must assess the development application against or having regard to the statutory instrument, or other document, as in effect when the development application was properly made.*
- (8) However, the assessment manager may give the weight the assessment manager considers is appropriate, in the circumstances, to—*
 - (a) if the statutory instrument or other document is amended or replaced after the development application is properly made but before it is decided by the assessment manager—the amended or replacement instrument or document; or*
 - (b) another statutory instrument—*
 - (i) that comes into effect after the development application is properly made but before it is decided by the assessment manager; and*
 - (ii) that the assessment manager would have been required to assess, or could have assessed, the development application against, or having regard to, if the instrument had been in effect when the application was properly made.*

Section 27 of the *Planning Regulation 2017*, relevantly, identifies that:

- ‘(1) For section 45(3)(b) of the Act, the code assessment must be carried out having regard to—*
 - (a) the matters stated in schedules 9 and 10 for the development; and*
 - (c) if the prescribed assessment manager is a person other than the chief executive or the local government—the planning scheme; and*
 - (d) if the prescribed assessment manager is a person other than the chief executive—*
 - (i) the regional plan for a region, to the extent the regional plan is not identified in the planning scheme as being appropriately integrated in the planning scheme; and*

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- (ii) the State Planning Policy, to the extent the State Planning Policy is not identified in the planning scheme as being appropriately integrated in the planning scheme; and*
 - (iii) for designated premises—the designation for the premises; and*
 - (e) any temporary State planning policy applying to the premises; and*
 - (f) any development approval for, and any lawful use of, the premises or adjacent premises; and*
 - (g) the common material.*
- (2) However—*
- (a) an assessment manager may, in assessing development requiring code assessment, consider a matter mentioned in subsection (1) only to the extent the assessment manager considers the matter is relevant to the development; and*
 - (b) if an assessment manager is required to carry out code assessment against assessment benchmarks in an instrument stated in subsection (1), this section does not require the assessment manager to also have regard to the assessment benchmarks.'*

common material, for a development application, means—

- (a) all the material about the application that the assessment manager receives before the application is decided, including—*
 - (i) any material relating to a proposed development application that is substantially similar to the development application as made; and*
 - (ii) any material attached to, or given with, the development application; and*
 - (iii) any material relating to the application given to the assessment manager after the application is made; and*
 - (iv) any referral agency's response, including any advice or comment given by a referral agency and any response given under section 57 of the Act; and*
 - (v) any properly made submissions about the application, other than a submission that is withdrawn; and*
 - (vi) any other submission about the application that the assessment manager has accepted; and*
 - (vii) any other advice or comment about the application that a person gives to the assessment manager; and*
- (b) if a development approval for the development is in effect—the approval; and*
- (c) an infrastructure agreement applying to the premises.*

Pursuant to section 45(3) of the PA, the application was assessed against the following applicable assessment benchmarks.

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Assessment Benchmarks:	Redland City Plan 2018 (version 4) <ul style="list-style-type: none"> • Medium density residential zone code • Healthy waters code • Infrastructure works code • Landscape code • Transport, servicing, access and parking code • Landslide Overlay code • Environmental significance overlay code
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Pursuant to section 45(3) of the PA, Council had regard to the following matters in its assessment of the application.

Matters prescribed by Regulation	<ul style="list-style-type: none"> • State Planning Policy 2017 • South East Queensland Regional Plan 2017 • <i>Planning Regulation 2017</i>, Schedule 11, Part 6
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Section 60 of the PA states that:

‘(2) To the extent the application involves development that requires code assessment, and subject to section 62, the assessment manager, after carrying out the assessment—

- (a) must decide to approve the application to the extent the development complies with all of the assessment benchmarks for the development; and*
- (b) may decide to approve the application even if the development does not comply with some of the assessment benchmarks; and*

Examples—

- 1 An assessment manager may approve an application for development that does not comply with some of the benchmarks if the decision resolves a conflict between the benchmarks.*
- 2 An assessment manager may approve an application for development that does not comply with some of the benchmarks if the decision resolves a conflict between the benchmarks and a referral agency’s response.*

- (c) may impose development conditions on an approval; and*
- (d) may, to the extent the development does not comply with some or all the assessment benchmarks, decide to refuse the application only if compliance can not be achieved by imposing development conditions.*

Example of a development condition—

A development condition that affects the way the development is carried out, or the management of uses or works that are the natural and ordinary consequence of the

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development, but does not have the effect of changing the type of development applied for.'

- (5) The assessment manager may give a preliminary approval for all or part of the development application, even though the development application sought a development permit.*
- (6) If an assessment manager approves only part of a development application, the rest is taken to be refused.*

Application assessment

The application has been assessed against the relevant assessment benchmarks of the planning scheme as detailed herein.

Zoning

The subject site is located within the Medium density residential zone. The purpose of the zone is to provide for medium density living in areas that are close to public transport or centres and characterised by a mix of dwelling types. A Retirement Facility is subject to Code assessment under the tables of assessment for the Medium Density residential zone, where development does not exceed 13m above ground level as defined by the Redland City Plan.

The purpose of the Medium density residential zone code will be achieved through the following overall outcomes¹:

- *(2)(a) the medium density residential zone consists predominantly of townhouses and apartments. Short term accommodation, retirement and residential care facilities may also be established;*
...
- *(2)(c) non-residential uses which provide a community service function or a local service such as a café, may be established where they are small scale, primarily serve the needs of the immediate locality, do not significantly detract from residential amenity, do not compromise the role of any centre and are provided as part of a mixed use development with residential, retirement or tourist accommodation;*
...
- *(2)(f) development is generally two to three storeys in height, unless otherwise intended in a particular precinct;*
- *(2)(g) buildings are set back from property boundaries to maintain a consistent streetscape character, and protect the privacy and amenity of adjoining residences;*
- *(2)(h) development incorporates architectural styles and elements that reduce the visual impact of the built form;*
...

¹ 6.2.3.2

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The application has been assessed against the requirements of the zone code and with changes made in response to Councils information request and further issues notices under the DA Rules, the final design is assessed to comply with the key design criteria as summarised in the table below:

Table 1 – Key Design Criteria

Aspect of Development	Redland City Plan 2018 Requirement	Proposed Development
Height	13m	13m
Communal Open Space	5% of the site area of a minimum area of 50m ²	34.3% (3,327m ²)
Private Open Space	<u>Ground Floor –</u> 16m ² <u>Above Ground –</u> 10m ²	<u>Ground Floor –</u> 15.2m ² <u>Above Ground –</u> 5m ² for a single and 10m ² for a double
Site Cover	60%	42.4% (4,183m ²)
Setbacks	<u>Front –</u> 3m <u>Rear –</u> 4m for a wall up to 13m <u>Side –</u> 1.5m up to 4.5m; 2m for a wall up to 7.5m; and 2.5m plus 0.5m for every 3m or part thereof by which the building exceeds 7.5m	<u>Front –</u> 3m to units. 2m to carparks at Queen St frontage and carparking access ramp. <u>Rear –</u> 4m to balconies. <u>Side –</u> 5.9m to level 1 5.02 to level 2 5.08 to level 3
Landscaping	Minimum 15% of the site is planted or grassed landscaping	18% (1,826m ²). 36% (3,558m ²) when including landscaped courtyards and private and areas of private open space.
Carparking	<u>Semi-dependent</u> 1 space per 3 residents; plus 1 space per 2 employees (on duty); plus 1 visitor space per 10 units; plus 1 space where a bus or ambulance can stand	99 spaces total, including 20 visitor spaces, 1 mini bus space, 2 PWD spaces and 3 small car spaces.
	without impeding other vehicle movements	

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Following an initial assessment of the application against the applicable assessment benchmarks, Council issued an Information Request on 21 July 2020.

The following key issues were identified during the assessment of the application.

Pedestrian Connectivity

On lodgement, the applicant proposed to construct a pedestrian pathway along the eastern extent of the Queen Street road reserve, external to the subject site, on road reserve land, connecting the subject site with Wellington Street. On review of the proposal and taking into consideration Council's standards for infrastructure and functionality, Council had significant concerns with the pedestrian pathway for the following reasons:

- The pathway had been designed and located so as to only serve the development and not the wider community;
- The topography makes the accessibility of a constructed pathway unable to be constructed to current standards for public use;
- There is a conflict between the ecological values of the road serve (currently heavily vegetated) and the location of the footpath which would require clearing of native vegetation and which is not supported; and
- The location of the pathway would give rise to potential for public safety issues and would be difficult to comply with Crime Prevention through Environmental Design principles in the scheme.

In response to Council's information request, the applicant has provided a pedestrian connection from the site to Delancey Street, in the west. This will allow residents to access the footpath in Delancey Street from the site and will provide a greater benefit to the wider community by upgrading the existing footpath network along the northern side of Queen Street from Delancey Street to the subject site. The footpath upgrade is non-trunk infrastructure and deemed necessary to service the subject Retirement Facility use. It would not otherwise be necessary to upgrade this pathway.

Conditions are imposed on the material change of use development package to ensure that the retirement facility use is developed with the required upgrades to the public pathway network described above.

Design Statement and Plans

The information contained in the applicant's development application included detailed information regarding the landscape design of the site and how the proposal will encourage the use of communal open spaces, however, it provided little information regarding the building treatments and design features. The applicant was asked to provide a materials and

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features pallet to demonstrate compliance with the Medium density residential zone code and demonstrate how the proposal will fit within the existing suburban setting.

The applicant was asked to provide further detailed plans illustrating the height and design of the proposal including short and long sections through each benched level of the site, additional elevations and streetscape entryway design that illustrates how the proposal interacts with the Queens Street frontage.

Following a meeting with the applicant and in response to Council's Information Request, the applicant provided a detailed set of proposal plans which included details of material and finishes and appropriate updates to the overall design and layout of the proposal.

Placemaking – Courtyard

The three courtyards that the living units each orientate too, provide their own sense of place by the function of the courtyard and also by the material accents and colours for the courtyard (see **Figures 4 and 5**). The green courtyard provides visual and direct access to garden spaces for residents to enjoy. Balconies facing into the courtyard use darker brown timber colours to identify this location in addition to the landscaping. The red courtyard is the activity & recreation courtyard with the landscape predominantly devoted to games and social sports. Balconies in this space use medium red/ brown timber colours tones to identify this space. The orange courtyard is devoted to exercise and wellness with outdoor gym equipment that is purpose selected for seniors in mind. the balconies to this space use blond timber tones to help reinforce the understanding of this location.

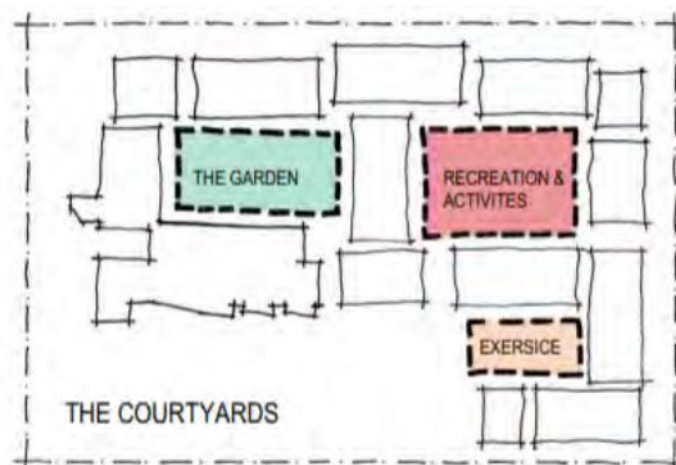


Figure 4 - Internal use courtyards

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Figure 5 – View into Garden courtyard

Wayfinding – From Entry to Courtyard

The proposal has been designed to allow residents and visitors to easily locate themselves throughout the development. The function, landscaping and colour of the courtyards allows the pedestrian to orientate themselves to the building by identifying if they are in the right courtyard that their unit or destination is located. The pedestrian can either choose to move along the grid of walkways around the perimeter of the courtyard or move along to the next courtyard location. The walkways are kept predominantly open around the vertical circulation and along the major walkways as to allow for wide vistas to occur reinforcing the location that the pedestrian is in relative to the courtyards (see Figure 6).



Figure 6 – Key entry points and vistas

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Wayfinding – Visual Cues

Once a person has arrived at the desired courtyard, visual cues are used at the individual units to allow the pedestrian to identify their unit they intend to visit. They can then navigate via the lift or across the internal circulation to their intended unit. Visual cues include (see **Figure 7**):

- units on ground level have planter boxes placed outside of the units door are tended by the units owner to personalise their front entry.
- Planter boxes associated with the shared balcony locations along the perimeter walkways can be owned by the adjacent units to provide a cue to their front door location.
- Windowsills along the units window into the corridor have a depth internally to allow unit owners to place objects.



Figure 7 – Examples of visual cues throughout development

Mobility Aids and Scooter Connections

Figure 8 below illustrates the main corridor route along Level 2 of the building which connects each of the lift cores through a widened path of travel to allow scooters to navigate the building and out onto the new outdoor path connection on Queen Street. Each level has a similar corridor route that connects the lift cores. Along this route scooter parking locations have been distributed to each level with the exception of Level 3. Pedestrian routes through the rest of the building have a reduced corridor width compared to this route as it is not intended to allow scooters past the main throughfare.

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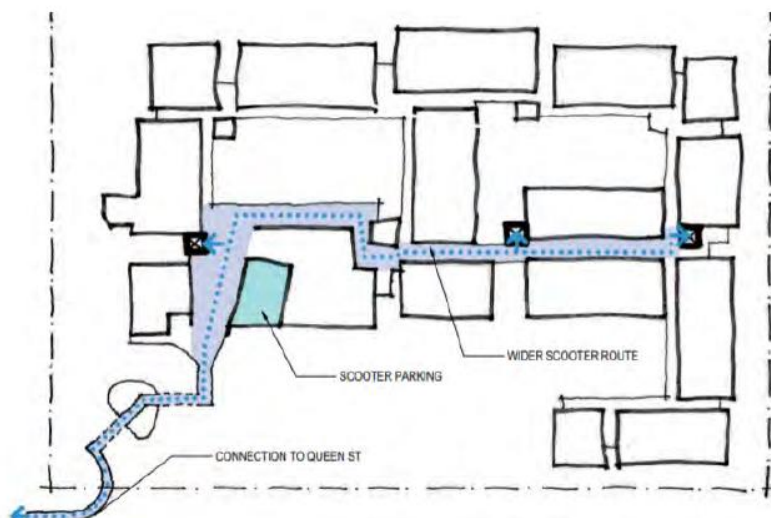


Figure 8- Mobility scooter connections (Level 2)

Building Design

The initial design of the proposal included a large expanse of building which had a relatively flat roof form with little variation. The applicant was asked to amend the proposal plans to demonstrate compliance with PO14 & PO15 of the Medium density residential zone code which requires subtropical design. This included detail of eave locations and widths and doorway and window treatments.

In response to Council's information request, the applicant amended to plans to include roof pitches which are varied between 3 to 7 degrees. The roof form, and material composition of the masses are divided through the length of the consecutive units (see **Figures 9 and 10**). Roof pitches are broken every 2 to 3 units along a facades unless they are to a communal space where the building reflects larger gathering locations. Each courtyard's perimeter buildings takes on a colour pallet associated with that courtyard the pallet utilises a mix of 3 colours between a light scheme and a dark scheme.

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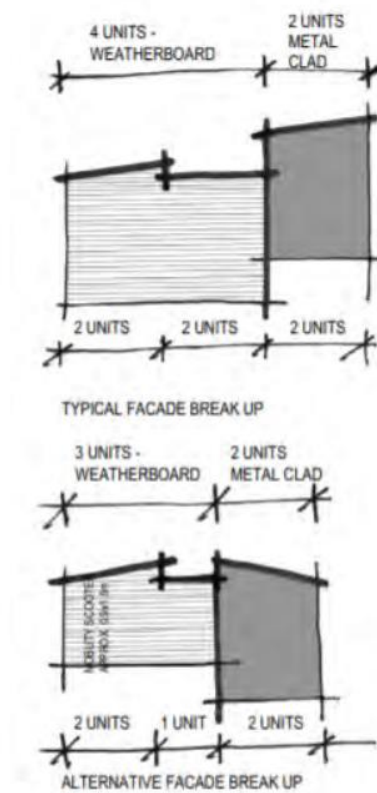


Figure 9 – Example of breaks in roof form

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Figure 10 – Example of colour pallet and materials

As many positive aspects of the architectural and landscape design outcomes rely on the detail of the material and planning palettes submitted, conditions are imposed to ensure strict compliance with the level of detail described by the applicant for the development.

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Height

The Medium density residential zone code refers to maximum overall building height in metres, being 13m as being suitable scaled development within the zone. The application material first submitted did not clearly illustrate the overall building height across the site (through various long and short sections) or clearly identify the number of storeys, given the slope of the land and earthworks proposed to facilitate the development. The applicant provided amended plans (which included changes to the roof pitches across the site) clearly illustrating the proposal does not exceed 13m at any point across the site (see **Figure 11**).



Figure 11 -Extract of Southern Elevation

A condition has been imposed requiring the applicant to submit survey certification that the proposed building height is as per the proposal plans and under 13m.

Entryway / Entrance

Following an initial review of the application, the assessment concluded that there was an inadequate entrance to the development that would provide a clear and identifiable entryway for pedestrians and vehicles from the Queen Street cul-de-sac (see **Figure 12**). The applicant was asked to provide amended plans that included details of the entryway design for pedestrians and vehicles that was safe, accessible, and convenient in accordance with the overall outcome (2)(k) of the Medium density zone code. The applicant was requested to provide a clear pedestrian entry point to the site and reception area and a covered porte cochere to allow access to vehicles in all weather. In response to the Information Request, the applicant provided a more clearly defined entryway, including a covered porte cochere that extends out over the main entryway to allow access to vehicles (including) mini buses in all weather and also provides a more identifiable and distinguishable pedestrian entryway into the main reception area.

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Figure 12 – Queen Street entryway (as lodged).



Figure 13 – Updated Queen Street entry

Carparking

On lodgement, the applicant sought to justify a shortfall of onsite parking spaces through the provision of a pedestrian pathway through the Queen Street road reserve to Wellington Street. As the pedestrian pathway was not supported the applicant was asked to submit a traffic impact statement from a suitably qualified RPEQ engineer, justifying the proposed shortfall with reference to PO8 of the Transport, servicing, access and parking code. The traffic report was requested to detail how the proposed occupancy rate has been calculated and utilise a methodology for parking rates which reviews similar scale uses in Redlands' Council area, to justify the shortfall.

Following a response to Council's Information Request, the Council sought further information on the operation of the proposed development in order to better understand the car parking demand generated, as stated by the traffic consultant. It is noted that the proposal is not a traditional model of independent (retirement) living, nor does the facility proposed cater for aged care, as defined. The use will provide, in essence, a retirement living environment without care facilities or health services provided by an on-site operator. It is our understanding that residents will be living independently with meals made and provided in house. Any individual care needs will be met by independent 'in home care packages' arranged individually and provided by offsite service providers. As such, any number of

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residents may have a home care package with a wide variety of services coming to individuals residing within this managed premises. The proposal has not adequately addressed the above arrangements and the traffic generation that could occur with the number of residents on site. To this end, and to learn further about traffic generation within these new models of retirement facilities, a condition is imposed for during the operational phase of the use, a further study be undertaken on the expected visitor parking demand, considering the care arrangements of occupants.

The applicant has not submitted quantifiable information to justify the residential parking rates currently presented or the use of carpool and mobility scooter spaces to offset a reduced rate of vehicle spaces. Further, it is noted that the facility operator will likely provide third party organised transport via mini buses and a car pool arrangement. No information was submitted in the traffic reporting to demonstrate these alternative arrangements in lieu of resident spaces.

In response to the further issues letter, the application provided the follow:

- The provision of four (4) car parking spaces for staff meets the planning requirement for up to eight (8) staff on the site at any one time. A condition has been included in the approval package limiting the number of onsite staff at any one time to 8. The managers unit has also been included in the staff calculation.
- There are 20 car parking spaces provided for visitors. The nature of visitors is that these tend to peak on weekends and, to a lesser extent, in the evening. Persons providing care under an In-Home Care Package are primarily expected to attend the site on weekdays, during business hours. On this basis, it would be possible to share the visitor car parking between genuine visitors and staff providing an in-home care package.

The application was amended to provide 99 parking spaces (including 1 mini bus car park, 2 disabled parks and 3 small car bays) in accordance with the planning scheme. Therefore, the proposal, as amended, complies with the scheme requirements in terms of the number of visitor and resident carparking spaces for a Retirement Facility that includes semi-dependent occupants. The development would not however comply if the use of the facility were to be for entirely non-dependent retirement living.

Given the applicants information on the operational nature of the proposed development , there were not considered to be sufficient reasons to refuse the development on the basis of parking alone. However, it is noted that this type of living is not explicitly catered for by the policy provisions within the scheme.

have included a condition which requires the developer to undertake a traffic assessment detailing carpark usage and provide this information to Council 6 months after commencement. The purpose of this condition is to allow Council to review and monitor the proposal and ensure it is adequate for the nature of the proposal and inform any future policy changes.

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Private Open Space

Despite the applicant providing ample communal open space (34% compared to the minimum 5% required by the Redland City Plan) through the development, the proposal incorporated limited areas for private open space. In response to Council's Information Request seeking an increase to the areas of private open space, the applicant increased each of the individual balconies from 3.5m² for a one bedroom unit and 7m² for a two bedroom unit to 5m² and 10m² respectively. In accommodating this increase, the applicant has confirmed that the balconies will not contain individual air conditioners or clothes drying facilities, allowing the whole of the area to be used for private open space. In accordance with PO5 of the Medium density residential zone code, the applicant has adequately demonstrated that each balcony can accommodate a small table and two small chairs. Given the design philosophy of the proposal, and the expansive communal open space areas the shortfall in private open space areas is considered sufficient in this instance.

Lawful Point of Discharge

Council's engineer to provide comments regarding the engineering issues and how these have been resolved.

Infrastructure charges

An Infrastructure Charge Notice has been issued in accordance with the Local Government Infrastructure Plan to 2027.

State referrals

The proposal does not require referral to any concurrence agencies pursuant to Schedule 10 of the *Planning Regulation 2017*.

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CONCLUSION

The proposed development is supported by the relevant provisions of the Medium density residential zone code. The proposal also appropriately responds to the relevant overlays. The proposal is supported on the following grounds:

- (i) The development can be adequately serviced by existing infrastructure connected to the site.
- (ii) The proposed land use, being a Retirement facility, is deemed suitable within a residential zone.
- (iii) The proposal provides adequate private open space for each unit and significant communal open space.
- (iv) The proposal provides adequate resident and visitor parking.
- (v) The proposal provides a built form this is in keeping with the locality and intent for the site as per the planning scheme requirements.

STRATEGIC IMPLICATIONS**Legislative Requirements**

The development application has been assessed in accordance with the *Planning Act 2016*.

Risk Management

Standard development applications risks apply. In accordance with the *Planning Act 2016* the applicant may appeal a condition of approval or a decision to refuse the application.

Financial

Should an appeal be filed against the decision of Council, subsequent legal costs will apply.

People

There are no implications for staff associated with this report.

Environmental

Environmental impacts are discussed in the 'issues' section of this report where relevant.

Social

Social impacts are discussed in the 'issues' section of this report where relevant.

Human Rights

There are no known human rights implications associated with this report.

Alignment with Council's Policy and Plans

The assessment and officer's recommendation align with Council's policies and plans as described within the 'issues' section of this report.

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CONSULTATION

In accordance with the requirements of the Planning Act 2016, the application was not required to be publicly notified.

Consulted	Consultation Date	Comments/Actions

OPTIONS**Option One**

That Council resolves to issue a development permit for Stage 1 - Reconfiguration of a Lot (1 into 2) and Stage 2 - Material Change of Use for Retirement Facility (199 Dwelling Units), on land described as Lot 20 on SP175602 and situated at 236-246 Queen Street, Cleveland, subject to the conditions in **Attachment 1**.

Option Two

That Council resolves to approve the application subject to amended conditions.

Option Three

That Council resolves to refuse the application (grounds of refusal will need to be identified).

OFFICER'S RECOMMENDATION

That Council resolves to

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Attachment 2 – Recommended conditions of approval

PART A – Reconfiguring a lot conditions

<u>ASSESSMENT MANAGER CONDITIONS</u>		<u>TIMING</u>	
Comply with all conditions of this approval, at no cost to Council, at the timing periods specified in the right-hand column. Where the column indicates that the condition is an ongoing condition, that condition must be complied with for the life of the development.			
<u>Approved plans and documents</u>			
Undertake the development in accordance with the approved plans and documents referred to in Table 1, subject to the conditions of this approval and any notations by Council on the plans.		Prior to Council approval of the survey plan.	
Plan/document title	Reference number	Prepared by	Plan/doc. date
Subdivision proposal plan	S0082-P3	AJS Surveys	14/10/2020
Concept roadworks and drainage plan (ROL)	SK102 Issue B	CMT Engineers	27/10/2020
Concept stormwater drainage details	SK104 Issue B	CMT Engineers	27/10/2020
Concept services plan – sheet 1	SK105 Issue B	CMT Engineers	27/10/2020
Concept services plan – sheet 2	SK106 Issue B	CMT Engineers	27/10/2020
Table 1: Approved plans and documents			
Submit to Council a survey plan for approval, in accordance with the approved plans, following compliance with all relevant conditions and requirements of this approval.		Prior to expiry of the currency period for the development.	
<u>Existing structures</u>			
Remove any existing fences and/or incidental works that straddle the new boundaries, or alter to realign with the new property boundaries or to be wholly contained within one of the new properties.		Prior to Council approval of the survey plan.	
<u>Utility services</u>			
Relocate any services (for example water, sewer, electricity, telecommunications and roofwater) that are not wholly located within the lots that are being serviced.		Prior to Council approval of the survey plan.	

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Pay the cost of any alterations to existing public utility mains, services or installations due to building and works in relation to the proposed development, or any works required by conditions of this approval. Any cost incurred by Council must be paid in accordance with the terms of any cost estimate provided to perform the works.	At the time the works occur, or prior to Council approval of the survey plan, whichever is the sooner.
<p>Design and install electricity and telecommunication conduits to service both lots in accordance with the requirements of the relevant service providers and the City Plan Infrastructure Works Code and Infrastructure Works Policy. Provide Council with written confirmation from the service provider for the supply of electricity and telecommunication services.</p> <p><i>Note: you need to engage the services of a telecommunications carrier to install and operate a telecommunications network. It is recommended you do this immediately after receiving this development approval to ensure a connection will be available to future residents. To find out if NBN is currently available for this development, visit the NBN website:</i></p> <p>https://www2.nbnco.com.au/develop-or-plan-with-the-nbn/new-developments.html</p>	Prior to Council approval of the survey plan.
<u>Land dedication and design</u>	
<p>Grant easements for the following and submit the relevant easement documentation to Council for approval. Once approved by Council, register the easements on the property title.</p> <p>a) Stormwater drainage purposes along the entire eastern boundary (covering the width of the proposed stormwater design) of proposed Lot 1 in favour of the upstream property (Lot 1 on SP185274).</p>	As part of the request for assessment of the survey plan.
<u>Access and roadworks</u>	
Remove all redundant vehicle crossovers and reinstate kerb and channel, road pavement, service and footpaths.	Prior to Council approval of the survey plan.
<u>Stormwater management</u>	
Convey roof water and surface water to a lawful point of discharge, being the existing stormwater network within Queen Street for proposed lot 1 and the existing private roofwater network within Lot 22 on RP869108 (known as 11-21 Grant Street) for proposed lot 2.	Prior to on maintenance, compliance inspection or Council approval of the survey plan,

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	<p>whichever is the sooner.</p> <p>Ongoing condition.</p>
Manage stormwater discharge from the site as to not cause an actionable nuisance to adjoining properties.	Ongoing condition.
<u>Water and wastewater</u>	
<p>Connect all lots to the existing reticulated sewerage and reticulated water systems.</p> <p>Note: All live connections must be undertaken by Redland City Council.</p>	Prior to Council approval of the survey plan.
Remove any redundant sewerage connections within the site or servicing the development and provide documentary evidence to Council or its delegate that this has occurred.	Prior to Council approval of the survey plan.
Reconnect the existing dwelling to new sewerage and/or water connections and services and locate all private plumbing and drainage associated with the dwelling wholly within the lot.	Prior to Council approval of the survey plan.
<u>Excavation and fill</u>	
Construct all retaining structures in accordance with the Australian Standard for Earth-retaining structures (AS4678-2002), in particular the minimum 60 year design life requirements.	Prior to Council approval of the survey plan.
<u>Sediment and erosion control</u>	
Design, implement and maintain measures and practices in accordance with Best Practice Erosion and Sediment Control published by the International Erosion Control Association Australasian Chapter 2008 (IECA).	During construction phase.
<u>Dust control</u>	
Implement dust control measures at each phase of site development and operation in accordance with IECA Best Practice Erosion and Sediment Control.	During site works and construction phase.
<u>Split valuation</u>	

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Pay a contribution to Council for the purposes of paying the State Government Split Valuation Fees. The current value of the contribution is \$39.35 (excluding GST) per allotment (2020/2021 Financial Year). The amount of contribution must be paid at the rate applicable at the time of payment. A Split Valuation Fee is required for each allotment contained on the Plan(s) of Survey, including balance lots.	Prior to Council approval of the survey plan.
<u>Landscaping works</u>	
Remove all weed species, as identified in the Redlands Coast Biosecurity Plan 2018-2023.	Prior to Council approval of the survey plan.
Turf all areas of disturbance within the road verge with turf cut from a weed free source containing no viable weed seed.	Prior to Council approval of the survey plan.

ADDITIONAL APPROVALS

The following further **development permits** are necessary to allow the development to be carried out.

- Operational works is required for the following works:
 - Earthworks
 - Water reticulation
 - Sewerage reticulation
 - Excavation and fill
 - Verge works

Further approvals, other than a development permit, are also required for your development. This includes, but is not limited to, the following:

- Road opening permit – for any works proposed within an existing road reserve.

Additional Attachment
Independent Consultant Advice for MCU20/0077

PART B – Material change of use conditions

<u>ASSESSMENT MANAGER CONDITIONS</u>	<u>TIMING</u>
Comply with all conditions of this approval, at no cost to Council, at the timing periods specified in the right-hand column. Where the column indicates that the condition is an ongoing condition, that condition must be complied with for the life of the development.	
<u>Approved plans and documents</u>	
Undertake the development in accordance with the approved plans and documents referred to in Table 1, subject to the conditions of this approval and any notations by Council on the plans.	Prior to the use commencing and ongoing.

Plan/document title	Reference number	Prepared by	Plan/doc. date
Vipac Engineers & Scientists- Lifestyle Village Cleveland- Acoustic Report	70B-20-0109-TRP- 67746443-3	Patrick Drake	19/06/2020

Additional Attachment
Independent Consultant Advice for MCU20/0077

Table 1: Approved plans and documents			
<u>Commencement of works</u>			
Do not commence building works associated with this Development Permit, until the Survey Plan for the proposed lot has been endorsed by Council and issued with a dealing number by the Department of Natural Resources, Mines and Energy.		Prior to building works commencing.	
<u>Use Limitation</u>			
A. The use of the approved Retirement Facility (semi-independent) shall not be for aged care or any care facility use as defined by the Redlands Planning Scheme. The use is limited to the approved Retirement Facility.		<u>At all times</u>	
b. Submit to Council's delegate, within 3 months of the use commencing, details of the site operator and number of staff employed by the residential facility that work <u>on site</u> . The total number of staff at the premises shall not exceed eight (8) at any time. <i>NOTE: Should there be a requirement to increase this staff allocation, a change to the application will be necessary, and car parking requirements demonstrated.</i>		<u>To be maintained at all times</u>	
<u>Parking survey</u>			
To demonstrate the parking for residents is adequate in accordance with the planning scheme rates applied and approved, and the inclusion of mobility scooter bays, submit to Council's delegate within 6 months of the use commencing, a parking study demonstrating the uptake of resident car spaces and mobility scooter spaces. The study is to the RPEQ certified and is for Council's information purposes. <i>NOTE: The parking study is to support the merits argued by the applicant that the Council's parking rates for multiple dwelling use are suitable for the use of the site for retirement living without aged care or care facility aspects. The study is required because of the unique nature of the use.</i>		<u>Within 6/12 months of the use commencing</u>	
<u>Architectural Details – Submit for Approval</u>			
Construct the development in accordance with the approved plans. Submit to Council, and receive approval for, architectural dwellings prepared and certified by a Registered Architect or Queensland Building Construction Commission Open Licence Class Building Designer showing the final developed details of all façade treatments, the ground interface and the roof top/building capping elements which depict a higher level of documentation detail than that shown on the approved plans, including: <ul style="list-style-type: none"> - Elevation and façade treatment drawings that demonstrate the final design outcome for all elevations of the build for including: <ul style="list-style-type: none"> o Detailed plans, sections and elevations for elements at the façade including structural elements and fixed and 		<u>8 weeks prior to building works above ground level commencing</u>	

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<p>operable elements such as balustrades, screens, doors, windows, projecting fins and planter beds/trellises.</p> <ul style="list-style-type: none"> ○ All servicing and infrastructure, including but not limited to pad mount transformers, pump rooms, fire hydrant boosters etc. ○ Roof top or building capping elements, awnings and soffits ○ One rendered perspective showing the intended finishes built form. <p>The architectural drawings must:</p> <ul style="list-style-type: none"> - Include dimensions for the extent of projecting elements, balustrade height and door and window/glazing configurations - Nominate materials, colours and finishes - Have title blocks and be cross references to later scaled drawings. 	
Complaints register	
<p>The onsite manager is to maintain a complaints register onsite. The register is to include the following information:</p> <ul style="list-style-type: none"> - Name and address of complainant - Nature of complaint, including time and date - Actions taken to resolve complaint/ensure issue does not continue. 	<u>At all times and to be maintained</u>
<p>Locate, design and install outdoor lighting, where required, to minimise the potential for light spillage to cause nuisance to neighbours.</p>	Prior to the use commencing and ongoing.
<p>Submit certification to Council from a licensed surveyor confirming that floor levels and maximum overall height of the building are in accordance with the development approval. All levels must be provided to Australian Height Datum (AHD).</p>	After completion of the building construction but prior to the issue of Certificate of Classification or Final Building Approval.
Parking	
<p>Provide ninety-eight (98) car parks on site in accordance with the approved site plan. The total number of car parks must include a:</p> <ul style="list-style-type: none"> • minimum of two (2) disability parking spaces; • minimum of twenty (20) visitor parking spaces; • maximum of three (3) small car parking spaces; and • maximum of two (2) car parking spaces provided in tandem, and these must be marked for staff parking only. <p>Access to car parking spaces, bin bays and driveways must remain unobstructed and available for their intended purpose.</p>	Prior to the use commencing and ongoing.
Conditioned works assessment	
<p>Submit to Council, and receive approval for, Conditioned Works Assessment for the documents and works referred to in Table 2:</p>	

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		Prior to the use commencing and ongoing.
Document or works	Assessment criteria	
Landscape plans	<ul style="list-style-type: none"> City Plan medium density residential zone code City Plan landscape code City Plan planning scheme policy 2 – infrastructure works 	
Arborist report	<ul style="list-style-type: none"> City Plan planning scheme policy 2 – infrastructure works 	
Stormwater management plans	<ul style="list-style-type: none"> City Plan healthy waters code City Plan infrastructure works code City Plan planning scheme policy 2 – infrastructure works Water Sensitive Urban Design Technical Guidelines for South East Queensland State Planning Policy July 2017 Queensland Urban Drainage Manual 	
Water supply and sewerage	<ul style="list-style-type: none"> South East Queensland (SEQ) Water Supply and Sewerage Design and Construction code City Plan infrastructure works code City Plan planning scheme policy 2 – infrastructure works 	
Acoustic certification	<ul style="list-style-type: none"> City Plan planning scheme policy 6 – environmental emissions City Plan medium density residential zone code 	
Access and parking	<ul style="list-style-type: none"> City Plan infrastructure works code City Plan transport, servicing, access and parking code City Plan planning scheme policy 2 – infrastructure works Australian Standard for parking facilities set (2890:2009) 	
Footpath and verge works	<ul style="list-style-type: none"> City Plan infrastructure works code City Plan planning scheme policy 2 – infrastructure works 	
Sediment and erosion control plan/program	<ul style="list-style-type: none"> City Plan healthy waters code City Plan infrastructure works code City Plan planning scheme policy 2 – infrastructure works International Erosion Control Association Best Practice Erosion and Sediment Control document 	
Earthworks plans	<ul style="list-style-type: none"> City Plan healthy waters code City Plan infrastructure works code City Plan planning scheme policy 2 – infrastructure works Australian Standard for earth retaining structures (AS4678-2002) Australian Standard for guidelines on earthworks for commercial and residential development (AS3798-2007) 	

Additional Attachment
Independent Consultant Advice for MCU20/0077

Construction management plan	<ul style="list-style-type: none"> City Plan healthy waters code City Plan infrastructure works code City Plan planning scheme policy 2 – infrastructure works
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Table 2: Conditioned works assessment

Comply with all conditions and approved plans in the Conditioned Works Approval(s).	Prior to the use commencing and ongoing.
Bonds	
Lodge with Council the bonds listed in Table 3:	Prior to requesting a pre-start meeting or works commencing, whichever is the sooner.

Bond item	Amount	Returned
Road cleaning bond	\$2,000	When works accepted on maintenance by Council.
Road opening approval bond	\$2,500	When works accepted on maintenance by Council.
TOTAL	\$4,500	

Table 3: Bonds

<p>Lodge a defects liability bond to the greater value of either:</p> <p>a) 10% of the contributed asset(s); or</p> <p>b) \$2,500.</p> <p>This bond will be returned after formal acceptance by Council of the contributed asset(s) off maintenance and the transfer of the applicable works to Council.</p>	Prior to contributed asset being accepted on maintenance by Council.
Inspections	
Arrange with Council for the following inspections to be carried out at the relevant time in accordance with Table 4: Inspections below.	At timing indicated in table 4.

Inspection	Timing
Pre-start	Prior to any works commencing.
Erosion and sediment control	Immediately after installation of erosion and sediment control measures.

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Tree protection	At any time when a variation is proposed to the tree protection measures or damage occurs to existing protected vegetation as a result of site works.
Driveway crossover	Box inspection to be undertaken with reinforcing mesh in place and supported on bar chairs prior to the concrete being poured.
Footpath	Box inspection to be undertaken prior to the fibre reinforced concrete being poured.
Stormwater bedding	After the stormwater pipelines are bedded and prior to backfilling.
On maintenance	On completion of all civil and landscaping works to be transferred into public ownership as required by this approval and its conditions and prior to the commencement of the 12 months maintenance period.
Compliance inspection	On completion of the development in accordance with the approval and its conditions.
Off maintenance	At the end of the minimum 12 months maintenance period.

Table 4: Inspections

For the pre-start, on maintenance/compliance and off maintenance inspections, at least **five (5) business days** notice must be given to Council. For all other inspections, a minimum of **24 hours** notice must be given to Council.

The contributed assets must be accepted on maintenance and the development must pass a Compliance Inspection before the issue of a Certificate of Classification.

Note: The Civil Consulting Engineer should inspect the works and satisfy themselves that the works are satisfactory prior to booking the respective inspections. In instances where Council's representative(s) fails an inspection, Council will charge a re-inspection fee prior to re-visiting the site. The cost of this re-inspection is identified in Council's Register of Fees and is reviewed each financial year.

General	
Provide details to Council of the nominated Principal Contractor, including copies of the Principal Contractor's workcover and public liability currency certificates. The public liability insurance policy must be a minimum of ten million dollars and must indemnify Redland City Council.	Prior to requesting a pre-start meeting or works commencing, whichever is the sooner.
Submit to Council a copy of the proposed Program of Civil Works.	Prior to requesting a pre-start meeting or works commencing, whichever is the sooner.
Submit to Council a copy of the certificate of title prior to the commencement of any operational works on the site. The survey plan(s) associated with the reconfiguration approval must be	Prior to requesting a pre-start meeting or works commencing,

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registered with the Titles Office prior to the Material Change of Use commencing.	whichever is the sooner.
Provide temporary drainage during the building construction phase such that discharge from all constructed roofs and paved areas is disposed of to a lawful point of discharge in accordance with the Queensland Urban Drainage Manual (QUDM). Maintain the temporary system for the duration of the building works.	During construction.
Notify Council and rectify, in consultation with Council, any damage to Council infrastructure as a result of construction activities, at no cost to Council.	As soon as practical following identification of the damage.
Provide written certification from a Registered Professional Engineer Queensland (RPEQ) certifying that all civil works have been completed in accordance with the approved drawings and specifications and to the applicable Australian Standards.	Prior to on maintenance or the use commencing, whichever is the sooner.
Undertake the development works so that there is no risk to public safety at any time on the site, adjacent public land, road reserve or private property. Should the site be unattended or abandoned, public safety must still be maintained.	During construction phase.
Rectify any damage done to the road verge during construction, including topsoiling and re-turfing.	Prior to the use commencing.
Maintain all contributed assets for a minimum period of 12 months from the date the works are accepted on maintenance by Council. The works will be accepted off maintenance only where the works have been suitably maintained to any manufacturer's specifications and Council standards and are fit for purpose.	During the on maintenance period.
Roadworks	
<p>Submit and have approved by Council a Road Opening Approval for any works being undertaken within the road reserve. Provide the following to Council as part of the application:</p> <p>a) A completed application form and associated fee, at the rate applicable at the time of payment.</p> <p>b) A copy of the contractor's Workcover insurance currency certificate.</p>	Prior to requesting a pre-start meeting or works commencing, whichever is the sooner.

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<p>c) A copy of the contractor's Public Liability insurance currency certificate. The public liability insurance policy must be a minimum of ten million dollars and must indemnify Redland City Council.</p> <p>d) Submission of a Traffic Management Plan (TMP) and/or a Traffic Guidance Scheme (TGS) that is prepared and authorised by a person who holds a current DTMR 'Open Level' Traffic Management Design Certification and should include proposed haul routes for construction vehicles associated with the works, as applicable.</p>	
Construct a 2.0m wide footpath along Queen Street linking into the existing footpath in Delancey Street. Details of the works must be provided as part of the conditioned works assessment.	Prior to the use commencing.
<u>Stormwater management</u>	
<u>Utilities and services</u>	
Pay the cost of any alterations to existing public utility mains, services or installations due to building and works in relation to the proposed development, or any works required by conditions of this approval. Any cost incurred by Council must be paid at the time the works occur in accordance with the terms of any cost estimate provided to perform the works, or prior to plumbing final or the use commencing, whichever is the sooner.	At the time of works occurring.
Connect the development to external reticulated sewer, external reticulated water and underground electricity supply.	Prior to the use commencing.

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Remove any redundant sewerage connections within the site or servicing the development and provide documentary evidence to Council or its delegate that this has occurred.	Prior to site works commencing.
Provide water connections and water meters in accordance with Council's Standard Drawings. Provide details to Council of the water meters and their locations.	Prior to on maintenance or the use commencing, whichever is the sooner.
Excavation and filling	
<p>Undertake any required excavation and fill works in accordance with the following:</p> <ul style="list-style-type: none"> a) Design retaining walls/structures to have a minimum design life of 60 years and to be in accordance with Australian Standard 4678:2002 – Earth Retaining Structures (as amended). b) Undertake compaction in accordance with Australian Standard 3798:2007 – Guidelines on earthworks for commercial and residential developments (as amended) and Australian Standard 2870:2011 – Residential Slabs and Footings (as amended). c) Comply with the relevant requirements of the Building Regulations 2006 (as amended) where involving gradients or embankments. 	During construction.
Submit to Council test certificates for all filling greater than 400mm in depth, confirming that the necessary levels of compaction have been achieved, including a Level 1 inspection and testing report in accordance with AS3798.	Prior to a compliance inspection, which must be undertaken prior to the use commencing.
Provide certification from a Registered Professional Engineer Queensland (RPEQ) for the design and construction of any retaining walls greater than 1m in height, in relation to stability and resistance to overturning and sliding (overall safety factor of 1.5) in accordance with AS1170.1 and AS3600.	Prior to a compliance inspection, which must be undertaken prior to the use commencing.
Connect all drainage pipes associated with a retaining wall to a lawful point of discharge in accordance with the Queensland Urban Drainage Manual (QUDM).	Prior to a compliance inspection, which must be undertaken prior to the use commencing.

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<u>Waste management</u>	
<p>Install and maintain a screened refuse collection area, located as indicated on the approved plans, for the storage of a minimum of 1x 3000L general waste and 2x 3000L co-mingled recycling bins (or equivalent sized bins). The storage area must be impervious, well drained and provided with a hose cock.</p>	<p>Prior to the use commencing and ongoing.</p>
<u>Erosion and sediment control</u>	
<p>Design, implement and maintain measures and practices in accordance with "Best Practice Erosion and Sediment Control" published by the International Erosion Control Association (Australasian Chapter) (2008).</p>	<p>During construction phase.</p>
<p>Ensure dewatering activities (such as from excavations or sediment basins) do not discharge water offsite or where the water could reasonably be expected to move offsite or into waters or stormwater, unless the following are met:</p> <ol style="list-style-type: none"> The concentration of total suspended solids (TSS) must not exceed 50 mg/L. Turbidity (nephelometric turbidity units - NTU) values must not be greater than 10% of the turbidity of waters immediately upstream of the sites water entry points at time of the release. The pH must be within the range of 6.5-8.5 except where, and to the extent, the natural receiving waters lie outside this range. Water is to be sampled by experienced personnel and tested by a NATA (National Association of Testing Authorities) accredited laboratory. 	<p>During construction phase.</p>
<p>Provide a stabilised construction exit at each exit point for the site. Maintain this area so that no loose debris is deposited on to adjoining roadways. Remove any material brought onto the road as soon as possible.</p>	<p>During construction phase.</p>
<p>Implement dust control measures at each phase of site development and operation in accordance with IECA (2008) Best Practice Erosion and Sediment Control.</p>	<p>During construction phase.</p>
<u>Survey and as-constructed information</u>	
<p>Submit as constructed drawings and documentation for all works that are to be transferred into public ownership, prepared in accordance with planning scheme policy 2 – infrastructure works.</p>	<p>As soon as all works are completed and prior to the request for on maintenance</p>

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Include surveyed as constructed data showing works completed (digital and hard copies) and amended design plan data showing construction deviation from design plans (digital and hard copies). The digital data and the design data must be endorsed by a RPEQ and Landscape Architect holding AILA (Australian Institute of Landscape Architecture) membership and a registered surveyor using the certification clauses contained in planning scheme policy 2 – infrastructure works.	or the use commencing, whichever is the sooner.
<u>Acoustic attenuation</u>	
Incorporate acoustic attenuation into the development as specified in section 8.1 of the acoustic report.	Prior to site works commencing.
<u>Acoustic certification</u>	
Submit the specifications for the mechanical plant to Council for Conditioned Works Assessment in accordance with the assessment criteria listed in Table 2: Conditioned Works Assessment of this approval, and in accordance with the approved acoustic report (section 8.2). The specifications must be certified by a qualified acoustic consultant to confirm the development complies with this approval and the assessment criteria detailed in Table 2: Conditioned Works.	As part of the request for Conditioned Works Assessment.
<u>Landscaping works</u>	
Submit detailed landscape plans that are generally in accordance with the approved concept landscape plans and include the following: <ul style="list-style-type: none"> • full planting details; • complete species lists; • details of lighting types and locations; • other relevant details as outlined in section 6.1.3 of planning scheme policy 2 – infrastructure works. 	As part of the request for Conditioned Works Assessment.
Landscape the site in accordance with the landscape plans approved as part of the conditioned works assessment and maintain these landscaped areas.	Prior to the use commencing and ongoing.

Additional Attachment
Independent Consultant Advice for MCU20/0077

ADDITIONAL APPROVALS

The following further **development permits** are necessary to allow the development to be carried out.

- Building works approval.

Further approvals, other than a development permit, are also required for your development. This includes, but is not limited to, the following:

- Conditioned works assessment as detailed in Table 2 of the conditions.
- Plumbing and drainage works.
- Road opening permit for any works proposed within an existing road reserve.
- Food business licence for any development proposing to conduct a food business under the *Food Act 2006*.

ASSESSMENT MANAGER ADVICE

- **Infrastructure charges**
Infrastructure charges apply to the development in accordance with the Adopted Infrastructure Charges Resolution (No. 2.3) 2016 levied by way of an Infrastructure Charges Notice. The infrastructure charges are contained in the attached Redland City Council Infrastructure Charges Notice.

- **Live connections**
Redland City Council is responsible for all live water and wastewater connections. Contact *must* be made with Council to arrange live works associated with the development.

Further information can be obtained from Council on 07 3829 8999.

- **Coastal processes and sea level rise**
Please be aware that development approvals issued by Redland City Council are based upon current lawful planning provisions which do not necessarily respond immediately to new and developing information on coastal processes and sea level rise. Independent advice about this issue should be sought.

- **Hours of construction**

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Please be aware that you are required to comply with the *Environmental Protection Act* in regards to noise standards and hours of construction.

- **Workplace health and safety**

Please be aware that you are required to comply with the *Work Health and Safety Act 2011* in regards to all works associated with this development approval.

- **Services installation**

It is recommended that where the installation of services and infrastructure will impact on the location of existing vegetation identified for retention, an experienced and qualified arborist that is a member of the Australian Arborist Association or equivalent association, be commissioned to provide impact reports and on site supervision for these works.

- **Asbestos management and removal**

Please be aware that where asbestos related materials are to be removed on a development site, appropriate measures must be taken to not cause a public health risk under the *Public Health Act 2005*. A suitably qualified asbestos removalist that holds a current Workplace Health & Safety A or B class asbestos removal licence must be engaged to remove more than 10m² of non-friable asbestos. The removal of friable asbestos must be undertaken by a business that holds a current Class A asbestos removal licence. For further information on asbestos visit the Queensland Government website <https://www.asbestos.qld.gov.au/>. For licensing enquiries please contact Workplace Health and Safety Queensland on 1300 362 128 or www.worksafe.qld.gov.au/injury-prevention-safety/asbestos

- **Fire ants**

Areas within Redland City have been identified as having an infestation of the Red Imported Fire Ant (RIFA). Biosecurity Queensland should be notified on 13 25 23 of proposed development(s) occurring in the Fire Ant Restricted Area before earthworks commence. It should be noted that works involving movements of soil associated with earthworks may be subject to movement controls and failure to obtain necessary approvals from Biosecurity Queensland is an offence. It is a legal obligation to report any sighting or suspicion of fire ants within 24 hours to Biosecurity Queensland on 13 25 23. The Fire Ant Restricted Area as well as general information can be viewed on the Department of Agriculture and Fisheries (DAF) website www.daf.qld.gov.au/fireants

- **Cultural heritage**

The *Aboriginal Cultural Heritage Act 2003* requires anyone who carries out a land use activity to exercise a duty of care. Further information on cultural heritage duty of care is available on the Department of Aboriginal and Torres Strait Islander Partnerships (DATSIP) website:

<https://www.datsip.qld.gov.au/resources/datsima/people-communities/cultural-heritage/cultural-heritage-duty-care.pdf>

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The DATSIP has established a register and database of recorded cultural heritage matters, which is also available on the Department's website:

<https://www.datsip.qld.gov.au/people-communities/aboriginal-torres-strait-islander-cultural-heritage/cultural-heritage-search-request>

Quandamooka Yoolooburrabee Aboriginal Corporation (QYAC) is the registered cultural heritage body in the Redland City local government area. It is recommended you consult with QYAC in relation to aboriginal and cultural heritage matters prior to the commencement of works on site. QYAC can be contacted on 07 3415 2816 or admin@QYAC.net.au

Should any aboriginal, archaeological or historic sites, items or places be identified, located or exposed during construction or operation of the development, the *Aboriginal and Cultural Heritage Act 2003* requires all activities to cease. Please contact DATSIP for further information.

- **Fauna protection**

It is recommended an accurate inspection of all potential wildlife habitats be undertaken prior to removal of any vegetation on site. Wildlife habitat includes trees (canopies and lower trunk) whether living or dead, other living vegetation, piles of discarded vegetation, boulders, disturbed ground surfaces, etc. It is recommended that you seek advice from the Queensland Parks and Wildlife Service if evidence of wildlife is found.

- ***Environment Protection and Biodiversity Conservation Act***

Under the Commonwealth Government's *Environment Protection and Biodiversity Conservation Act* (the EPBC Act), a person must not take an action that is likely to have a significant impact on a matter of national environmental significance without Commonwealth approval. Please be aware that the listing of the Koala as **vulnerable** under this Act may affect your proposal. Penalties for taking such an action without approval are significant. If you think your proposal may have a significant impact on a matter of national environmental significance, or if you are unsure, please contact Environment Australia on 1800 803 772. Further information is available from Environment Australia's website at www.ea.gov.au/epbc

Please note that Commonwealth approval under the EPBC Act is independent of, and will not affect, your application to Council.

15 REPORTS FROM INFRASTRUCTURE & OPERATIONS

Nil

16 NOTICES OF INTENTION TO REPEAL OR AMEND A RESOLUTION

Nil

17 NOTICES OF MOTION**17.1 CR PAUL GOLLE - FRESHWATER BODIES**

This item was withdrawn. Refer item 11 for details.

18 URGENT BUSINESS WITHOUT NOTICE

Nil

19 CONFIDENTIAL ITEMS**MOTION TO MOVE INTO CLOSED SESSION AT 11:33am****COUNCIL RESOLUTION 2021/68****Moved by: Cr Lance Hewlett****Seconded by: Cr Peter Mitchell**

That Council considers the confidential report(s) listed below in a meeting closed to the public in accordance with Section 254J of the Local Government Regulation 2012.

CARRIED 10/0

Crs Wendy Boglary, Peter Mitchell, Paul Gollè, Lance Hewlett, Mark Edwards, Julie Talty, Rowanne McKenzie, Tracey Huges, Adelia Berridge and Paul Bishop voted FOR the motion.

Cr Karen Williams was not present when the motion was put.

19.1 Voluntary Transfer of Land Concession

This matter is considered to be confidential under Section 254J(3)(h) of the Local Government Regulation 2012, and the Council is satisfied that discussion of this matter in an open meeting would, on balance, be contrary to the public interest as it deals with negotiations relating to the taking of land by the local government under the Acquisition of Land Act 1967.

Overview

To consider the voluntary transfer of unencumbered land in full or part payment of rates and charges identified in the attached schedule, VOL March 2021, for overdue rates and charges.

19.2 Review of Options to Enhance the Protection of Core Habitat and Wildlife Corridor Habitat in the Urban Footprint of the City

This matter is considered to be confidential under Section 254J(3)(c), (f), (g) and (i) of the Local Government Regulation 2012, and the Council is satisfied that discussion of this matter in an open meeting would, on balance, be contrary to the public interest as it deals with the local government's budget, matters that may directly affect the health and safety of an individual or a group of individuals, negotiations relating to a commercial matter involving the local government for which a public discussion would be likely to prejudice the interests of the local government and a matter the local government is required to keep confidential under a law of, or formal arrangement with, the Commonwealth or a State.

Overview

To review and consider options to enhance the statutory protection in the City Plan of core and wildlife corridor habitat located in the urban footprint of the City.

19.3 Investigation into the Purchase of Conservation Land

This matter is considered to be confidential under Section 254J(3)(h) of the Local Government Regulation 2012, and the Council is satisfied that discussion of this matter in an open meeting would, on balance, be contrary to the public interest as it deals with negotiations relating to the taking of land by the local government under the Acquisition of Land Act 1967.

Overview

To investigate the purchase of land for environmental purposes.

19.4 Heritage Major Amendment 03/19 and Interim Protection Options to Safeguard Local Heritage Places Prior to the Commencement of Heritage Major Amendment 03/19

This matter is considered to be confidential under Section 254J(3)(c), (d), (e) and (g) of the Local Government Regulation 2012, and the Council is satisfied that discussion of this matter in an open meeting would, on balance, be contrary to the public interest as it deals with the local government's budget, rating concessions, legal advice obtained by the local government or legal proceedings involving the local government including, for example, legal proceedings that may be taken by or against the local government and negotiations relating to a commercial matter involving the local government for which a public discussion would be likely to prejudice the interests of the local government.

Overview

To consider heritage matters in relation to the planning scheme.

19.5 City Plan Major Amendment Package (04/20): Medium Density Residential Zone Code Review - State Interest Review

This matter is considered to be confidential under Section 254J(3)(c) and (i) of the Local Government Regulation 2012, and the Council is satisfied that discussion of this matter in an open meeting would, on balance, be contrary to the public interest as it deals with the local government's budget and a matter the local government is required to keep confidential under a law of, or formal arrangement with, the Commonwealth or a State.

Overview

To seek direction from Council on matters raised by the Department of State Development, Infrastructure, Local Government and Planning (the department) in its notice, dated 15 December 2020, to request changes and pause the timeframe for City Plan Major Amendment Package (04/20): Medium density residential zone code review (the major amendment package).

19.6 Project Delivery Group - Delegated Authority Report to Chief Executive Officer for Award of Contract over \$2M for Financial Year 2020/2021

This matter is considered to be confidential under Section 254J(3)(c) of the Local Government Regulation 2012, and the Council is satisfied that discussion of this matter in an open meeting would, on balance, be contrary to the public interest as it deals with the local government's budget.

Overview

To seek Redland City Council (Council) resolution to delegate authority to the Chief Executive Officer (CEO), under s.257(1)(b) of the Local Government Act 2009 to make, vary and discharge a contract associated with a playground and park upgrade, which may total more than \$2,000,000 (including GST), in financial year 2020-2021.

19.4 Investigation into Purchase of Land at Ormiston

This matter is considered to be confidential under Section 254J(3)(c) and (g) of the Local Government Regulation 2012, and the Council is satisfied that discussion of this matter in an open meeting would, on balance, be contrary to the public interest as it deals with the local government's budget and negotiations relating to a commercial matter involving the local government for which a public discussion would be likely to prejudice the interests of the local government.

Overview

To investigate the purchase of land at Ormiston.

MOTION TO MOVE INTO OPEN SESSION AT 2:32pm**COUNCIL RESOLUTION 2021/69**

Moved by: Cr Rowanne McKenzie

Seconded by: Cr Paul Bishop

That Council moves out of Closed Council into Open Council.

CARRIED 10/0

Crs Wendy Boglary, Peter Mitchell, Paul Gollè, Lance Hewlett, Mark Edwards, Julie Talty, Rowanne McKenzie, Tracey Huges, Adelia Berridge and Paul Bishop voted FOR the motion.

Cr Karen Williams was not present when the motion was put.

19.1 VOLUNTARY TRANSFER OF LAND CONCESSION**OFFICER'S RECOMMENDATION/COUNCIL RESOLUTION 2021/70**

Moved by: Cr Rowanne McKenzie

Seconded by: Cr Peter Mitchell

That Council resolves as follows:

1. To grant a concession to the stated ratepayers detailed in the attached schedule, VOL March 2021, to accept the transfer of unencumbered land in full payment of the rates and charges, as pursuant to Section 121(c) of the Local Government Regulation 2012.
2. To note the due date for payment of the rates and charges is detailed in the attached schedule, VOL March 2021.
3. To maintain the report and attachment as confidential in accordance with sections 171(3) and 200 of the Local Government Act 2009 and remain confidential unless Council decides otherwise by resolution, subject to maintaining the confidentiality of legally privileged, private and commercial in confidence information.

CARRIED 10/0

Crs Wendy Boglary, Peter Mitchell, Paul Gollè, Lance Hewlett, Mark Edwards, Julie Talty, Rowanne McKenzie, Tracey Huges, Adelia Berridge and Paul Bishop voted FOR the motion.

Cr Karen Williams was not present when the motion was put.

19.2 REVIEW OF OPTIONS TO ENHANCE THE PROTECTION OF CORE HABITAT AND WILDLIFE CORRIDOR HABITAT IN THE URBAN FOOTPRINT OF THE CITY**OFFICER'S RECOMMENDATION/COUNCIL RESOLUTION 2021/71**

Moved by: Cr Peter Mitchell

Seconded by: Cr Rowanne McKenzie

That Council resolves as follows:

1. To commence a major amendment to the City Plan that reflects the findings and recommendations of the review of options to provide an enhanced level of statutory land use planning protection to environmental corridors in the Urban Footprint, as identified in the Wildlife Connections Plan 2018-2028, in accordance with Part 4, Clause 16.1 of the Minister's Guideline and Rules under the Planning Act 2016.
2. To endorse the recommendations, as outlined in Attachment 1, to inform the major amendment to the City Plan.
3. To ensure the major amendment is supported by a detailed mapping review and refinement of mapped MSES and MLES in consultation with relevant divisional councillors.
4. That the report and attachments remain confidential until such time that a major amendment package is released for public consultation, subject to Council and Ministerial approval or Council resolves not to proceed with the proposed major amendment package to maintain the confidentiality of legally privileged, private and commercial in-confidence information.

CARRIED 10/0

Crs Wendy Boglary, Peter Mitchell, Paul Gollè, Lance Hewlett, Mark Edwards, Julie Talty, Rowanne McKenzie, Tracey Huges, Adelia Berridge and Paul Bishop voted FOR the motion.

Cr Karen Williams was not present when the motion was put.

19.3 INVESTIGATION INTO THE PURCHASE OF CONSERVATION LAND**OFFICER'S RECOMMENDATION/COUNCIL RESOLUTION 2021/72**

Moved by: Cr Rowanne McKenzie

Seconded by: Cr Peter Mitchell

That Council resolves as follows:

1. To not acquire the land for environmental purposes.
2. That this report and attachments remain confidential as required by any legal or statutory obligation, subject to maintaining the confidentiality of legally privileged, private and commercial in confidence information.

LOST 4/6

Crs Peter Mitchell, Mark Edwards, Julie Talty and Rowanne McKenzie voted FOR the motion.

Crs Wendy Boglary, Paul Gollè, Lance Hewlett, Tracey Huges, Adelia Berridge and Paul Bishop voted AGAINST the motion.

Cr Karen Williams was not present when the motion was put.

COUNCIL RESOLUTION 2021/73

Moved by: Cr Wendy Boglary

Seconded by: Cr Paul Bishop

That Council resolves as follows:

1. To delegate authority to the Chief Executive Officer under section 257(1)(b) of the Local Government Act 2009, to make, vary, negotiate and discharge a contract, including signing all relevant documents, to acquire the land at fair market value and execute all associated documentation.
2. To authorise the allocation of sufficient funds, potentially through borrowings and including the potential sale of surplus Council property, to acquire the land and to fund establishment and maintenance costs during the 2020-21 or 2021-22 financial years.
3. That this report and attachments remain confidential as required by any legal or statutory obligation, subject to maintaining the confidentiality of legally privileged, private and commercial in confidence information.

CARRIED 7/3

Crs Wendy Boglary, Paul Gollè, Lance Hewlett, Julie Talty, Tracey Huges, Adelia Berridge and Paul Bishop voted FOR the motion.

Crs Peter Mitchell, Mark Edwards and Rowanne McKenzie voted AGAINST the motion.

Cr Karen Williams was not present when the motion was put.

19.4 INVESTIGATION INTO PURCHASE OF LAND AT ORMISTON**OFFICER'S RECOMMENDATION**

That Council resolves as follows:

1. To not acquire the land for environmental purposes.
2. That this report, and any earlier reports regarding this matter, be released as soon as practicable, subject to maintaining the confidentiality of legally privileged, private and commercial in confidence information.
3. That Attachments 3 and 4 of this report remain confidential, subject to maintaining the confidentiality of legally privileged, private and commercial in confidence information.

COUNCIL RESOLUTION 2021/74

Moved by: Cr Wendy Boglary

Seconded by: Cr Paul Bishop

That Council resolves as follows:

1. To authorise the Chief Executive Officer to make, vary, negotiate and discharge a contract, including signing all relevant documents, to acquire the land at fair market value and execute all associated documentation.
2. To authorise the allocation of sufficient funds, potentially through borrowings and including the potential sale of surplus Council property, to acquire the land and to fund establishment and maintenance costs during the 2020-21 or 2021-22 financial years. This will need to be via a budget or budget review process.
3. That this report and attachments remain confidential until settlement or as required by any legal or statutory obligation, subject to maintaining the confidentiality of legally privileged, private and commercial in confidence information.

CARRIED 6/4

Crs Wendy Boglary, Paul Gollè, Lance Hewlett, Tracey Huges, Adelia Berridge and Paul Bishop voted FOR the motion.

Crs Peter Mitchell, Mark Edwards, Julie Talty and Rowanne McKenzie voted AGAINST the motion.

Cr Karen Williams was not present when the motion was put.

19.5 HERITAGE MAJOR AMENDMENT 03/19 AND INTERIM PROTECTION OPTIONS TO SAFEGUARD LOCAL HERITAGE PLACES PRIOR TO THE COMMENCEMENT OF HERITAGE MAJOR AMENDMENT 03/19

OFFICER'S RECOMMENDATION/COUNCIL RESOLUTION 2021/75

Moved by: Cr Paul Bishop

Seconded by: Cr Adelia Berridge

That Council resolves as follows:

1. To proceed with the proposed Heritage Major Amendment 03/19 with changes, as outlined in this report and Attachment 1.
2. To submit the proposed amendment, as changed, to the Planning Minister under Chapter 2, Part 4, section 21.1 of the Minister's Guidelines and Rules, seeking approval to adopt the amendment package.
3. To adopt the proposed local categorising instrument as detailed in Attachment 4.
4. To submit the proposed local categorising instrument as detailed in Attachment 4 to the Planning Minister for approval in accordance Chapter 3, Part 2, Section 8.1 of the Minister's Guidelines and Rules and request the effective day to be the date of adoption by Council.
5. To note options for a potential future heritage incentives scheme as set out in Attachment 3 will be considered as part of the 2021-22 annual budget deliberations.
6. To confirm the proposed Heritage Major Amendment 03/19 as changed, will not commence until such time as Council has finalised its position on a potential future heritage incentives scheme as part of the 2021-22 annual budget deliberations.
7. To write to the Minister for the Environment and the Great Barrier Reef advising of Council's resolution and request that any existing stop order notices within the City continue to be extended issued until such time as the Planning Minister has made a decision on the proposed local categorising instrument as detailed in attachment 4.
8. To distribute the consultation report (Attachment 2) in accordance with section 18.4 of Chapter 2, Part 4 of the Minister's Guidelines and Rules once the Planning Minister has made a decision on the proposed local categorising instrument in accordance with recommendation 4.
9. To maintain this report and attachments as confidential until such time as the Planning Minister has made a decision on the proposed local categorising instrument in accordance with recommendation 4 or Council resolves not to proceed with the proposed amendment, subject to maintaining the confidentiality of legally privileged, private and commercial in-confidence information.

CARRIED 8/2

Crs Wendy Boglary, Paul Gollè, Lance Hewlett, Mark Edwards, Julie Talty, Tracey Huges, Adelia Berridge and Paul Bishop voted FOR the motion.

Crs Peter Mitchell and Rowanne McKenzie voted AGAINST the motion.

Cr Karen Williams was not present when the motion was put.

19.6 CITY PLAN MAJOR AMENDMENT PACKAGE (04/20): MEDIUM DENSITY RESIDENTIAL ZONE CODE REVIEW - STATE INTEREST REVIEW**OFFICER'S RECOMMENDATION/COUNCIL RESOLUTION 2021/76**

Moved by: Cr Wendy Boglary

Seconded by: Cr Peter Mitchell

That Council resolves as follows:

1. To submit the revised City Plan Major Amendment Package 04/20: Medium density zone code review as detailed in Attachment 2.
2. To request if any further changes are required to the revised City Plan Major Amendment Package 04/20, these changes are directed through Ministerial conditions prior to public consultation.
3. That the report and attachments remain confidential until such time that the amendment package is released for public consultation, subject to Council and Ministerial approval, or until Council resolves not to proceed with the proposed major amendment package, subject to maintaining the confidentiality of legally privileged, private and commercial in confidence information.

CARRIED 10/0

Crs Wendy Boglary, Peter Mitchell, Paul Gollè, Lance Hewlett, Mark Edwards, Julie Talty, Rowanne McKenzie, Tracey Huges, Adelia Berridge and Paul Bishop voted FOR the motion.

Cr Karen Williams was not present when the motion was put.

19.7 PROJECT DELIVERY GROUP - DELEGATED AUTHORITY REPORT TO CHIEF EXECUTIVE OFFICER FOR AWARD OF CONTRACT OVER \$2M FOR FINANCIAL YEAR 2020/2021**OFFICER'S RECOMMENDATION/COUNCIL RESOLUTION 2021/77**

Moved by: Cr Peter Mitchell

Seconded by: Cr Wendy Boglary

That Council resolves as follows:

1. To delegate authority to the Chief Executive Officer, under s.257(1)(b) of the Local Government Act 2009, to negotiate, make, vary and discharge contracts associated with the individual projects detailed in Table 1 of this report, which may total more than \$2,000,000 (including GST), in financial year 2020-2021.
2. That this report remains confidential until the contract is awarded and details published in accordance with legislative requirements, subject to maintaining the confidentiality of legally privileged, private and commercial in confidence information.

CARRIED 10/0

Crs Wendy Boglary, Peter Mitchell, Paul Gollè, Lance Hewlett, Mark Edwards, Julie Talty, Rowanne McKenzie, Tracey Huges, Adelia Berridge and Paul Bishop voted FOR the motion.

Cr Karen Williams was not present when the motion was put.

20 MEETING CLOSURE

The Meeting closed at 2:36pm.

The minutes of this meeting were confirmed at the General Meeting held on 21 April 2021.

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CHAIRPERSON