

**Redland**  
CITY COUNCIL

# **AGENDA**

## **GENERAL MEETING**

**Wednesday, 21 July 2021**  
**commencing at 9.30am**

**The Council Chambers**  
**91 - 93 Bloomfield Street**  
**CLEVELAND QLD**

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## **1        DECLARATION OF OPENING**

On establishing there is a quorum, the Mayor will declare the meeting open.

### **Recognition of the Traditional Owners**

Council acknowledges the Quandamooka people who are the traditional custodians of the land on which we meet. Council also pays respect to their elders, past and present, and extends that respect to other indigenous Australians who are present.



## **2 RECORD OF ATTENDANCE AND LEAVE OF ABSENCE**

Motion is required to approve leave of absence for any Councillor absent from today's meeting.

### **3        DEVOTIONAL SEGMENT**

Member of the Ministers' Fellowship will lead Council in a brief devotional segment.

#### **4 RECOGNITION OF ACHIEVEMENT**

Mayor to present any recognition of achievement items.

## **5        RECEIPT AND CONFIRMATION OF MINUTES**

General Meeting - 16 June 2021

Special Budget Meeting - 24 June 2021

## 6 DECLARATION OF PRESCRIBED CONFLICT OF INTERESTS AND DECLARABLE CONFLICT OF INTERESTS

Councillors are reminded of their responsibilities in relation to a Councillor's Prescribed Conflict of Interest and Declarable Conflict of Interest at a meeting. For full details see Chapter 5B of the *Local Government Act 2009*.

In summary:

### Obligation of Councillor with Prescribed Conflict of Interest

Section 150EL of the *Local Government Act 2009* requires Councillors to declare a Prescribed Conflict of Interest in a matter as soon as they become aware of their interest in the matter, either:

- (1) *at a local government meeting, or*
- (2) *as soon as practicable, by giving the Chief Executive Officer written notice of the prescribed conflict of interest.*
- (3) The declaration must include the following particulars:
  - (a) *For a gift, loan or contract – the value of the gift, loan or contract;*
  - (b) *For an application for which a submission has been made – the matters the subject of the application and submission;*
  - (c) *The name of any entity, other than the Councillor, that has an interest in the matter;*
  - (d) *The nature of the Councillor's relationship with the entity mentioned in (c) above;*
  - (e) *Details of the Councillor's, and any other entity's, interest in the matter.*

### Dealing with Prescribed Conflict of Interest at a Meeting

Pursuant to Section 150EM of the *Local Government Act 2009*, if a Councillor declares a Prescribed Conflict of Interest in a matter, ***the Councillor must leave the place at which the meeting is being held, including any area set aside for the public, and stay away from the place while the matter is discussed and voted on.***

### Obligation of Councillor with Declarable Conflict of Interest

Section 150EQ of the *Local Government Act 2009* requires Councillors to declare a Declarable Conflict of Interest in a matter as soon as they become aware of their interest in the matter, either:

- (1) *at a local government meeting, or*
- (2) *as soon as practicable, by giving the Chief Executive Officer written notice of the declarable conflict of interest.*
- (3) The declaration must include the following particulars:
  - (a) *The nature of the declarable conflict of interest;*
  - (b) *If the declarable conflict of interest arises because of the councillor's relationship with a related party:*
    - (i) *The name of the related party; and*
    - (ii) *The nature of the relationship of the related party to the Councillor; and*
    - (iii) *The nature of the related party's interests in the matter;*

- (c) *If the Councillor's or related party's personal interests arise because of the receipt of a gift or loan from another person:*
- (i) *The name of the other person; and*
  - (ii) *The nature of the relationship of the other person to the Councillor or related party; and*
  - (iii) *The nature of the other person's interests in the matter; and*
  - (iv) *The value of the gift or loan, and the date the gift was given or loan was made.*

#### **Procedure if Councillor has Declarable Conflict of Interest**

Pursuant to Section 150ES of the *Local Government Act 2009*, eligible Councillors at the meeting must, by resolution, decide whether the Councillor who has declared the interest:

- (1) *May participate in a decision about the matter at the meeting, including by voting on the matter; or*
- (2) *Must leave the place at which the meeting is being held, including any area set aside for the public, and stay away from the place while the eligible Councillors discuss and vote on the matter.*

#### **Duty to report another Councillor's Prescribed Conflict of Interest or Declarable Conflict of Interest**

Pursuant to section 150EW of the *Local Government Act 2009*, a Councillor who reasonably believes or reasonably suspects another Councillor has a Prescribed Conflict of Interest or a Declarable Conflict of Interest in a matter must:

- (1) *Immediately inform the person who is presiding at the meeting about the belief or suspicion; or*
- (2) *As soon as practicable, inform the Chief Executive Officer of the belief or suspicion.*

*The Councillor must also inform the person presiding, or the Chief Executive Officer, of the facts and circumstances forming the basis of the belief or suspicion.*

#### **Record of Prescribed and Declarable Conflicts of Interest**

Where a Councillor informs the meeting of a Prescribed or Declarable Conflict of Interest, section 150FA of the *Local Government Act 2009* requires the following information to be recorded in the minutes of the meeting:

- (1) The name of the Councillor who may have a prescribed or declarable conflict of interest in the matter;
- (2) The particulars of the prescribed or declarable conflict of interest;
- (3) If another Councillor informs the meeting of a belief of suspicion, about another Councillor's Conflict of Interest:
  - (a) The action the Councillor takes;
  - (b) Any decision by eligible Councillors; and
  - (c) The name of each eligible Councillor who voted in relation to whether the Councillor has a declarable conflict of Interest, and how each eligible Councillor voted.
- (4) Whether the Councillor participated in deciding the matter, or was present for deciding the matter;
- (5) For a matter to which the Prescribed or Declarable Conflict of Interest relates:
  - (a) *The name of the Councillor who has declared the conflict of interest;*

- (b) The nature of the personal interest, as described by the Councillor;*
  - (c) The decision made;*
  - (d) Whether the Councillor participated in the meeting under an approval by the Minister;*
  - (e) If the Councillor voted on the matter, how they voted; and*
  - (f) How the majority of Councillors voted on the matter.*
- (6) If the Councillor has a Declarable Conflict of Interest, in addition to the information above, the following information must be recorded in the minutes:
- (a) The decision and reasons for the decision as to whether the Councillor with the Declarable Conflict of Interest may participate in the decision, or must not participate in the decision; and
  - (b) The name of each eligible Councillor who voted on the decision, and how the eligible Councillor voted.

## **7 MATTERS OUTSTANDING FROM PREVIOUS COUNCIL MEETINGS**

### **7.1 INVESTIGATIONS TO POTENTIALLY ACQUIRE ADDITIONAL LAND FOR SPORT AND RECREATION PURPOSES**

At the General Meeting 18 December 2019 (Item 19.3 refers), Council resolved as follows:

*That the petition be received and referred to the Chief Executive Officer for consideration and a report to the local government.*

A report will be brought to a future meeting of Council.



**7.2 EXPRESSIONS OF INTEREST CAMPAIGN - REDLANDS COAST TOURIST AND COMMUNITY DESTINATION, MACARTHUR ST, ALEXANDRA HILLS**

At the General Meeting 2 December 2020 (Item 19.2 refers), Council resolved as follows:

*That Council resolves as follows:*

- 1. To note the outcomes of the Expressions of Interest Campaign for a Tourist Park and associated community uses that has now finished, and that no tourism-related proposals were received.*
- 2. To hold discussions with proponents of non-tourism related purposes to understand how other proposals may fit into the planning for development of the land that align with Council's policies and plans.*
- 3. To workshop with Councillors, the outcome of these discussions.*
- 4. To provide a further report to Council in regards to the site upon completion of item 3 above.*
- 5. That this report and attachments remain confidential to ensure proposed commercial arrangements and details pertaining to individuals are kept private, subject to maintaining the confidentiality of legally privileged and commercial in confidence information.*

A report will be brought to a future meeting of Council.

**7.3 NOTICE OF MOTION - ASSESSMENT BENCHMARKS FOR ARTIFICIAL WATER BODIES**

At the General Meeting 21 April 2021 (Item 17.2 refers), Council resolved as follows:

*That Council resolves to request officers to undertake the following:*

1. *To prepare a report to Council by the end of July 2021 which:*
  - a) *Provides options and recommendations related to assessment benchmarks in the City Plan for artificial waterbodies and buffers to waterways (for the purposes of flood protection).*
  - b) *Evaluates the pros and cons of making reconfiguring a lot impact assessable where all land within the Recreation and Open Space zone is not proposed to be contained within a single lot.*
2. *To prepare a major amendment as part of the next general amendment package, pursuant to Part 4 of the Minister's Guideline's and Rules under the Planning Act 2016, if required, incorporating the proposed changes to City Plan as supported by Council.*

A report addressing this matter is listed as Item 14.3 of this agenda.

**7.4 UPDATE ON CITY PLAN MAJOR AMENDMENT (01/21): ENVIRONMENTAL SIGNIFICANCE OVERLAY**

At the General Meeting 19 May 2021 (Item 14.3 refers), Council resolved as follows:

1. *To note that in accordance with Council resolution 19.2 of the General Meeting 17 March 2021 a proposed major amendment to City Plan has been prepared to provide an enhanced level of statutory land use planning protection to environmental corridors in the Urban Footprint, as identified in the Wildlife Connections Plan 2018-2028.*
2. *To note that further work is being undertaken to support the proposed major amendment, including a communications plan and consideration of a range of non-statutory measures to support affected landowners prior to its public release.*
3. *That a further report be presented to Council by the end of September 2021 that outlines the further work undertaken, together with the proposed major amendment to City Plan for Council consideration.*

A report will be brought to Council by September 2021.

## **7.5 OUTCOMES OF ECONOMIC NEEDS ASSESSMENT - SHORT STAY FACILITIES FOR SELF-CONTAINED RECREATIONAL VEHICLES AND CARAVANS ON THE REDLANDS COAST**

At the General Meeting 19 May 2021 (Item 15.2 refers), Council resolved as follows:

1. *To note the contents of the report including the executive summary of the Economic Needs Assessment at Attachment 1.*
2. *To endorse Council's role as facilitator or advocate for the establishment of a short stay facilities for self-contained recreational vehicles and caravans.*
3. *To invite Expressions of Interest in accordance with s.228 of the Local Government Regulation 2012 from community or not-for-profit organisations to operate and manage a short stay facility for self-contained recreational vehicles and caravans for Council owned or managed land identified as preferred sites within the report.*
4. *That a report be brought back to Council outlining the outcomes of the Expressions of Interest process.*
5. *To continue to support and work with existing commercial campground and caravan park operators.*

A report will be brought to a future meeting of Council.

**7.6 REVIEW OF DELEGATIONS TO THE CHIEF EXECUTIVE OFFICER**

At the General Meeting 16 June 2021 (Item 13.4 refers), Council resolved as follows:

*That Council resolves as follows:*

1. *To confirm the existing delegated powers identified in the attachments to this report as amended.*
2. *To delegate authority to the Chief Executive Officer under section 257(1)(b) of the Local Government Act 2009, all new and amended functions and powers as identified in Attachment 1 of this report as amended.*
3. *That officers undertake a review of the Chief Executive Officer's Financial Delegation, and bring a report to Council providing detail on the appropriate benchmarking against other local governments.*

A report will be brought to a future meeting of Council.

## **8 MAYORAL MINUTE**

In accordance with s.6.9 of Council Meeting Standing Orders, the Mayor may put to the meeting a written motion called a 'Mayoral Minute', on any matter. Such motion may be put to the meeting without being seconded, may be put at that stage in the meeting considered appropriate by the Mayor and once passed becomes a resolution of Council.

## **9 PUBLIC PARTICIPATION**

In accordance with s.6.10 Council Meeting Standing Orders:

1. In each meeting (other than special meetings), a period of 15 minutes may be made available by resolution to permit members of the public to address the local government on matters of public interest relating to the local government. This period may be extended by resolution.
2. Priority will be given to members of the public who make written application to the CEO no later than 4.30pm two days before the meeting. A request may also be made to the chairperson, when invited to do so, at the commencement of the public participation period of the meeting.
3. The time allocated to each speaker shall be a maximum of five minutes. The chairperson, at his/her discretion, has authority to withdraw the approval to address Council before the time period has elapsed.
4. The chairperson will consider each application on its merits and may consider any relevant matter in his/her decision to allow or disallow a person to address the local government, e.g.
  - a) Whether the matter is of public interest;
  - b) The number of people who wish to address the meeting about the same subject
  - c) The number of times that a person, or anyone else, has addressed the local government previously about the matter;
  - d) The person's behaviour at that or a previous meeting; and
  - e) If the person has made a written application to address the meeting.
5. Any person invited to address the meeting must:
  - a) State their name and suburb, or organisation they represent and the subject they wish to speak about;
  - b) Stand (unless unable to do so);
  - c) Act and speak with decorum;
  - d) Be respectful and courteous; and
  - e) Make no comments directed at any individual Council employee, Councillor or member of the public, ensuring that all comments relate to Council as a whole.

## **10 PETITIONS AND PRESENTATIONS**

Councillors may present petitions or make presentations under this section.

### **10.1 PETITION CR ADELIA BERRIDGE – REJECT PROPOSAL TO INCREASE ALLOWABLE DOG NUMBERS ON PROPERTIES OVER 2000M2 IN FERNTREE PARK AND SURROUNDS**

In accordance with s.6.11 of Council Meeting Standing Orders, Cr Adelia Berridge will present the petition and motion as follows:

**That the petition is be received.**



## **11 MOTION TO ALTER THE ORDER OF BUSINESS**

The order of business may be altered for a particular meeting where the Councillors at that meeting pass a motion to that effect. Any motion to alter the order of business may be moved without notice.

**12      REPORTS FROM THE OFFICE OF THE CEO**

Nil

## 13 REPORTS FROM ORGANISATIONAL SERVICES

### 13.1 INTERIM JUNE 2021 MONTHLY FINANCIAL REPORT

**Objective Reference:** A5515448

**Authorising Officer:** Deborah Corbett-Hall, Chief Financial Officer

**Responsible Officer:** Deborah Corbett-Hall, Chief Financial Officer

**Report Author:** Udaya Panambala Arachchilage, Corporate Financial Reporting Manager

**Attachments:** 1. Interim June 2021 Monthly Financial Report [↓](#)

#### PURPOSE

To note the year to date interim financial results as at 30 June 2021.

#### BACKGROUND

Council adopts an annual budget and then reports on performance against the budget on a monthly basis. This is not only a legislative requirement but enables the organisation to periodically review its financial performance and position and respond to changes in community requirements, market forces or other outside influences.

#### ISSUES

##### *Loan drawdown 2020-2021*

Council received approval on 19 April 2021 from the Department of State Development, Infrastructure, Local Government and Planning to borrow \$9.61M for the 2020-2021 capital works. Accordingly, the borrowing was obtained from Queensland Treasury Corporation (QTC) and the loan was drawn down on 15 June 2021.

##### *Interim results*

The interim June 2021 Monthly Financial Performance Report is prepared based on interim financial results for the year ended 30 June 2021 (prior to the finalisation of the end of year accounts). Significant movement is expected through the finalisation of year-end adjustments over the coming weeks. The final results for the year ended 30 June 2021 will be reflected in the audited annual financial statements.

#### STRATEGIC IMPLICATIONS

Council has either achieved or favourably exceeded the following key financial stability and sustainability ratios as at the end of interim 30 June 2021.

- Operating surplus ratio
- Net financial liabilities
- Level of dependence on general rate revenue
- Ability to pay our bills – current ratio
- Ability to repay our debt – debt servicing ratio
- Cash balance
- Cash balances – cash capacity in months
- Longer term financial stability – debt to asset ratio
- Operating performance

- Interest coverage ratio

The asset sustainability ratio did not meet the target at the end of interim 30 June 2021 and continues to be a stretch target for Council with renewal spends of \$30.73M and depreciation expense of \$57.13M year to date on infrastructure assets. This ratio is an indication of how Council currently maintains, replaces and renews its existing infrastructure assets as they reach the end of their useful lives. Capital spend on non-renewal projects increases the asset base and therefore increases depreciation expense, resulting in a lower asset sustainability ratio.

Council's Capital Portfolio Prioritisation Administrative Directive demonstrates its commitment to maintaining existing infrastructure and the adoption of a renewal strategy for its existing assets ahead of 'upgrade' and/or 'new' works.

### **Legislative Requirements**

The interim 30 June 2021 financial report is presented in accordance with the legislative requirement of section 204(2) of the *Local Government Regulation 2012*, requiring the Chief Executive Officer to present the financial report to a monthly Council meeting.

### **Risk Management**

The interim 30 June 2021 financial report has been noted by the Executive Leadership Team and relevant officers who can provide further clarification and advice around actual to budget variances.

### **Financial**

There is no direct financial impact to Council as a result of this report; however it provides an indication of interim financial outcomes at the end of 30 June 2021.

### **People**

Nil impact expected as the purpose of the attached report is to provide financial information to Council based upon actual versus budgeted financial activity.

### **Environmental**

Nil impact expected as the purpose of the attached report is to provide financial information to Council based upon actual versus budgeted financial activity.

### **Social**

Nil impact expected as the purpose of the attached report is to provide financial information to Council based upon actual versus budgeted financial activity.

### **Human Rights**

There are no human rights implications for this report as the purpose of the attached report is to provide financial information to Council based upon actual versus budgeted financial activity.

### **Alignment with Council's Policy and Plans**

This report has a relationship with the following items of Council's 2018-2023 Corporate Plan (which was the Corporate Plan in effect at the time of this financial report, superseded on 1 July 2021 by Our Future Redlands – A Corporate Plan to 2026 and Beyond):

8. Inclusive and ethical governance

Deep engagement, quality leadership at all levels, transparent and accountable democratic processes and a spirit of partnership between the community and Council will enrich

residents' participation in local decision-making to achieve the community's Redlands 2030 vision and goals.

- 8.2 Council produces and delivers against sustainable financial forecasts as a result of best practice Capital and Asset Management Plans that guide project planning and service delivery across the city.

## CONSULTATION

Consulted	Date	Comment
Council departmental officers	Year to date 30 June 2021	Consulted on financial results and outcomes
Financial Services Group officers	Year to date 30 June 2021	Consulted on financial results and outcomes
Executive Leadership Team and Senior Leadership Team	Year to date 30 June 2021	Recipients of variance analysis between actual and budget. Consulted as required

## OPTIONS

### Option One

That Council resolves to note the financial position, results and ratios for interim 30 June 2021 as presented in the attached Monthly Financial Report.

### Option Two

That Council resolves to request additional information.

## OFFICER'S RECOMMENDATION

**That Council resolves to note the financial position, results and ratios for interim 30 June 2021 as presented in the attached Monthly Financial Report.**



# Monthly Financial Report

## Interim June 2021

Note: This interim report is prepared at year end pending finalisation of the statutory financial statements due 16 September 2021.



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### 1. EXECUTIVE SUMMARY

This monthly report illustrates the financial performance and position of Redland City Council compared to its adopted budget at an organisational level for the year ended 30 June 2021. The year to date and annual revised budget referred to in this report incorporates the changes from budget review adopted by Council on 17 February 2021.

The June 2021 Monthly Financial Report is prepared based on interim financial results for the year ended 30 June 2021 (prior to the finalisation of the end of year accounts) and significant movement is expected through the finalisation of accruals, deferrals and other year-end adjustments. The final results for the year ended 30 June 2021 will be reflected in the audited financial statements.

#### Key Interim Financial Highlights and Overview

Key Interim Financial Results (\$000)	Annual Revised Budget	YTD Revised Budget	YTD Actual	YTD Variance	YTD Variance %	Status Favourable ✓ Unfavourable ✗
Operating Surplus / (Deficit)	(1,397)	(1,397)	<b>3,135</b>	4,532	324%	✓
Recurrent Revenue	304,599	304,599	<b>303,463</b>	(1,136)	0%	✗
Recurrent Expenditure	305,996	305,996	<b>300,328</b>	(5,668)	-2%	✓
Capital Works Expenditure	102,202	102,202	<b>64,752</b>	(37,450)	-37%	✓
Closing Cash & Cash Equivalents	167,495	167,495	<b>187,240</b>	19,745	12%	✓

Council reported a year to date interim operating surplus of \$3.14M which is favourable to budget by \$4.53M due to less than budget recurrent expenditure. The favourable variance in recurrent expenditure is mainly due to a favourable variance in materials and services which is primarily due to underspend in contractor costs. Of note, interest income is lower than budget due to lower than expected interest rates on investments, noting the RBA cash rate is at a historical low of 0.10%.

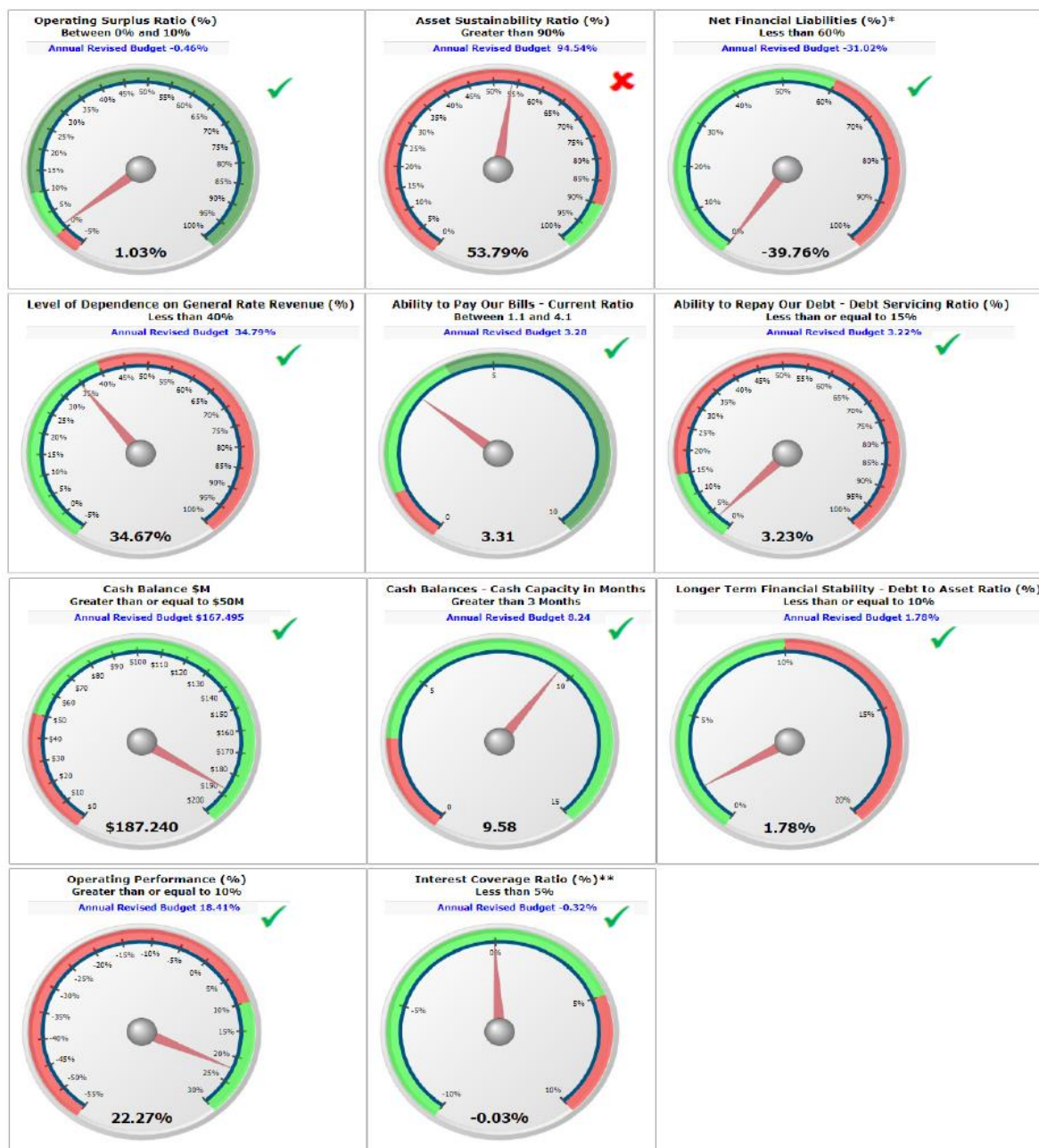
Capital grants, subsidies and contributions are below budget mainly due to timing of developer cash contributions.

Council's capital works expenditure is below budget by \$37.45M mainly due to timing of works for a number of projects including the Kinross road intersection upgrade, Wellington Street upgrade, Weinam Creek development, Victoria Point Waste Water Treatment Plant dewatering improvement project, Southern Redland Bay landside facility, Anita Street pedestrian bridge renewal, revetment walls Voyagers Court and Masthead Drive, Russell Island ferry terminal, Russell Island commuter interchange, Point Lookout backlog sewer, Les Moore park upgrade, Weinam Creek development and fleet replacement.



## 2. INTERIM KEY PERFORMANCE INDICATORS

■ Target met 
 ■ Target exceeded 
 ■ Target not met



\* The net financial liabilities ratio exceeds the target range when current assets are greater than total liabilities (and the ratio is negative)

\*\* The interest coverage ratio exceeds the target range when interest revenue is greater than interest expense (and the ratio is negative)

The Interim Key Performance Indicators above are based on interim financial results prior to the finalisation of end of year accounts. Significant movement is expected over the coming weeks and the final financial results will be reflected in the audited financial statements for the year ended 30 June 2021. The final Key Performance Indicators will be presented as part of the 2020/2021 Annual Report.



## Monthly Financial Report

## 3. INTERIM STATEMENT OF COMPREHENSIVE INCOME

INTERIM STATEMENT OF COMPREHENSIVE INCOME					
For the period ending 30 June 2021					
	Annual Original Budget \$000	Annual Revised Budget \$000	YTD Revised Budget \$000	YTD Actual \$000	YTD Variance \$000
<b>Recurrent revenue</b>					
Rates charges	108,926	108,926	108,926	108,211	(715)
Levies and utility charges	160,082	160,082	160,082	161,381	1,299
Less: Pensioner remissions and rebates	(3,430)	(3,430)	(3,430)	(3,522)	(92)
Fees	13,554	13,999	13,999	14,882	883
Rental income	956	1,069	1,069	1,162	93
Interest received	2,999	2,899	2,899	1,994	(905)
Sales revenue	3,630	3,740	3,740	3,491	(249)
Other income	533	712	712	1,373	661
Grants, subsidies and contributions	14,896	16,603	16,603	14,491	(2,112)
<b>Total recurrent revenue</b>	<b>302,146</b>	<b>304,599</b>	<b>304,599</b>	<b>303,463</b>	<b>(1,136)</b>
<b>Recurrent expenses</b>					
Employee benefits	91,988	93,095	93,095	94,709	1,614
Materials and services	145,591	146,725	146,725	140,404	(6,321)
Finance costs	2,382	2,382	2,382	2,341	(41)
Depreciation and amortisation	64,938	64,931	64,931	64,548	(383)
Other expenditure	520	509	509	339	(170)
Net internal costs	(1,800)	(1,646)	(1,646)	(2,013)	(367)
<b>Total recurrent expenses</b>	<b>303,619</b>	<b>305,996</b>	<b>305,996</b>	<b>300,328</b>	<b>(5,668)</b>
<b>OPERATING SURPLUS / (DEFICIT)</b>	<b>(1,473)</b>	<b>(1,397)</b>	<b>(1,397)</b>	<b>3,135</b>	<b>4,532</b>
<b>Capital revenue</b>					
Grants, subsidies and contributions	25,922	37,486	37,486	22,797	(14,689)
Non-cash contributions	3,480	3,480	3,480	2,305	(1,175)
<b>Total capital revenue</b>	<b>29,402</b>	<b>40,966</b>	<b>40,966</b>	<b>25,102</b>	<b>(15,864)</b>
<b>Capital expenses</b>					
(Gain) / loss on disposal of non-current assets	289	289	289	2,146	1,857
<b>Total capital expenses</b>	<b>289</b>	<b>289</b>	<b>289</b>	<b>2,146</b>	<b>1,857</b>
<b>TOTAL INCOME</b>	<b>331,548</b>	<b>345,565</b>	<b>345,565</b>	<b>328,565</b>	<b>(17,000)</b>
<b>TOTAL EXPENSES</b>	<b>303,908</b>	<b>306,285</b>	<b>306,285</b>	<b>302,474</b>	<b>(3,811)</b>
<b>NET RESULT</b>	<b>27,641</b>	<b>39,280</b>	<b>39,280</b>	<b>26,091</b>	<b>(13,189)</b>
<b>Other comprehensive income / (loss)</b>					
Items that will not be reclassified to a net result					
Revaluation of property, plant and equipment	-	-	-	7,344	7,344
<b>TOTAL COMPREHENSIVE INCOME</b>	<b>27,641</b>	<b>39,280</b>	<b>39,280</b>	<b>33,435</b>	<b>(5,845)</b>

The Interim Statement of Comprehensive Income will adjust over coming weeks as the accounts are being finalised and the final results will be reflected in the audited financial statements for the year ended 30 June 2021. Other Comprehensive Income will change as a result of asset revaluations. The audited financial statements for the year ended 30 June 2021 will reflect the final revalued position and impact and will be presented as part of the 2020/2021 Annual Report.

## Monthly Financial Report

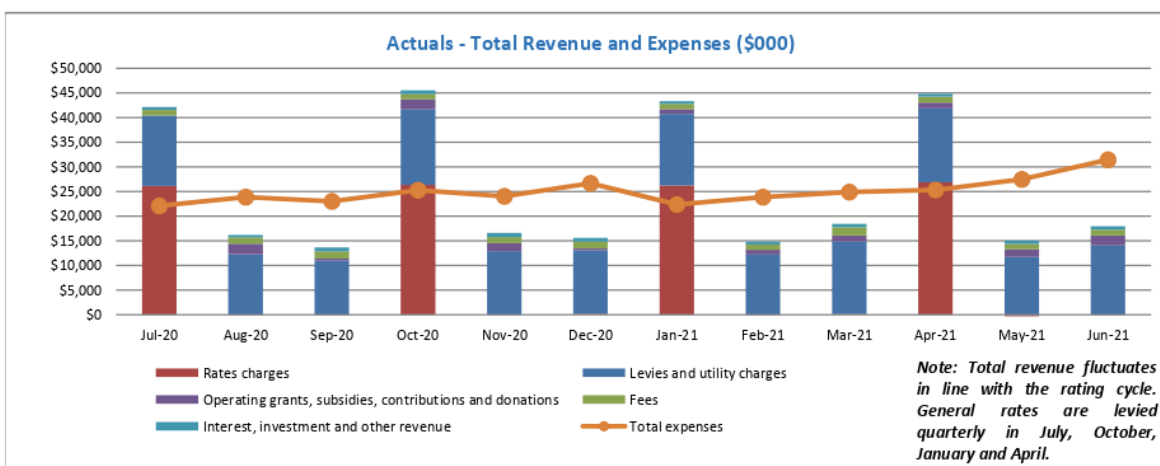
## 3. INTERIM STATEMENT OF COMPREHENSIVE INCOME - CONTINUED

INTERIM LEVIES AND UTILITY CHARGES ANALYSIS					
For the period ending 30 June 2021					
	Annual	Annual	YTD	YTD	YTD
	Original	Revised	Revised Budget	Actual	Variance
	Budget	Budget	\$000	\$000	\$000
	\$000	\$000			
<b>Levies and utility charges</b>					
Refuse collection rate charge	29,127	29,127	29,127	29,326	199
SES separate charge	497	497	497	495	(2)
Environment separate charge	8,388	8,388	8,388	8,339	(49)
Separate charge landfill remediation	2,163	2,163	2,163	2,150	(13)
Wastewater charges	47,842	47,842	47,842	47,205	(637)
Water access charges	20,120	20,120	20,120	20,059	(61)
Water consumption charges	51,945	51,945	51,945	53,807	1,862
<b>Total levies and utility charges</b>	<b>160,082</b>	<b>160,082</b>	<b>160,082</b>	<b>161,381</b>	<b>1,299</b>

INTERIM MATERIALS AND SERVICES ANALYSIS					
For the period ending 30 June 2021					
	Annual	Annual	YTD	YTD	YTD
	Original	Revised	Revised Budget	Actual	Variance
	Budget	Budget	\$000	\$000	\$000
	\$000	\$000			
<b>Materials and services</b>					
Contractors	38,549	39,130	39,130	36,645	(2,485)
Consultants	2,813	3,443	3,443	2,805	(638)
Other Council outsourcing costs*	23,063	21,103	21,103	20,137	(966)
Purchase of materials	53,059	54,883	54,883	53,987	(896)
Office administration costs	11,685	11,646	11,646	11,635	(11)
Electricity charges	5,748	5,624	5,624	5,536	(88)
Plant operations	3,548	3,543	3,543	3,255	(288)
Information technology resources	3,067	3,474	3,474	3,157	(317)
General insurance	1,646	1,427	1,427	1,315	(112)
Community assistance**	1,777	1,828	1,828	1,414	(414)
Other material and service expenses	636	624	624	518	(106)
<b>Total materials and services</b>	<b>145,591</b>	<b>146,725</b>	<b>146,725</b>	<b>140,404</b>	<b>(6,321)</b>

\* Other Council outsourcing costs are various outsourced costs including refuse collection and disposal, waste disposal, legal services, traffic control, external training, valuation fees, etc.

\*\* Community assistance costs represent community related costs including community grants, exhibitions and awards, donations and sponsorships.



The interim income and expenses will adjust over the coming weeks as the accounts are being finalised and the final results will be reflected in the audited financial statements for the year ended 30 June 2021. The financial statements will be presented as part of the 2020/2021 Annual Report.

## Monthly Financial Report

## 4. INTERIM STATEMENT OF FINANCIAL POSITION

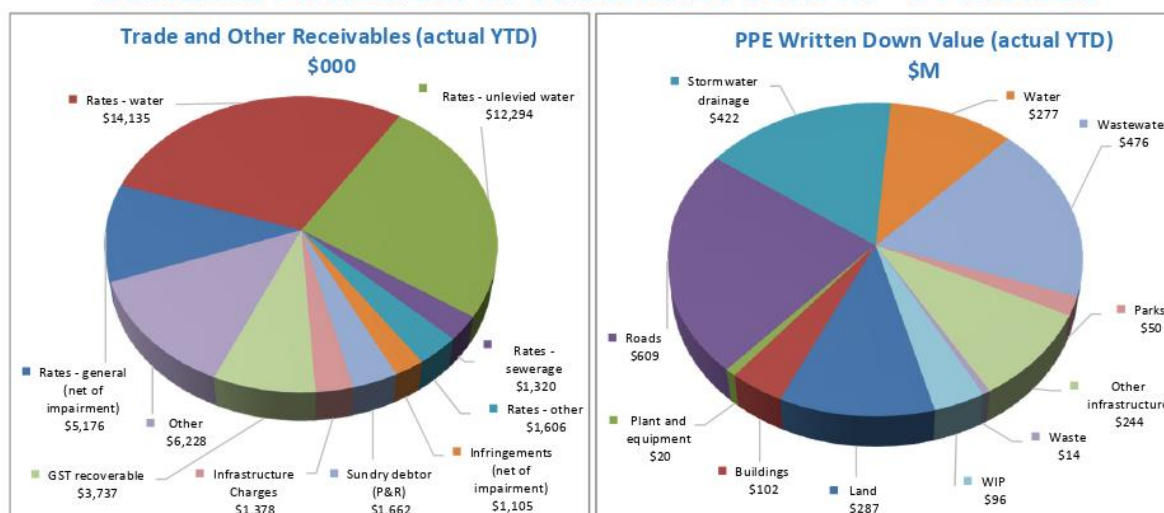
INTERIM STATEMENT OF FINANCIAL POSITION				
As at 30 June 2021				
	Annual	Annual	YTD	YTD
	Original Budget \$'000	Revised Budget \$'000	Revised Budget \$'000	Actual \$'000
<b>CURRENT ASSETS</b>				
Cash and cash equivalents	169,264	167,495	167,495	187,240
Short-term investment - CBA	-	-	-	10,000
Trade and other receivables*	45,924	44,200	44,200	48,641
Inventories	918	853	853	865
Non-current assets held for sale	-	118	118	-
Other current assets	1,955	2,956	2,956	4,968
<b>Total current assets</b>	<b>218,061</b>	<b>215,621</b>	<b>215,621</b>	<b>251,714</b>
<b>NON-CURRENT ASSETS</b>				
Investment property	1,091	1,225	1,225	1,225
Property, plant and equipment	2,572,288	2,629,009	2,629,009	2,597,457
Intangible assets	486	1,682	1,682	1,703
Right-of-use assets	5,919	5,876	5,876	5,825
Other financial assets	73	73	73	73
Investment in other entities**	13,101	13,101	13,101	12,657
<b>Total non-current assets</b>	<b>2,592,958</b>	<b>2,650,965</b>	<b>2,650,965</b>	<b>2,618,940</b>
<b>TOTAL ASSETS</b>	<b>2,811,018</b>	<b>2,866,586</b>	<b>2,866,586</b>	<b>2,870,654</b>
<b>CURRENT LIABILITIES</b>				
Trade and other payables	28,839	41,895	41,895	45,467
Borrowings - current	6,361	8,326	8,326	8,919
Lease liability - current	1,302	1,294	1,294	1,294
Provisions - current	10,769	12,188	12,188	13,882
Other current liabilities	-	1,960	1,960	6,479
<b>Total current liabilities</b>	<b>47,271</b>	<b>65,663</b>	<b>65,663</b>	<b>76,041</b>
<b>NON-CURRENT LIABILITIES</b>				
Borrowings - non-current	37,900	35,840	35,840	35,234
Lease liability - non-current	5,481	5,469	5,469	5,512
Provisions - non-current	15,120	14,162	14,162	14,259
<b>Total non-current liabilities</b>	<b>58,501</b>	<b>55,470</b>	<b>55,470</b>	<b>55,005</b>
<b>TOTAL LIABILITIES</b>	<b>105,772</b>	<b>121,133</b>	<b>121,133</b>	<b>131,046</b>
<b>NET COMMUNITY ASSETS</b>	<b>2,705,246</b>	<b>2,745,453</b>	<b>2,745,453</b>	<b>2,739,608</b>
<b>COMMUNITY EQUITY</b>				
Asset revaluation surplus	1,008,120	1,035,840	1,035,840	1,043,184
Retained surplus	1,580,316	1,605,281	1,605,281	1,590,518
Constrained cash reserves	116,810	104,333	104,333	105,906
<b>TOTAL COMMUNITY EQUITY</b>	<b>2,705,246</b>	<b>2,745,453</b>	<b>2,745,453</b>	<b>2,739,608</b>

\* Included \$3.41M loan drawn down by Redland Investment Corporation (RIC) from February to June 2021. Current loan receivable from RIC is \$3.50M.

\*\* \$444K movement is due to transfer back of 521 Old Cleveland Road East Birkdale land from RIC to Council. This amount is also reflected as an increase in Property plant & equipment.

## Monthly Financial Report

## 4. INTERIM STATEMENT OF FINANCIAL POSITION - CONTINUED



### INTERIM RIGHT-OF-USE ASSETS

For the period ending 30 June 2021

	Annual Original Budget \$000	Annual Revised Budget \$000	YTD Revised Budget \$000	YTD Actual Balance \$000
<b>Right-of-use asset</b>				
Buildings	2,780	2,697	2,697	2,770
Land	2,763	2,815	2,815	2,858
Plant and Equipment	376	364	364	197
<b>Closing balance</b>	<b>5,919</b>	<b>5,876</b>	<b>5,876</b>	<b>5,825</b>

### INTERIM PROPERTY, PLANT AND EQUIPMENT (PPE) MOVEMENT\*

For the period ending 30 June 2021

	Annual Original Budget \$000	Annual Revised Budget \$000	YTD Revised Budget \$000	YTD Actual Balance \$000
<b>PPE movement</b>				
Opening balance (includes WIP from previous years)	2,556,325	2,588,458	2,588,458	2,588,458
Acquisitions, Asset transfers and WIP in year movement	81,096	105,684	105,684	66,894
Depreciation in year	(63,282)	(63,282)	(63,282)	(62,653)
Disposals	(1,851)	(1,851)	(1,851)	(3,049)
Other adjustments**	-	-	-	7,807
<b>Closing balance</b>	<b>2,572,288</b>	<b>2,629,009</b>	<b>2,629,009</b>	<b>2,597,457</b>

\* This table includes movement relating to property, plant and equipment only and is exclusive of intangible assets.

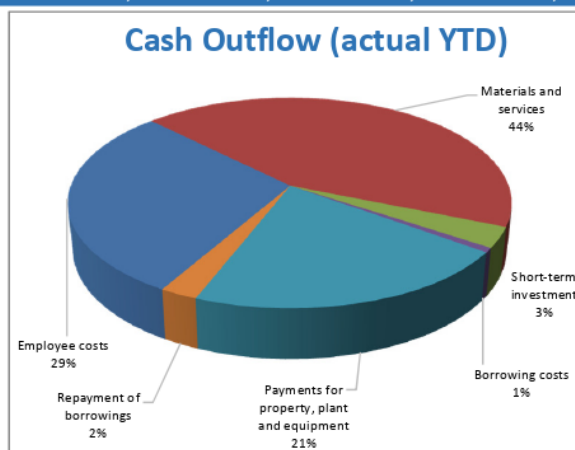
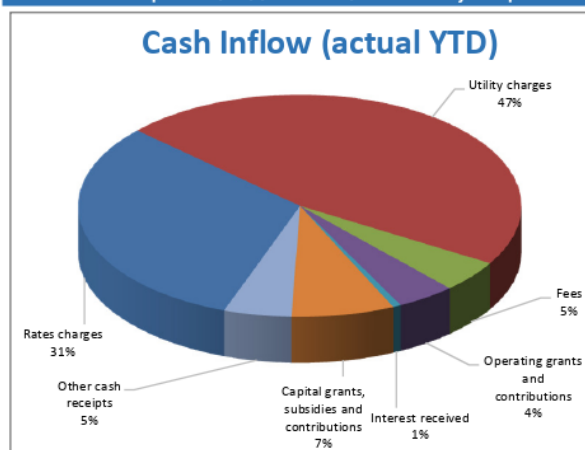
\*\* Other adjustments include transfers between asset classes, revaluation adjustments, prior period adjustments and depreciation thereon.

The Interim Statement of Financial Position will adjust over the coming weeks as the accounts are being finalised and the final results will be reflected in the audited financial statements for the year ended 30 June 2021. The financial statements will be presented as part of the 2020/2021 Annual Report.

## Monthly Financial Report

## 5. INTERIM STATEMENT OF CASH FLOWS

INTERIM STATEMENT OF CASH FLOWS For the period ending 30 June 2021				
	Annual Original Budget \$000	Annual Revised Budget \$000	YTD Revised Budget \$000	YTD Actual \$000
<b>CASH FLOWS FROM OPERATING ACTIVITIES</b>				
Receipts from customers	276,486	278,920	278,920	284,246
Payments to suppliers and employees	(239,435)	(241,818)	(241,818)	(232,467)
	37,051	37,101	37,101	51,779
Interest received	2,999	2,899	2,899	1,995
Rental income	956	1,069	1,069	1,162
Non-capital grants and contributions	14,483	16,189	16,189	14,483
Borrowing costs	(2,052)	(2,052)	(2,052)	(2,048)
Right-of-use assets interest expense	(144)	(144)	(144)	(135)
<b>Net cash inflow / (outflow) from operating activities</b>	<b>53,294</b>	<b>55,063</b>	<b>55,063</b>	<b>67,236</b>
<b>CASH FLOWS FROM INVESTING ACTIVITIES</b>				
Payments for property, plant and equipment	(77,614)	(102,202)	(102,202)	(66,744)
Payments for intangible assets	-	-	-	(162)
Proceeds from sale of property, plant and equipment	1,562	1,562	1,562	1,021
Capital grants, subsidies and contributions	25,922	39,186	39,186	25,418
Short-term investment - CBA	-	-	-	(10,000)
Other cash flows from investing activities*	-	-	-	(3,410)
<b>Net cash inflow / (outflow) from investing activities</b>	<b>(50,131)</b>	<b>(61,455)</b>	<b>(61,455)</b>	<b>(53,877)</b>
<b>CASH FLOWS FROM FINANCING ACTIVITIES</b>				
Proceeds of borrowings	9,612	9,612	9,612	9,612
Repayment of borrowings	(6,361)	(6,361)	(6,361)	(6,369)
Right-of-use lease payment	(1,294)	(1,265)	(1,265)	(1,263)
<b>Net cash inflow / (outflow) from financing activities</b>	<b>1,957</b>	<b>1,986</b>	<b>1,986</b>	<b>1,980</b>
<b>Net increase / (decrease) in cash held</b>	<b>5,120</b>	<b>(4,406)</b>	<b>(4,406)</b>	<b>15,339</b>
Cash and cash equivalents at the beginning of the year	164,145	171,901	171,901	171,901
<b>Cash and cash equivalents at the end of the financial year / period</b>	<b>169,264</b>	<b>167,495</b>	<b>167,495</b>	<b>187,240</b>



<b>Total Cash Funding (Actual YTD)</b>	<b>337,937</b>	<b>Total Cash Expenditure (Actual YTD)</b>	<b>322,598</b>
Total Cash Funding (Annual Revised Budget)	349,437	Total Cash Expenditure (Annual Revised Budget)	353,842
% of Budget Achieved YTD	97%	% of Budget Achieved YTD	91%

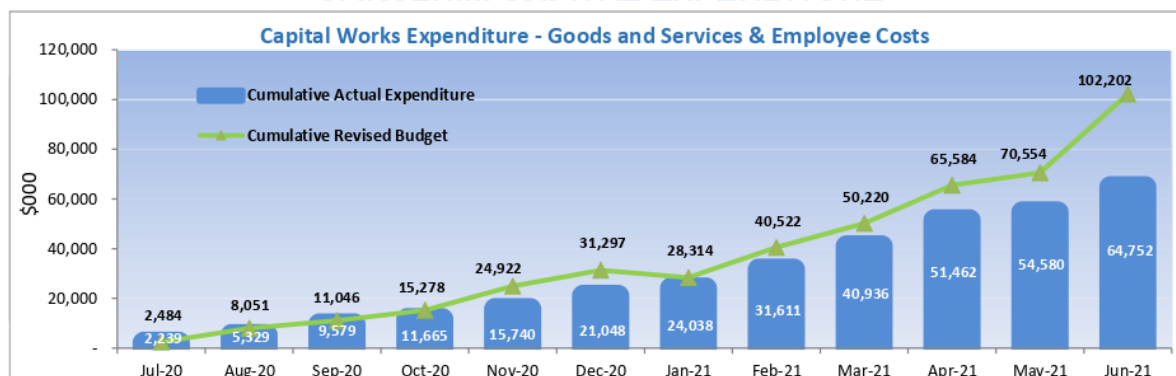
\* Loan drawn down by RIC from February to June 2021.

The Interim Statement of Cash Flows will adjust over the coming weeks as the accounts are being finalised and the final results will be reflected in the audited financial statements for the year ended 30 June 2021. The financial statements will be presented as part of the 2020/2021 Annual Report.



## Monthly Financial Report

## 6. INTERIM CAPITAL EXPENDITURE

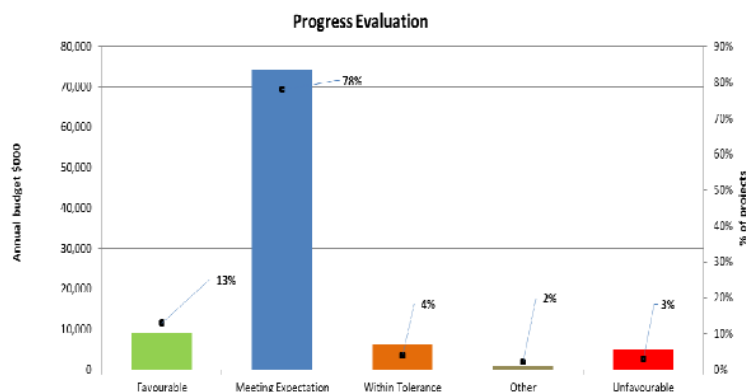


	Annual Revised Budget \$'000	YTD Revised Budget \$'000	YTD Actual \$'000	YTD Variance \$'000
Capitalised goods and services*	93,416	93,416	57,576	(35,840)
Capitalised employee costs	8,786	8,786	7,176	(1,610)
<b>Total</b>	<b>102,202</b>	<b>102,202</b>	<b>64,752</b>	<b>(37,450)</b>

\* Excludes capital prepayments..

## 7. INTERIM PROGRAM AND PROJECT UPDATE

<span style="color: green;">■</span> Favourable (budget under/schedule on track)	<span style="color: blue;">■</span> Meeting expectations (budget and schedule on track)	<span style="color: orange;">■</span> Within tolerance (either budget and schedule not on track)	<span style="color: red;">■</span> Unfavourable (budget and schedule not on track)	<span style="color: brown;">■</span> Other (Schedule to be tracked)
--	---	--	--	---



Programs and projects are what Council uses to introduce change to achieve corporate outcomes. They allow new infrastructure, products, systems, procedures and services to be delivered. Projects may be undertaken on a standalone basis or as part of a program. Programs and projects may span multiple financial years.

Council is currently progressing more than 100 programs and projects.

## Notable Projects

The status of two notable projects are as follows:

Project description	Progress
<b>Drainage Upgrade and Expansion Program</b> This project is for upgrade and expansion of the drainage network which will continue to provide the community with acceptable service levels and reduce network deficiencies and reactive maintenance requirements.	Meeting Expectation
<b>Southern Moreton Bay Islands Waiting Sheds and Shelter Renewal and Upgrades</b> This program is for the construction of waiting sheds on SMBI ferry terminals and bus/transport shelters across Macleay Island.	Meeting Expectation

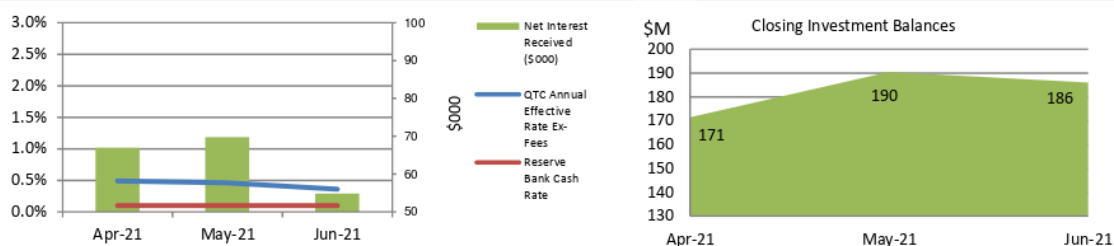
The Interim Capital Funding Statement will adjust over the coming weeks as the accounts are being finalised and the final results will be reflected in the audited financial statements for the year ended 30 June 2021. The financial statements will be presented as part of the 2020/2021 Annual Report.

## Monthly Financial Report

## 8. INTERIM INVESTMENT &amp; BORROWINGS REPORT

For the period ending 30 June 2021

## INVESTMENT RETURNS - QUEENSLAND TREASURY CORPORATION (QTC)



Total QTC Investment at End of Month was \$185.94M

Council investments are currently held predominantly in the Capital Guaranteed Cash Fund, which is a fund operated by the Queensland Treasury Corporation (QTC). In October 2020 \$10M was invested in a term deposit of Commonwealth Bank of Australia (CBA) to maximise interest earnings.

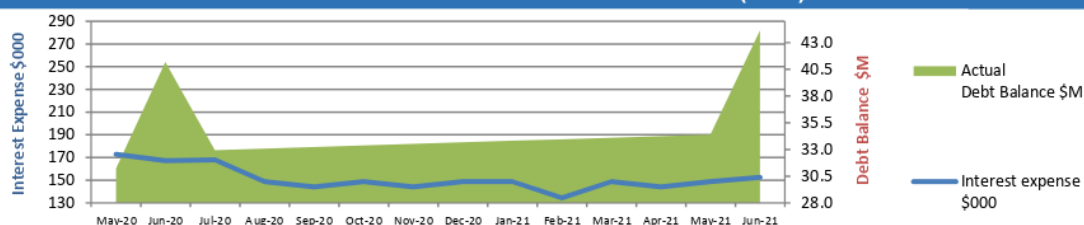
The movement in interest earned is indicative of both the interest rate and the surplus cash balances held, the latter of which is affected by business cash flow requirements on a monthly basis as well as the rating cycle.

Note: the Reserve Bank reduced the cash rate down to 0.10% during November 2020.

On a daily basis, cash surplus to requirements is deposited with QTC to earn higher interest as QTC is offering a higher rate than what is achieved from Council's transactional bank accounts. The current annual effective interest rate paid by QTC is 0.36%. Term deposit rates are being monitored to identify investment opportunities to ensure Council maximises its interest earnings.

Council adopted its Investment Policy (POL-3013) in June 2020 for the 2020/2021 financial year

## BORROWINGS AND BORROWING COSTS (QTC)



The existing loan accounts were converted to fixed rate loans on 1 April 2016 following a QTC restructure of loans and policies. In line with Council's debt policy, debt repayment of \$8.42M, being \$6.37M principal and \$2.05M interest has been made *annually* for 2020/2021 which will result in the loans being repaid approximately one year earlier.

The debt balance shows a decrease as the Annual Debt Service Payment (ADSP) was made during July 2020. Interest will accrue monthly on a daily balance until next ADSP in July 2021 which is reflected in the increasing debt balance.

In June 2021 borrowings of \$9.61M were undertaken as part of Council's Capital Works Plan.

Total Borrowings at End of Month were \$44.15M

Council adopted its Debt Policy (POL-1838) in June 2020 for the 2020/2021 financial year

BORROWINGS  
For the period ending 30 June 2021

	Annual Original Budget \$'000	Annual Revised Budget \$'000	YTD Revised Budget \$'000	YTD Actual Balance \$'000
<b>Borrowings</b>				
Opening balance	(41,273)	(41,178)	(41,178)	(41,178)
Accrued interest on borrowings	(1,789)	(1,789)	(1,789)	(1,780)
Interest paid on borrowings	2,052	2,052	2,052	2,048
Principal repaid	6,361	6,361	6,361	6,369
Loan drawdown	(9,612)	(9,612)	(9,612)	(9,612)
<b>Closing balance</b>	<b>(44,261)</b>	<b>(44,166)</b>	<b>(44,166)</b>	<b>(44,153)</b>

## Monthly Financial Report

## 9. INTERIM CONSTRAINED CASH RESERVES

Reserves as at 30 June 2021	Purpose of reserve	Opening Balance \$000	To Reserve \$000	From Reserve \$000	Closing Balance \$000
<b>Special Projects Reserve:</b>					
Aquatic Paradise Revetment Wall Reserve	To fund Aquatic Paradise revetment wall works program	2	27	(10)	19
Weinam Creek Reserve	Maintenance and improvements associated with Weinam Creek projects	-	618	(616)	2
Waste Levy Reserve	To fund Waste Levy Program	-	4,361	(4,361)	-
Raby Bay Revetment Wall Reserve	To fund Raby Bay revetment wall works program	2,093	2,847	(575)	4,365
Fleet Plant & Capital Equipment Reserve	To support the long term fleet replacement program	2,536	2,986	(1,936)	3,586
		<b>4,631</b>	<b>10,839</b>	<b>(7,498)</b>	<b>7,972</b>
<b>Constrained Works Reserve:</b>					
Public Parks Trunk Infrastructure Reserve	Capital projects for public parks trunk infrastructure	6,662	1,741	(2,206)	6,197
Land for Community Facilities Trunk Infrastructure Reserve	Land for community facilities trunk infrastructure	3,086	1,682	-	4,768
Water Supply Trunk Infrastructure Reserve	Upgrade, expansion or new projects for water supply trunk infrastructure	14,626	428	(297)	14,757
Sewerage Trunk Infrastructure Reserve	Upgrade, expansion or new projects for sewerage trunk infrastructure	10,909	1,862	(2,214)	10,557
Local Roads Trunk Infrastructure Reserve	Capital projects for local roads trunk infrastructure	33,731	4,316	(1,290)	36,757
Cycleways Trunk Infrastructure Reserve	Capital projects for cycleways trunk infrastructure	11,923	1,776	(400)	13,299
Stormwater Trunk Infrastructure Reserve	Capital projects for stormwater trunk infrastructure	10,842	533	(1,479)	9,896
Tree Planting Reserve	Acquisition and planting of trees on footpaths	103	79	(13)	169
Koala Tree off-set Planting Reserve	Acquisition and planting of trees for koala habitat	12	170	(17)	165
		<b>91,894</b>	<b>12,587</b>	<b>(7,916)</b>	<b>96,565</b>
<b>Separate Charge Reserve:</b>					
Environment Charge Maintenance Reserve	Ongoing conservation and maintenance operations	-	8,339	(7,896)	443
SES Separate Charge Reserve	On-going costs of maintaining the Redland SES	38	494	(463)	69
		<b>38</b>	<b>8,833</b>	<b>(8,359)</b>	<b>512</b>
<b>Special Charge Reserve - Canals:</b>					
Aquatic Paradise Canal Reserve*	Maintenance and repairs of Aquatic Paradise canals	758	-	-	758
Sovereign Waters Lake Reserve*	Maintenance and repairs of Sovereign Lake	431	-	-	431
1718 Raby Bay Canal Reserve	Service, facility or activity of works in respect of the canals of the Raby Bay canal estate	219	-	-	219
1718 Aquatic Paradise Canal Reserve	Service, facility or activity of works in respect of the canals of the Aquatic Paradise canal estate	(495)	-	-	(495)
1718 Sovereign Waters Lake Reserve	Service, facility or activity of works in respect of the lake	(56)	-	-	(56)
		<b>857</b>	<b>-</b>	<b>-</b>	<b>857</b>
<b>TOTALS</b>		<b>97,420</b>	<b>32,259</b>	<b>(23,773)</b>	<b>105,906</b>
		Closing cash and cash equivalents			<b>187,240</b>
		Reserves as percentage of cash balance			<b>57%</b>

\*No interest charged for these reserves in 2020/2021 financial year due to low prevailing interest rate.



## Monthly Financial Report

## 10. INTERIM CITY WATER STATEMENTS

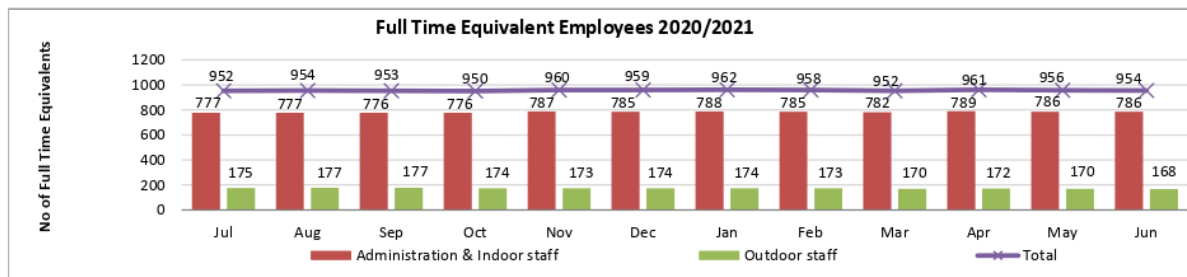
INTERIM CITY WATER SUMMARY OPERATING STATEMENT For the period ending 30 June 2021					
	Annual Original Budget \$000	Annual Revised Budget \$000	YTD Revised Budget \$000	YTD Actual \$000	YTD Variance \$000
Total revenue	122,970	124,190	124,190	124,866	676
Total expenses	71,469	71,476	71,476	69,612	(1,864)
Earnings before interest, tax and depreciation (EBITD)	51,501	52,714	52,714	55,254	2,540
External interest expense	71	71	71	110	39
Internal interest expense	10,621	10,621	10,621	10,621	-
Depreciation	24,142	24,142	24,142	23,965	(177)
Operating surplus / (deficit)	16,667	17,880	17,880	20,558	2,678
INTERIM CITY WATER CAPITAL FUNDING STATEMENT For the period ending 30 June 2021					
	Annual Original Budget \$000	Annual Revised Budget \$000	YTD Revised Budget \$000	YTD Actual \$000	YTD Variance \$000
Capital contributions, donations, grants and subsidies	2,537	2,537	2,537	1,994	(543)
Net transfer (to) / from constrained capital reserves	(2,365)	(374)	(374)	(467)	(93)
Non-cash contributions	3,399	3,399	3,399	1,855	(1,544)
Funding from utility revenue	8,568	10,373	10,373	8,885	(1,488)
Total sources of capital funding	12,138	15,936	15,936	12,267	(3,669)
Contributed assets	3,399	3,399	3,399	1,836	(1,563)
Capitalised expenditure	8,258	12,056	12,056	9,897	(2,159)
Loan redemption	482	482	482	534	52
Total application of capital funds	12,138	15,936	15,936	12,267	(3,669)

## 11. INTERIM CITY WASTE STATEMENTS

INTERIM CITY WASTE OPERATING STATEMENT For the period ending 30 June 2021					
	Annual Original Budget \$000	Annual Revised Budget \$000	YTD Revised Budget \$000	YTD Actual \$000	YTD Variance \$000
Total revenue	35,715	35,639	35,639	35,546	(93)
Total expenses	27,427	27,280	27,280	27,836	556
Earnings before interest, tax and depreciation (EBITD)	8,288	8,359	8,359	7,710	(649)
External interest expense	17	17	17	16	(1)
Depreciation	327	327	327	330	3
Operating surplus / (deficit)	7,943	8,014	8,014	7,364	(651)
INTERIM CITY WASTE CAPITAL FUNDING STATEMENT For the period ending 30 June 2021					
	Annual Original Budget \$000	Annual Revised Budget \$000	YTD Revised Budget \$000	YTD Actual \$000	YTD Variance \$000
Non-cash contributions	-	-	-	-	-
Funding from utility revenue	924	2,729	2,729	2,204	(525)
Total sources of capital funding	924	2,729	2,729	2,204	(525)
Capitalised expenditure	779	2,584	2,584	2,059	(525)
Loan redemption	145	145	145	145	-
Total application of capital funds	924	2,729	2,729	2,204	(525)

## 12. APPENDIX: ADDITIONAL AND NON-FINANCIAL INFORMATION

## Workforce Reporting



June 2021: Headcount		Employee Type			
Department Level		Casual	Full Time	Part Time	Total
Office of CEO and People, Culture and Organisational Performance		5	45	9	59
Organisational Services		3	199	23	225
Community and Customer Services		43	289	65	397
Infrastructure and Operations		8	342	15	365
Total		59	875	112	1,046

Note: Full Time Equivalent Employees includes all full time employees at a value of 1 and all other employees, at a value less than 1. The table above demonstrates the headcount by department. Following Ourspace, the table includes contract of service and temporary personnel. It includes casual staff in their non-substantive roles as at the end of the period where relevant.

## Overdue Rates Debtors &amp; Statistics

Days Overdue	Jun-21	% Overdue	Jun-20	% Overdue	\$ Variance	% Variance	Rates & Charges Statistics	Jun-21	Jun-20
0 - 30	\$444	0.0%	\$6,951,091	2.4%	-\$6,950,647	-2.4%		\$282,705,701	\$273,139,989
31 - 60	\$4,147,672	1.4%	\$279	0.0%	\$4,147,393	1.4%	Levied (Billed) Rates & Charges since 1 July 2020	\$12,988,652	\$9,452,770
61 - 90	\$0	0.0%	\$374	0.0%	-\$374	0.0%	Rate arrears b/fwd 1 July 2020	\$295,694,353	\$282,592,758
91 - 180	\$1,790,975	0.6%	\$1,913,276	0.7%	-\$122,301	-0.1%	Total	\$10,693,344	\$12,988,651
>180	\$4,754,253	1.6%	\$4,123,631	1.5%	\$630,622	0.1%	Balance of overdue rates & charges	3.6%	4.6%
Total	\$10,693,344	3.6%	\$12,988,651	4.6%	-\$2,295,307	-1.0%	Percentage Overdue		

## 13. GLOSSARY

## Key Terms

**Written Down Value:**

*This is the value of an asset after accounting for depreciation or amortisation, and it is also called book value or net book value.*

**Work In Progress:**

*This represents an unfinished project that costs are still being added to. When a project is completed, the costs will be either capitalised (allocated to relevant asset class) or written off.*

## Definition of Ratios

**Operating Surplus Ratio\*:**

*This is an indicator of the extent to which revenues raised cover operational expenses only or are available for capital funding purposes*

Net Operating Surplus

Total Operating Revenue

**Asset Sustainability Ratio\*:**

*This ratio indicates whether Council is renewing or replacing existing non-financial assets at the same rate that its overall stock of assets is wearing out*

Capital Expenditure on Replacement of Infrastructure Assets (Renewals)

Depreciation Expenditure on Infrastructure Assets

**Net Financial Liabilities\*:**

*This is an indicator of the extent to which the net financial liabilities of Council can be serviced by operating revenues*

Total Liabilities - Current Assets

Total Operating Revenue

**Level of Dependence on General Rate Revenue:**

*This ratio measures Council's reliance on operating revenue from general rates (excludes utility revenues)*

General Rates - Pensioner Remissions

Total Operating Revenue - Gain on Sale of Developed Land

**Current Ratio:**

*This measures the extent to which Council has liquid assets available to meet short term financial obligations*

Current Assets

Current Liabilities

**Debt Servicing Ratio:**

*This indicates Council's ability to meet current debt instalments with recurrent revenue*

Interest Expense\*\*\* + Loan Redemption^

Total Operating Revenue - Gain on Sale of Developed Land

**Cash Balance - \$M:**

*Cash balance includes cash on hand, cash at bank and other short term investments.*

Cash Held at Period End

**Cash Capacity in Months:**

*This provides an indication as to the number of months cash held at period end would cover operating cash outflows*

Cash Held at Period End

[[Cash Operating Costs + Interest Expense] / Period in Year]

**Longer Term Financial Stability - Debt to Asset Ratio:**

*This is total debt as a percentage of total assets, i.e. to what extent will our long term debt be covered by total assets*

Current and Non-current Debt\*\*

Total Assets

**Operating Performance:**

*This ratio provides an indication of Council's cash flow capabilities*

Net Cash from Operations + Interest Revenue and Expense

Cash Operating Revenue + Interest Revenue

**Interest Coverage Ratio:**

*This ratio demonstrates the extent to which operating revenues are being used to meet the financing charges*

Net Interest Expense on Debt Service\*\*\*

Total Operating Revenue

\* These targets are set to be achieved on average over the longer term and therefore are not necessarily expected to be met on a monthly basis.

\*\* Debt includes lease liabilities.

\*\*\* Interest expense includes interest on leases.

^ Loan redemption includes lease redemption.

**13.2 AUDIT COMMITTEE 17 JUNE 2021****Objective Reference:** A5463815**Authorising Officer:** John Oberhardt, General Manager Organisational Services**Responsible Officer:** Marita West, Group Manager Corporate Governance (Acting)**Report Author:** Kailesh Naidu, Principal Adviser Internal Audit**Attachments:** 1. Audit Committee Minutes 17 June 2021 [↓](#)**PURPOSE**

To present the minutes of the Audit Committee meeting held on 17 June 2021 to Council for adoption in accordance with section 211 of the *Local Government Regulation 2012*.

**BACKGROUND**

The primary objective of the Audit Committee is to assist Council in fulfilling its corporate governance role and oversight of financial measurement and reporting responsibilities imposed under the *Local Government Act 2009* and other relevant legislation. To fulfil this objective and to enhance the ability of Councillors to discharge their legal responsibility, it is necessary that a written report is presented to Council as soon as practicable after a meeting of the Audit Committee about the matters reviewed at the meeting and the Audit Committee's recommendations about these matters.

**ISSUES**

Refer to the attached minutes of the Audit Committee held on 17 June 2021.

**STRATEGIC IMPLICATIONS****Legislative Requirements**

This report has been prepared in accordance with the requirements of the *Local Government Act 2009* and the *Local Government Regulation 2012*.

**Risk Management**

There are no opportunities or risks as a result of this report.

**Financial**

There are no financial implications as a result of this report.

**People**

There are no implications on people as a result of this report.

**Environmental**

There are no environmental implications as a result of this report.

**Social**

There are no social implications as a result of this report.

**Human Rights**

There are no human rights implications as a result of this report.

**Alignment with Council's Policy and Plans**

Internal Audit Policy (GOV-010-P)

Audit Committee Policy (GOV-011-P)

Corporate Plan 2018-2023 (meeting was held whilst this plan was active)

**CONSULTATION**

Consulted	Consultation Date	Comments/Actions
Audit Committee members and relevant officers	22-29 June 2021	Audit Committee members and relevant officers were consulted to review the minutes prior to being finalised.

**OPTIONS****Option One**

That Council adopt the minutes of the Audit Committee Meeting held on 17 June 2021, as attached to this report.

**Option Two**

That Council resolves to note this report and requests additional information.

**OFFICER'S RECOMMENDATION**

**That Council adopt the minutes of the Audit Committee Meeting held on 17 June 2021, as attached to this report.**



# MINUTES

## AUDIT COMMITTEE MEETING

**Thursday, 17 June 2021**

The Council Chambers  
91 - 93 Bloomfield Street  
CLEVELAND QLD



**AUDIT COMMITTEE MEETING MINUTES****17 JUNE 2021****Order Of Business**

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**AUDIT COMMITTEE MEETING MINUTES**

**17 JUNE 2021**

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**AUDIT COMMITTEE MEETING  
HELD AT THE COUNCIL CHAMBERS, 91 - 93 BLOOMFIELD STREET, CLEVELAND QLD  
ON THURSDAY, 17 JUNE 2021 AT 9:30AM**

**1 DECLARATION OF OPENING**

The Chair declared the meeting open at 9:33am.



**AUDIT COMMITTEE MEETING MINUTES****17 JUNE 2021****2 RECORD OF ATTENDANCE AND APOLOGIES****MEMBERS PRESENT:**

Mr Mitchell Petrie	External Member and Chairperson
Ms Mary Goodwin	External Member
Cr Karen Williams	Councillor Member (Mayor)
Cr Tracey Huges	Councillor Member

**SECRETARY:**

Mr Kailesh Naidu	Principal Adviser Internal Audit
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**APOLOGIES:**

Ms Amanda Daly	Head of People, Culture and Organisational Performance
Mr Bradley Salton	Group Manager, City Assets
Mr Mark Davis	Service Manager, Risk and Liability Services
Mr Peter Kelley	Chief Executive Officer, Redland Investment Corporation
Mr Philip Airey	Director, Queensland Audit Office

**ATTENDEES:**

Mr Andrew Chesterman	Chief Executive Officer
Mr John Oberhardt	General Manager Organisational Services
Ms Louise Rusan	General Manager Community and Customer Services
Dr Nicole Davis	General Manager Infrastructure and Operations
Ms Deborah Corbett-Hall	Chief Financial Officer
Mr Andrew Ross	General Counsel
Mr Tony Beynon	Group Manager, Corporate Governance
Ms Sherry Clarke	Group Manager, City Operations
Ms Leticia O'Donovan	Acting Group Manager, Strategic Asset and Portfolio Management
Mr Glynn Henderson	Group Manager, Corporate Services
Mr David Jeanes	Group Manager, City Planning and Assessment
Ms Joy Manalo	Service Manager Corporate Finance
Mr Michael Tait	Service Manager, Disaster Management
Mr Michael Pattinson	Service Manager, Civil and Traffic Infrastructure Assets
Ms Tracy Mitchell	Risk Management Coordinator
Ms Rukmie Lutherus	Financial Controller, Redland Investment Corporation
Ms Julie O'Brien	Senior Manager, Queensland Audit Office
Ms Ashley Carle	Partner, Bentleys – Queensland Audit Office Representative
Ms Niki Bingham	Partner, Deloitte

**OBSERVERS:**

Cr Wendy Boglary	Councillor, Division 1
Cr Adelia Berridge	Councillor, Division 9
Cr Paul Bishop	Councillor, Division 10

**MINUTES:**

Ms Natalie Merlehan	Corporate Meetings and Registers Coordinator
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AUDIT COMMITTEE MEETING MINUTES

17 JUNE 2021

**3 DECLARATION OF PRESCRIBED CONFLICT OF INTERESTS AND DECLARABLE CONFLICT OF INTERESTS**

Nil

**4 RECEIPT AND CONFIRMATION OF MINUTES****4.1 MINUTES FROM THE AUDIT COMMITTEE OF 18 MARCH 2021**

Minutes of the previous Audit Committee were presented for confirmation.

**COMMITTEE DECISION**

Minutes of the Audit committee of 18 March 2021 were confirmed.

**5 BUSINESS ARISING FROM PREVIOUS MINUTES 18 MARCH 2021**

Business arising from the minutes of the Audit Committee Meeting of 18 March 2021 were presented.

**5.1 Chief Executive Officer to include Workplace Health and Safety Committee highlights and relevant key performance indicators in the update to the Audit Committee.**

*This matter was addressed in item 6.1 by the Chief Executive Officer. This item is closed.*

**5.2 A report be tabled at Audit Committee meetings as a standing item on Redland Investment Corporation's financial reports and significant activities.**

*This matter was addressed in item 7.1 by the Redland Investment Corporation Financial Controller. This item is closed.*

**5.3 Portfolio Management Office to provide a brief overview of status of projects to support the financial report.**

*This matter will be addressed at the 13 August 2021 Audit Committee meeting.*

**5.4 Chief Financial Officer to investigate whether revaluation indices should specifically incorporate any significant changes to design standards and/or regulatory requirements.**

*This matter was addressed at item 8.2 by the Chief Financial Officer. This item is closed.*

**5.5 Chief Financial Officer to provide the technical position papers to the Audit Committee in accordance with the timeframe contained in the 2020-2021 External Audit Plan following the Queensland Audit Office feedback.**

*The matter was addressed at item 8.1 by the Chief Financial Officer. This item is closed.*

**5.6 Interim measures implemented by management for open high risk recommendations to be documented.**

*This matter was addressed in item 12.1 by the Principal Adviser Internal Audit. This item is closed.*

**AUDIT COMMITTEE MEETING MINUTES****17 JUNE 2021****6 UPDATE FROM THE CHIEF EXECUTIVE OFFICER****6.1 UPDATE FROM CHIEF EXECUTIVE OFFICER**

A comprehensive verbal update on general organisational and Council matters was provided by the Chief Executive Officer.

**COMMITTEE DECISION**

The Audit Committee:

1. Noted the update as presented.
2. Requested officers, through the Chief Executive Officer, to comment on workplace, health and safety oversight of contractors.

**7 REDLAND INVESTMENT CORPORATION REPORTS****7.1 DRAFT INTERIM FINANCIAL STATEMENTS 2020-2021**

The Draft Interim Financial Statements 2020-2021 were presented to the Audit Committee by the Redland Investment Corporation Financial Controller.

**COMMITTEE DECISION**

The Audit Committee noted the Draft Interim Financial Statements 2020-2021 for Redland Investment Corporation.

**8 COUNCIL FINANCIAL REPORTS****8.1 END OF MONTH FINANCIAL REPORT APRIL 2021**

Council's End of Month Financial Report for April 2021 was presented by the Chief Financial Officer.

**COMMITTEE DECISION**

The Audit Committee noted the End of Month Financial Report for April 2021.

**8.2 ASSET VALUATION 2020-2021**

An update on the 2020-2021 Asset Valuations was presented by the Chief Financial Officer.

**COMMITTEE DECISION**

The Audit Committee noted the 2020-2021 Asset Valuations.

**8.3 BUDGET 2021-2022**

An update on the 2021-2022 Budget was presented by the Chief Financial Officer.

**COMMITTEE DECISION**

The Audit Committee noted the update on the 2021-2022 Budget.

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**AUDIT COMMITTEE MEETING MINUTES****17 JUNE 2021****9 UPDATE FROM EXTERNAL AUDITORS****9.1 EXTERNAL AUDITORS REPORT**

The Interim Report for 2020-2021 and a briefing paper were presented by Bentleys Chartered Accountants and the Queensland Audit Office.

**COMMITTEE DECISION**

The Audit Committee noted the Interim Report 2020-2021 and the External Auditor's briefing paper as presented.

**14 OTHER BUSINESS (ITEM BROUGHT FORWARD)****14.1 INTERNAL AUDIT CHARTER AND AUDIT COMMITTEE CHARTER**

The *Audit Committee Charter* was brought forward in the Agenda and the Audit Committee discussed the proposed changes.

The remainder of this item *Internal Audit Charter* was discussed at item 14.1 in the order of business.

**COMMITTEE DECISION**

The Audit Committee approved the proposed changes to the Audit Committee Charter.

**10 INTERNAL AUDIT PLAN****10.1 INTERNAL AUDIT PLAN 2020-2021**

The status of Council's Internal Audit Plan for 2020-2021 was presented by the Principal Adviser Internal Audit.

**COMMITTEE DECISION**

The Audit Committee noted the status update on the Internal Audit Plan for 2020-2021.

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**AUDIT COMMITTEE MEETING MINUTES****17 JUNE 2021****10.2 STRATEGIC INTERNAL AUDIT PLAN 2021-2024**

The Strategic Internal Audit Plan for 2021-2024 was presented to the Audit Committee by the Principal Adviser Internal Audit.

**COMMITTEE DECISION**

**The Audit Committee approved the Strategic Internal Audit Plan for 2021-2024.**

**10.3 AUDIT COMMITTEE MEETINGS PLAN 2021-2022**

The Audit Committee Meetings Plan for 2021-2022 was presented by the Principal Adviser Internal Audit.

**COMMITTEE DECISION**

**The Audit Committee:**

- 1. Approved the Audit Committee Meetings Plan for 2021-2022.**
- 2. Requested the Principal Adviser Internal Audit to include the Audit Committee Meetings Plan (Audit Committee Charter obligations) as an appendix to future Agenda papers.**

**11 INTERNAL AUDIT REPORTS****11.1 INTERNAL AUDIT REPORTS ISSUED**

Internal Audit reports issued since the last Audit Committee were presented by Deloitte, Council's co-source internal audit partner, and the Principal Adviser Internal Audit. The respective Group Managers spoke to the progress of the recommendations made in each report.

**COMMITTEE DECISION**

**The Audit Committee:**

- 1. Noted the Internal Audit reports as presented.**
- 2. Requested Group Manager Corporate Services to provide an update on fleet operations audit recommendations at the next meeting.**
- 3. Requested Group Manager Strategic Asset and Portfolio Management to provide an update on the asset data management pilot program and any issues which have been identified at a future Audit Committee.**

**AUDIT COMMITTEE MEETING MINUTES****17 JUNE 2021****12 AUDIT RECOMMENDATIONS DUE FOR IMPLEMENTATION****12.1 AUDIT RECOMMENDATIONS DUE FOR IMPLEMENTATION**

An update on the status of the Internal Audit recommendations as at 8 June 2021 for Redland City Council and Redland Investment Corporation was provided by the Principal Adviser Internal Audit. The relevant recommendation owners spoke to the implementation of the overdue recommendations.

**COMMITTEE DECISION**

The Audit Committee:

1. Noted the update provided on the recommendations currently tracked for implementation.
2. Requested the Group Manager Corporate Governance to provide an achievable timeframe for the implementation of the system-based gifts register.

**13 RISK MANAGEMENT****13.1 RISK MANAGEMENT UPDATE**

An update of Council's risk management activities was provided by the Risk Management Coordinator.

**COMMITTEE DECISION**

The Audit Committee:

1. Noted the update on risk management activities.
2. Requested for a report to be presented by the Service Manager Risk and Liability Services on Council's risk appetite and tolerance levels.

**14 OTHER BUSINESS****14.1 INTERNAL AUDIT CHARTER AND AUDIT COMMITTEE CHARTER**

The changes to the Internal Audit Charter were presented by the Principal Adviser Internal Audit.

**COMMITTEE DECISION**

The Audit Committee approved the changes proposed to the Internal Audit Charter.

**14.2 FRAUD AND CORRUPTION PREVENTION GUIDELINE**

Council's Fraud and Corruption Prevention Guideline was presented by the Principal Adviser Internal Audit.

**COMMITTEE DECISION**

The Audit Committee:

1. Noted Council's updated Fraud and Corruption Prevention Guideline as presented.
2. Requested the Principal Adviser Internal Audit to present the Guideline at the August Audit Committee to allow for further deliberation.

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**AUDIT COMMITTEE MEETING MINUTES****17 JUNE 2021**

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**15 MEETING CLOSURE**

The Meeting closed at 12:23pm.

The minutes of this meeting will be confirmed at the Audit Committee Meeting scheduled on 13 August 2021.

.....  
CHAIRPERSON

### 13.3 2021 LGAQ CONFERENCE AND REDLAND CITY COUNCIL MOTIONS

**Objective Reference:** A5509804

**Authorising Officer:** John Oberhardt, General Manager Organisational Services

**Responsible Officer:** Marita West, Group Manager Corporate Governance (Acting)

**Report Author:** Lizzi Striplin, Governance Service Manager (Acting)

**Attachments:**

1. LGAQ Motion - Funding for Prevention of Domestic and Family Violence [↓](#)
2. LGAQ Motion - Adequate Car Parking for Commuters at Queensland Railway Stations [↓](#)

#### PURPOSE

- To advise Council of the 2021 Local Government Association of Queensland (LGAQ) Annual Conference to be held in Mackay from 25-27 October 2021.
- To nominate a maximum of two Councillors as official delegates at the Conference.
- To allocate Council's voting rights for the Conference to the official delegate/s.
- To endorse the motions that Council intends to put forward at the Conference.

#### BACKGROUND

The LGAQ's 125th Annual Conference is to be held in Mackay from 25-27 October 2021. It is the principal conference in Queensland relating to local government. The conference brings together delegates from all tiers of government, external stakeholders and the media, to consider the challenges facing local government and their communities.

A diverse group of speakers will be presenting at the conference on a range of topics.

#### ISSUES

As a full member of the LGAQ, Council can send two official delegates to the conference.

Other attendees are also welcome to attend.

Council is entitled to vote on any motions put forward by members. Council has six votes at the conference, which can be wholly exercised by one delegate or split in any proportion that Council determines between two delegates.

Local governments are also invited to put forward motions for discussion on any subject pertaining to matters of common concern to members (local governments). Council proposes to put forward the attached motions.

#### STRATEGIC IMPLICATIONS

##### Legislative Requirements

There are no legislative requirements associated with this report.

##### Risk Management

Non-attendance by Council at the conference results in a lost opportunity for Redland City Council to voice its views in matters being considered (voted on) at the conference and sharing current issues and proposals relevant to local government.



## Financial

This recommendation does not require any change to the current year's budget as funds have already been allocated. There are no conference fees for Council's official delegates, as the cost of attendance for two representatives is included in Council's annual membership to the LGAQ. Accommodation and travel costs for the conference are included in the 2021-2022 operational budget.

## People

Council's representation at the conference provides the opportunity for Councillors to keep well-informed of contemporary and emerging issues in local government and to network with leaders within local government and other elected representatives from across Queensland.

## Environmental

There are no environmental issues associated with this report.

## Social

Attendance at the conference supports Councillors to provide the highest level of leadership to the organisation and the Redlands Coast community.

## Human Rights

There are no human rights considerations associated with this report.

## Alignment with Council's Policy and Plans

The recommendation primarily supports Council's Our Future Redlands – A Corporate Plan to 2026 and Beyond – Goal 7: Efficient and Effective Organisation.

## CONSULTATION

Consulted	Consultation Date	Comments/Actions
Councillors	16 June 2021	Email sent to call for motions for the conference
Executive Leadership Team	16 June 2021	Email sent to call for motions for the conference
Senior Leadership Team	16 June 2021	Email sent to call for motions for the conference
Operational Leadership Group	16 June 2021	Email sent to call for motions for the conference

## OPTIONS

### Option One

That Council resolves as follows:

1. To nominate two Councillors as official delegates at the 2021 LGAQ Annual Conference.
2. To split the voting rights at the conference equally between the two official delegates.
3. To endorse the attached motions for submission to the 2021 LGAQ Annual Conference.

### Option Two

That Council resolves as follows:

1. That Council nominate one Councillor as the official delegate at the 2021 LGAQ Annual Conference with full voting rights.

2. That the attached motions are endorsed for submission to the 2021 LGAQ Annual Conference.

**Option Three**

That Council is not represented at the 2021 LGAQ Annual Conference.

**OFFICER'S RECOMMENDATION**

That Council resolves as follows:

1. To nominate two Councillors as official delegates at the 2021 LGAQ Annual Conference.
2. To split the voting rights at the conference equally between the two official delegates.
3. To endorse the attached motions for submission to the 2021 LGAQ Annual Conference.

## LGAQ ANNUAL CONFERENCE MOTION – 2021

<b>Title of Motion</b>	Funding for Prevention of Domestic and Family Violence
<b>Category</b>	Community Services and Social Policy
<b>Motion</b>	That the Local Government Association of Queensland lobbies the State Government to provide recurrent funding for local services that provide support and programs for the prevention of the Domestic and Family Violence crisis in the State.
<b>Background</b>	<p>Domestic violence can be exhibited in many forms, including physical violence, sexual abuse, emotional abuse, intimidation, economic deprivation or threats of violence. Programs are currently being implemented across the world to re-educate offenders. The way forward is prevention.</p> <p>There is a pilot program in Redland City that provides perpetrator support for men only, however perpetrators are not just men. The program assists perpetrators to find alternative solutions to their adverse behaviour and to reduce impacts of domestic violence within our Community.</p> <p>Associations involved in the prevention of domestic violence require funding which is usually directed toward victims, to assist those already impacted. If increased funding could be given to assist possible perpetrators, then the overall cost to the community – emotionally, physically and economically - caused by domestic violence, may be reduced.</p>
<b>What is the desired outcome sought?</b>  <b>(Include the specific funding, legislative change or other mechanism to resolve the issue. Include the positive and/or negative impact to the Local Government Sector)</b>	<p>To provide a holistic approach to the prevention of Domestic and Family Violence in our community by:</p> <ul style="list-style-type: none"> <li>• Directing sufficient funding to programs that can assist with prevention of domestic violence, and education in managing adverse behaviours.</li> <li>• Recognising and supporting prevention support groups to the same level as the victims of domestic violence groups.</li> <li>• Seeking recognition of associations and programs for perpetrators and ensuring sufficient funding is allocated in this area, without reducing funding to victims.</li> </ul>

## LGAQ ANNUAL CONFERENCE MOTION – 2021

<b>Title of Motion</b>	Adequate Car Parking for Commuters at Queensland Railway Stations
<b>Category</b>	Connectivity, Communications and Innovation
<b>Motion</b>	That the Local Government Association of Queensland lobbies the State Government to supply sufficient infrastructure, including car parking, at Queensland Railway Stations to accommodate and encourage use of public transport such as trains.
<b>Background</b>	<p>South East Queensland is one of the fastest growing regions in Australia and with this influx of density, Redlands like other areas, has increased pressures placed on our road network. There is a need to encourage people to use public transport and this includes making the transport hubs user friendly for all stakeholders.</p> <p>All areas have seen City Plans changed over the past 10 years to increase density in close proximity to transport nodes such as train stations for more efficient use of existing infrastructure and to mitigate urban sprawl. This "infill" has impacted on existing residents and public transport commuters.</p> <p>At present, the increased impacts of lack of car parking in particular, is a disincentive for use and also has placed an unacceptable burden on what were once quiet neighbourhood streets.</p>
<b>What is the desired outcome sought?</b>  <b>(Include the specific funding, legislative change or other mechanism to resolve the issue. Include the positive and/or negative impact to the Local Government Sector)</b>	That more funding be allocated to Queensland Railway Stations for car parking, including the consideration of land purchases for future planning, to encourage usage and to mitigate impacts on existing residents.

### 13.4 STRATEGIC CONTRACTING PROCEDURES

**Objective Reference:** A5531401

**Authorising Officer:** Andrew Ross, General Counsel

**Responsible Officer:** Andrew Ross, General Counsel

**Report Author:** Andrew Ross, General Counsel

**Attachments:**

1. LSV-001-P Corporate Procurement Policy [↓](#)
2. Annual Contracting Plan [↓](#)
3. Council Resolution 23 October 2013 [↓](#)

#### PURPOSE

To adopt the attached Corporate Procurement Policy and Annual Contracting Plan 2021-22 as per the Strategic Contracting Procedures (SCP) under Chapter 6, Part 2 of the *Local Government Regulation 2012* (LGR 2012).

To delegate to the Chief Executive Officer (CEO) the power to enter into contracts and authorise expenditure consistent with Council's adopted 'Financial Management Systems' and budget as described in sections 104 and 262 of the *Local Government Act 2009* (LGA 2009).

#### BACKGROUND

The report recommends Council continue its Strategic Contracting Procedures to its procurement and contracting activity as first adopted by Council on 22 July 2020.

The SCP use a multiyear category management approach to procurement and contracting activity providing greater visibility of spending activity across all service levels. The SCP increases the ability to influence not only economic values, through bulk buying and local precinct planning, but social and sustainable quadruple bottom outcomes that require longer planning cycles, reviewing supply chain risks and opportunities; and community and market engagement on service levels that single year transactional contracting does not provide.

The report also recommends Council issue a new financial contracting delegation to the CEO, last reviewed in 2013, to strengthen SCP support and continued operational improvements to enter into contracts that are consistent with the adopted Financial Management Systems and budget as:

1. Contract commitments up to \$10 million excluding GST.
2. Utility contracts, including electricity, water, waste and gas.
3. Government Grants and Funding Contracts.
4. Urgent or emergency contracts.

The new delegation has been benchmarked across other SEQ Councils where contract delegations vary from capped financial thresholds to uncapped financial thresholds, noting all delegations are conditioned by each Council's Financial Management Systems, Budget and Corporate Policies.

The delegation has existing risk and probity controls with finances reported to Council's monthly meeting and contracting arrangements published monthly on Council's website. Probity also forms part of the Audit Committee and the 2021-22 Operational Plan quarterly reporting.

The new financial threshold delegation provides a partly capped \$10m threshold that provides operational efficiencies to deal directly with an adopted annual budget of \$327m including a \$70 million-plus capital investment to maintain assets valued in the order of \$2.88 billion across

multiple asset types including approximately 1300km of roads and stormwater, 1310km of water mains, 1200km sewer mains, 134 bridges. The financial threshold cap is balanced against continuing operational service arrangements related to utilities and electricity for street lighting, power waste water treatment plants, libraries, pools and community parks; and respond to urgent and emergencies, for example marine and coastal infrastructure; and, apply for government funding grants and opportunities, for example Local Government Grants and Subsidies programs, to support in particular the broader community recovery from the Covid-19 Pandemic.

The Annual Contracting Plan details the types of goods, services and work and disposal of assets to be procured or disposed by Council consistent with its Financial Management Systems and budget. The Plan is published on Council's website together with other resources including the Strategic Contracting objectives, Upcoming Tenders, Advice on Submitting Tenders and the statutory sound contracting principles that legislate the quadruple bottom line under s104 of the *LGA 2009*.

### **Corporate Procurement Policy and Key Initiatives and Performance Indicators.**

There is an administrative change to the Corporate Procurement Policy to reflect the new Corporate Plan to 2026 and Beyond. The procurement key initiatives for 2021-22 is reported in the Operational Plan including:

1. Increase local social benefit through Council's procurement and contracting activities.
2. Implement a new Contract Management System to centralise contract performance.

Key Performance Indicators (KPIs) are established on five themes as they relate to internal process efficiencies, risk and compliance related transactions and local, regional and contracted spend.

## **STRATEGIC IMPLICATIONS**

### **Legislative Requirements**

The Corporate Procurement Policy and Annual Contracting Plan 2021-22 must be reviewed and adopted annually under Chapter 6, Part 2 of the *LGR 2012*.

The Chief Executive Officer delegation to enter into contracts consistent with Council's adopted 'Financial Management Systems' as described in sections 104 and 262 of the *LGA 2009*.

### **Risk Management**

The Strategic Contracting Procedures is an approach that identifies potential opportunities and public benefits while managing adverse risks as per section 217(2) of the *LGR 2012*. The State Government Value Risk Matrix is part of SCP Procurement and Contracting Manual to carry out a market assessment of contract types to assess the relative cost and difficulty in securing supply under each type of contract as per the requirements of s220 of the *LGR 2012*.

### **Financial**

The costs and benefits of applying the Strategic Contracting Procedures was reported to Council on 20 November 2019 and continues to drive internal efficiencies and external benefits as reported annually. The strategic approach cost no more, and likely less than the costs associated with maintaining the previous procurement framework under the Default Contracting Procedures. The current financial delegation to the CEO was last reviewed over seven years ago at \$2m as per the attached resolution dated 23 October 2013 and the recommended change is aligned to the SCP.

## People

The internal resourcing of the SCP is part of the Procurement Transformation Program reported through Council's Portfolio Management Office and Operational Plan 2021-22.

## Environmental

The SCP is based on the sound contracting principles and quadruple bottom line where contracting must have regard to the environmental protection principles under s104 *LGA 2009*.

## Social

The SCP aligns to the Corporate Plan and related Community Surveys on Local Supplier Benefits; the objectives of the Economic Development Framework 2014 to 2041 and the Financial Strategy 2021 to 2031 to maintain Council's financial and infrastructure capital over the long term.

## Human Rights

The SCP enable human rights for social, indigenous, sustainable and financial beneficial outcomes.

## Alignment with Council's Policy and Plans

*Local Government Act 2009*

*Local Government Regulation 2012*

Corporate Plan to 2026 and Beyond and Operational Plan 2021-22 (Goal 7: Efficient and Effective Organisation: Objective 7.4 Key Initiative Activity - Procurement Transformation Program)

Integrated Planning Framework 2018

LSV-001-P Corporate Procurement Policy

LSV-001-SD Procurement and Contract Manual (adopted 22 July 2020)

GOV-005-P Delegation of Powers and Appointment of Authorised Persons Policy

GOV-005-001-G Delegation of Powers and Appointment of Authorised Persons

## CONSULTATION

Consulted	Consultation Date	Comments/Actions
Procurement Transformation Steering Committee	Quarterly	The Committee consists of key internal stakeholders and subject matter experts to assist the implementation of the Procurement Transformation Project initiatives

## OPTIONS

### Option One

That Council resolves as follows:

1. To adopt the Corporate Procurement Policy and Annual Contracting Plan 2021-22 as per the Strategic Contracting Procedures under Chapter 6, Part 2 of the *Local Government Regulation 2012*.

2. To delegate to the Chief Executive Officer under section 257(1)(b) of the *Local Government Act 2009*, the power to authorise expenditure on behalf of Council as described in this report.

### **Option Two**

That Council resolves to not adopt the Corporate Procurement Policy and Annual Contracting Plan 2021-22 and request further information and clarification.

### **OFFICER'S RECOMMENDATION**

**That Council resolves as follows:**

1. To adopt the Corporate Procurement Policy and Annual Contracting Plan 2021-22 as per the Strategic Contracting Procedures under Chapter 6, Part 2 of the *Local Government Regulation 2012*.
2. To delegate to the Chief Executive Officer under section 257(1)(b) of the *Local Government Act 2009*, the power to authorise expenditure on behalf of Council as described in this report.





# Corporate Procurement Policy

Policy Identifier:	LSV-001-P
Approved by:	General Meeting
Date of Approval:	22 July 2020
Effective Date:	22 July 2020
Review Date:	22 July 2023
Version:	11

## Head of Power

*Local Government Regulation 2012* (Qld) Section 198 requires Council to prepare and adopt a procurement Policy and review the Policy annually.

The Policy sets out Council's framework for its procurement and contracting activities in a manner that complies with applicable laws, including s.104 of the *Local Government Act 2009* (Qld) and the *Local Government Regulation 2012* (Qld).

*Corporate Plan 2018-2023 – Outcomes* 6 Supportive and vibrant economy and 8 Inclusive and ethical governance

## Policy Objective

To set out Council's framework for its procurement and contracting activities in a manner that complies with applicable laws.

Council has adopted the Strategic Contracting Procedures under Part 2 of Chapter 6 of the *Local Government Regulation 2012* for its contracting arrangements and disposal of valuable non-current assets, excluding land.

This Policy has been established to be consistent with legislation which applies to Procurement. Relevant legislation will prevail to the extent of any inconsistency between this Policy and legislation. Council's goal to reduce red tape and save public funds will also be a consideration in Council's annual review of this Policy and its procurement practices.

## Policy Statement

Redland City Council, through its Corporate Plan, is committed to enriching community lifestyles and making a positive difference in our customers' lives through the services we provide. We are forward thinking, engaged and strive to maintain the highest standards of service to ensure we are delivering real value.

Council is committed to:

- Developing systems that allow Council to carry out Procurement in a manner that is consistent with the Sound Contracting Principles outlined in detail in the Procurement Manual which are:
  - i. Value for money; and
  - ii. Open and effective competition; and
  - iii. The development of competitive local business and industry; and
  - iv. Environmental protection; and
  - v. Ethical behaviour and fair dealing.



## Corporate Procurement Policy

- Ensuring integrity, accountability and transparency in the way in which Redland City Council undertakes procurement.
- Ensuring all procurement processes are conducted in accordance with the requirements of this Policy and any associated policies, manuals, guidelines, procedures and standards.
- Ensuring compliance with *Local Government Regulation 2012* Strategic Contracting Procedures (Chapter 6, Part 2, ss. 217-222) and apply a principles based approach to all procurement activities founded on Sound Contracting Principles of s104 of the *Local Government Act 2009* to its Procurement.
- Conduct procurement and contracting activities within a sound governance and probity environment consistent with the Delegation of Powers and Appointment of Authorised Persons Policy.
- Encourage sustainable and innovative procurement practices.
- The efficient and timely delivery of Council's capital works, operational and service delivery programs.
- Achieving value for money for Council.
- Promoting an open, efficient and competitive market place for suppliers, including the ability for market led proposals.
- Implementing procurement processes that are ethical and fair.
- Developing local and indigenous business and industry.
- Promoting, developing and utilising the services of social enterprises.

### Definitions

Term	Definition
Procurement	The acquisition through purchase or lease of real property, goods or other products (including intellectual property), works or services.
Corporate Plan	See Section 104 (5) of the <i>Local Government Act 2009</i> (Qld).
Governance	The framework of rules, relationships, systems and processes by which the Council is directed
Probity	Evidence of ethical behaviour, and can be defined as complete and confirmed integrity, uprightness and honesty in procurement activity.
Sustainable Procurement	The meeting of business needs for materials, goods, utilities and services in an environmentally-friendly, responsible and ethical way.
Contract	A contract (including purchase orders and purchase card transactions) for: (d) the supply of goods or services; or (e) the carrying out of work; or (f) the disposal of non-current assets. In this instance, the term does not include a contract of employment between Council and a Local Government Employee (as defined in the LGA 2009)
Social Procurement	A strategic approach to meeting social objectives through procurement and in particular providing employment opportunities via procurement to disadvantaged communities.

### Associated Documents

Governance Policy ([A196640](#))  
 Employee Code of Conduct ([A196608](#))  
 Delegation of Powers and Appointment of Authorised Persons Policy ([A3154860](#))  
 Fraud and Corruption Prevention ([A3155236](#))  
 Information Privacy ([A176868](#))

For Corporate Governance Use Only

Department: Organisational Services

Group: General Counsel

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# Corporate Procurement Policy

Procurement and Contract Manual ([A214677](#))

Council's current Operational Plan ([A3913090](#))

*Local Government Act 2009* (Qld)

*Local Government Regulation 2012* (Qld)

## Document Control

Only Council can approve amendments to this document by resolution of a General Meeting, with the exception of administrative amendments which can be approved by the relevant ELT member. Refer to *Policy Instrument Development Manual* for an explanation on administrative amendments ([A4063988](#)).

Any requests to change the content of this document must be forwarded to relevant Service Manager(s).

Approved documents must be submitted to the Corporate Meetings and Registers Team for registration.

## Version Information

Version number	Date	Key Changes
4	December 2012	<ul style="list-style-type: none"> <li>Change to incorporate local Preference Policy</li> </ul>
5	June 2013	<ul style="list-style-type: none"> <li>Change in line with the Local Government Regulations 2012 (Qld).</li> </ul>
6	May 2014	<ul style="list-style-type: none"> <li>Annual Review incorporating more detail and legislative requirements</li> </ul>
7	November 2015	<ul style="list-style-type: none"> <li>Annual Review – No change</li> </ul>
8	November 2016	<ul style="list-style-type: none"> <li>Annual Review – No change</li> </ul>
9	November 2017	<ul style="list-style-type: none"> <li>Annual Review - Updated 'Head of Power' include Council Corporate Plan 2018-2023.</li> <li>Updated Council Corporate Plan 2018-2023 Section with reference to Policy alignment to the corporate plan under legislative requirements specific reference to the integration of council's strategic priorities.</li> <li>Updated definitions</li> <li>Updated document control as per POL-001 Policy Guidelines and Procedure Development Manual</li> <li>Updated associated documents</li> </ul>
10	November 2019	<ul style="list-style-type: none"> <li>Administrative changes in line with Policy framework review</li> </ul>
11	July 2020	<ul style="list-style-type: none"> <li>Added information to objective around strategic contracting procedures</li> <li>Updated referenced Section number under LGR2012 strategic contracting procedures under Policy statement</li> <li>Updated dot points 6, 9 and 11 under Policy statement</li> <li>Deleted default contracting procedure from definitions table</li> </ul>

ANNUAL CONTRACTING PLAN - 2021/2022 Financial Year

Attachment 2

The Annual Contracting Plan adopts the Council Budget Estimates and Financial Strategy (and Delegation Policy) for the Financial year estimating the types of contracting and service arrangements, principles and strategies for the financial year. The Annual Contracting Plan also provides greater detail below are contracts in relation to major construction (works) and goods and services, against which Council, or its delegate, may elect to negotiate a contract variation, extension or exercise an existing option rather than engaging the market to enter into a new contract; subject to contract performance, sound contracting principles, procurement and delegated authority procedures.

Exceptions under Chapter 6, Part 2 and Part 3 of the Local Government Regulation 2012 and Schedule A of the Procurement and Contract Manual continue to apply to all contract arrangements in accordance with the Council Budget, Procurement Policy and related delegation instruments and procedures. Operational, Administrative, Business transactions, Utilities including electricity and Asset disposals not specifically identified in the Contracting Plan will continue in accordance with Council Budget, Procurement Policy, Contract Manual and related delegation instruments and procedures.

Q1 = July, Aug, Sept; Q2 = Oct, Nov, Dec; Q3 = Jan, Feb, March; Q4 = April, May, June.

**EXPLANATORY NOTES**  
Portfolio ID / Job Number / Tender and/or Contract Number - is an internal Council reference  
Benefit - is a reference to expected quadruple bottom line benefits arising from the Procurement activity (Economic/Social/Environmental/Governance) in accordance with Council's Strategic Contracting Objectives

MAJOR CONSTRUCTION (All Values)

Detailed below are major Council programs (programs are defined as programs of like work) and projects against which major procurement activity is scheduled to occur during the 2021-22 financial year and later. The 'Estimated Value of contracts...' column shows an estimate of the sum of the procurement for which Council is scheduled to engage the market in 2021-22 and later. Where the 'Estimated Value of contracts...' for a project or program detailed below

Contract Grouping	Category	Job Number	Portfolio Description	Portfolio Summary	Value (Estimated Spend over the Contract Period) GST	Contract Type	Benefit (Quadruple Bottom Line)	VRM Category	Market Approach	Expected Quarter to Market	Contract Owner	Contract Manager
Contract 1	Roads	43971	LGIPTRL-105/87 Wellington St & Panorama Dr Upgrade	Road Renewals	\$10,791,958	Strategic	Governance	Strategic	Tender/Contract(s) to be awarded under delegation Tenders website	Q1 - Q 4 Refer to Council's Upcoming Tenders website		
Contract 2	Water & Sewerage	64516	Sewer Manhole Refurbishment	Asset Renewal Program - Sewerage & Water	\$400,000	Focused	Governance	Focused	Tender/Contract(s) to be awarded under delegation Tenders website	Q1 - Q 4 Refer to Council's Upcoming Tenders website		
Contract 3	Marine & Foreshore	43874	Revetment Wall Stabilisation - Seacrest Court (Eastern End)	Asset Renewal Program - Marine	\$527,935	Strategic	Environmental, Governance	Strategic	Tender/Contract(s) to be awarded under delegation Tenders website	Q1 - Q 4 Refer to Council's Upcoming Tenders website		
Contract 4	Parks & Gardens	80050	Bus Shelter & Seat Renewal Program	Asset Renewal Program - Bus Shelters	\$2,548,500	Focused	Social, Governance	Focused	Tender/Contract(s) to be awarded under delegation Tenders website	Q1 - Q 4 Refer to Council's Upcoming Tenders website		
Contract 6	Water & Sewerage	63132	Victoria Point WWTP Dewatering Improvements Project	Asset Renewal Program - Sewerage & Water	\$2,220,000	Strategic	Environmental, Governance	Strategic	Tender/Contract(s) to be awarded under delegation Tenders website	Q1 - Q 4 Refer to Council's Upcoming Tenders website		
Contract 7	Water & Sewerage	64515	LGIP FGM-CL-03/04/07 Kinross Rd Dev Sewerage Trunk Infrs	Asset Renewal Program - Sewerage & Water	\$2,986,304	Strategic	Environmental, Governance	Strategic	Tender/Contract(s) to be awarded under delegation Tenders website	Q1 - Q 4 Refer to Council's Upcoming Tenders website		
Contract 8	Repairs & Maintenance	20758	Concert Hall Roof Renewal	Asset Renewal Program - Buildings	\$300,000	Focused	Economic, Social, Governance	Focused	Tender/Contract(s) to be awarded under delegation Tenders website	Q1 - Q 4 Refer to Council's Upcoming Tenders website		
Contract 9	Roads	44665	Mt Cotton Rd (Larabona To Degan)	Road Renewals	\$1,000,000	Focused	Governance	Governance	Tender/Contract(s) to be awarded under delegation Tenders website	Q1 - Q 4 Refer to Council's Upcoming Tenders website	Infrastructure & Operations	Tender & Contracts (Project Delivery Group)
		44666	Mt Cotton Rd (Degan To Mt Cotton)		\$750,000		Governance		Tender/Contract(s) to be awarded under delegation Tenders website	Q1 - Q 4 Refer to Council's Upcoming Tenders website		
		42790	Regional Road Alliance Program		\$0		Governance		Tender/Contract(s) to be awarded under delegation Tenders website	Q1 - Q 4 Refer to Council's Upcoming Tenders website		
		40519	Roads to Recovery Program		\$0		Governance		Tender/Contract(s) to be awarded under delegation Tenders website	Q1 - Q 4 Refer to Council's Upcoming Tenders website		
		43823	Victoria Point Boat Ramp Carpark Renewal		\$200,000		Governance		Tender/Contract(s) to be awarded under delegation Tenders website	Q1 - Q 4 Refer to Council's Upcoming Tenders website		
		44253	Road Renewal - Allendale Place ( Brompton Street To End )		\$11,746		Governance		Tender/Contract(s) to be awarded under delegation Tenders website	Q1 - Q 4 Refer to Council's Upcoming Tenders website		
		44254	Road Renewal - Buckingham Street ( King Street To End )		\$24,598		Governance		Tender/Contract(s) to be awarded under delegation Tenders website	Q1 - Q 4 Refer to Council's Upcoming Tenders website		
		44255	Road Renewal - Crotona Road East ( Randwick Street To End )		\$387,226		Governance		Tender/Contract(s) to be awarded under delegation Tenders website	Q1 - Q 4 Refer to Council's Upcoming Tenders website		
		44256	Road Renewal - Chipping Drive ( Wimmourne Road To 21 Chippin		\$25,778		Governance		Tender/Contract(s) to be awarded under delegation Tenders website	Q1 - Q 4 Refer to Council's Upcoming Tenders website		
		44257	Road Renewal - Cymbidium Street ( Maranta Street To End )		\$30,555		Governance		Tender/Contract(s) to be awarded under delegation Tenders website	Q1 - Q 4 Refer to Council's Upcoming Tenders website		
		44260	Road Renewal - Edward Street ( Garter Street To William Stre		\$68,029		Governance		Tender/Contract(s) to be awarded under delegation Tenders website	Q1 - Q 4 Refer to Council's Upcoming Tenders website		
		44263	Road Renewal - Jenmar Court ( Tudar Place To End )		\$22,473		Governance		Tender/Contract(s) to be awarded under delegation Tenders website	Q1 - Q 4 Refer to Council's Upcoming Tenders website		
		44264	Road Renewal - Garter Street ( Maranta St To Princeton )		\$38,321		Governance		Tender/Contract(s) to be awarded under delegation Tenders website	Q1 - Q 4 Refer to Council's Upcoming Tenders website		
		44265	Road Renewal - King Street ( Queenscours To Hampton St )		\$33,435		Governance		Tender/Contract(s) to be awarded under delegation Tenders website	Q1 - Q 4 Refer to Council's Upcoming Tenders website		
		44266	Road Renewal - Mackay Court ( Abelia St To Cds )		\$92,147		Governance		Tender/Contract(s) to be awarded under delegation Tenders website	Q1 - Q 4 Refer to Council's Upcoming Tenders website		
		44267	Road Renewal - Remita Court ( Abelia St To Cds )		\$42,752		Governance		Tender/Contract(s) to be awarded under delegation Tenders website	Q1 - Q 4 Refer to Council's Upcoming Tenders website		
		44268	Road Renewal - Ravensworth Place ( Brompton To Cds )		\$38,241		Governance		Tender/Contract(s) to be awarded under delegation Tenders website	Q1 - Q 4 Refer to Council's Upcoming Tenders website		
		44269	Road Renewal - Rana Court ( Abelia St To Cds )		\$41,552		Governance		Tender/Contract(s) to be awarded under delegation Tenders website	Q1 - Q 4 Refer to Council's Upcoming Tenders website		
		44270	Road Renewal - Sevenoaks Street ( Plaxtol Ct To Pvm Ch )		\$40,167		Governance		Tender/Contract(s) to be awarded under delegation Tenders website	Q1 - Q 4 Refer to Council's Upcoming Tenders website		
		44271	Road Renewal - Stovold Place ( Windemere To Cds )		\$78,053		Governance		Tender/Contract(s) to be awarded under delegation Tenders website	Q1 - Q 4 Refer to Council's Upcoming Tenders website		
		44273	Road Renewal - Admiral Court ( Carinyan Drive To C.D.S. )		\$14,098		Governance		Tender/Contract(s) to be awarded under delegation Tenders website	Q1 - Q 4 Refer to Council's Upcoming Tenders website		
		44274	Road Renewal - Bailey Road ( Hendon St To Randall Rd )		\$463,489		Governance		Tender/Contract(s) to be awarded under delegation Tenders website	Q1 - Q 4 Refer to Council's Upcoming Tenders website		
		44275	Road Renewal - Bath Street ( Dorsal Dr To Cavell St )		\$85,560		Governance		Tender/Contract(s) to be awarded under delegation Tenders website	Q1 - Q 4 Refer to Council's Upcoming Tenders website		
		44277	Road Renewal - Creek Road ( Birkdale To St Andrew )		\$942,437		Governance		Tender/Contract(s) to be awarded under delegation Tenders website	Q1 - Q 4 Refer to Council's Upcoming Tenders website		
		44278	Road Renewal - Dorsal Drive ( Zephyr Ct To Swordfish )		\$541,844		Governance		Tender/Contract(s) to be awarded under delegation Tenders website	Q1 - Q 4 Refer to Council's Upcoming Tenders website		
		44280	Road Renewal - Murray Street ( Birkdale To Mamala St )		\$125,783		Governance		Tender/Contract(s) to be awarded under delegation Tenders website	Q1 - Q 4 Refer to Council's Upcoming Tenders website		
		44281	Road Renewal - Mala Crescent ( Makaha Dr To Cds )		\$32,354		Governance		Tender/Contract(s) to be awarded under delegation Tenders website	Q1 - Q 4 Refer to Council's Upcoming Tenders website		
		44282	Road Renewal - Peacock Court ( Spoonbill To Cds )		\$42,637		Governance		Tender/Contract(s) to be awarded under delegation Tenders website	Q1 - Q 4 Refer to Council's Upcoming Tenders website		
		44287	Road Renewal - Bowen Street ( Nth End To Elwyn St )		\$278,475		Governance		Tender/Contract(s) to be awarded under delegation Tenders website	Q1 - Q 4 Refer to Council's Upcoming Tenders website		
		44288	Road Renewal - Cunningham Street ( Mitchell To Kennedy )		\$42,952		Governance		Tender/Contract(s) to be awarded under delegation Tenders website	Q1 - Q 4 Refer to Council's Upcoming Tenders website		
		44290	Road Renewal - Cottonwood Court ( Parkwood D To Cds )		\$67,998		Governance		Tender/Contract(s) to be awarded under delegation Tenders website	Q1 - Q 4 Refer to Council's Upcoming Tenders website		
		44291	Road Renewal - Clifford Court ( Diford St To Cds )		\$35,616		Governance		Tender/Contract(s) to be awarded under delegation Tenders website	Q1 - Q 4 Refer to Council's Upcoming Tenders website		
		44292	Road Renewal - Brighton Court ( Diford St To Cds )		\$36,403		Governance		Tender/Contract(s) to be awarded under delegation Tenders website	Q1 - Q 4 Refer to Council's Upcoming Tenders website		
		44293	Road Renewal - Diford Street ( Brosnan Dr To Barber )		\$93,397		Governance		Tender/Contract(s) to be awarded under delegation Tenders website	Q1 - Q 4 Refer to Council's Upcoming Tenders website		
		44294	Road Renewal - Denison Court ( Bowen St To Cds )		\$40,586		Governance		Tender/Contract(s) to be awarded under delegation Tenders website	Q1 - Q 4 Refer to Council's Upcoming Tenders website		
		44296	Road Renewal - Elwyn Street ( Willard Rd To Bowen St )		\$72,044		Governance		Tender/Contract(s) to be awarded under delegation Tenders website	Q1 - Q 4 Refer to Council's Upcoming Tenders website		
		44298	Road Renewal - Howlett Road ( Botany To K&C End )		\$27,755		Governance		Tender/Contract(s) to be awarded under delegation Tenders website	Q1 - Q 4 Refer to Council's Upcoming Tenders website		
		44299	Road Renewal - Kensington Street ( Arcadia St To Dead End )		\$91,924		Governance		Tender/Contract(s) to be awarded under delegation Tenders website	Q1 - Q 4 Refer to Council's Upcoming Tenders website		
		44300	Road Renewal - Melaleuca Drive ( Cassia Ct To Cds )		\$23,160		Governance		Tender/Contract(s) to be awarded under delegation Tenders website	Q1 - Q 4 Refer to Council's Upcoming Tenders website		
		44301	Road Renewal - Montana Drive ( Pvm Ch To Riley Dr )		\$48,996		Governance		Tender/Contract(s) to be awarded under delegation Tenders website	Q1 - Q 4 Refer to Council's Upcoming Tenders website		
		44302	Road Renewal - Rhoades Street ( Parkway To Cds )		\$100,358		Governance		Tender/Contract(s) to be awarded under delegation Tenders website	Q1 - Q 4 Refer to Council's Upcoming Tenders website		
		44303	Road Renewal - Riley Drive ( Spirit Dr To Montana Drive )		\$90,786		Governance		Tender/Contract(s) to be awarded under delegation Tenders website	Q1 - Q 4 Refer to Council's Upcoming Tenders website		
		44306	Road Renewal - Spirit Drive ( Lorina Ct To Dead End )		\$105,098		Governance		Tender/Contract(s) to be awarded under delegation Tenders website	Q1 - Q 4 Refer to Council's Upcoming Tenders website		
		44311	Road Renewal - Compass Court ( Masthead To Cds )		\$113,851		Governance		Tender/Contract(s) to be awarded under delegation Tenders website	Q1 - Q 4 Refer to Council's Upcoming Tenders website		
		44312	Road Renewal - Enterprise Street ( Wallington To Enterprise		\$322,662		Governance		Tender/Contract(s) to be awarded under delegation Tenders website	Q1 - Q 4 Refer to Council's Upcoming Tenders website		
		44313	Road Renewal - Fitzroy Street North ( Shore St To Middle Str		\$42,803		Governance		Tender/Contract(s) to be awarded under delegation Tenders website	Q1 - Q 4 Refer to Council's Upcoming Tenders website		
		44315	Road Renewal - Homer Street ( Island St To Wymyard St )		\$126,350		Governance		Tender/Contract(s) to be awarded under delegation Tenders website	Q1 - Q 4 Refer to Council's Upcoming Tenders website		



Contract Grouping	Category	Tender/Contract Number	Description of Goods or Services	Portfolio Summary	Value (Estimated Spend over the Contract Period) Q31	Cost	Benefit (Benefit Quadruple Bottom Line)	VRM Category	Market Approach	Expected Quarter to Market	Contract Owner	Contract Manager
Group 1	Marine & Foreshore	44165	Revetment Wall Maithead Drive (North)	Asset Renewal Program - Marine	\$70,000		Environment, Governance	Focused	Tender/Contract(s) to be awarded under delegation.	Q1 - Q4 Refer to Council's Upcoming Tenders website.	Infrastructure and Operations	Design & Technical
	Marine & Foreshore	41128	Fishing Platform - Drake Canal, Ruby Bay	Community Infrastructure Program - Marine	\$40,000		Environment, Governance	Focused				
	Marine & Foreshore	44157	Footbridge Renewal - Mt Cotton Community Park	Community Infrastructure Program - Open Spaces	\$50,000		Environment, Governance	Focused				
Contract 2	Water & Sewerage	64921	SPS057 to Victoria Point WWTP Trunk Sewer Augmentation	Asset Renewal Program - Sewerage & Water	\$581,000		Environment, Governance	Focused	Tender/Contract(s) to be awarded under delegation.	Q1 - Q4 Refer to Council's Upcoming Tenders website.	Infrastructure and Operations	Design & Technical
Group 3	Water & Sewerage	64300	PVC Sewerage Rising Main Renewal Program	Asset Renewal Program - Water & Sewerage	\$860,883		Environment, Governance	Focused	Tender/Contract(s) to be awarded under delegation.	Q1 - Q4 Refer to Council's Upcoming Tenders website.	Infrastructure and Operations	Design & Technical
	Water & Sewerage	63002	USP VF-10P-30-24 Victoria Point WWTP Upgrade Project	Asset Renewal Program - Water & Sewerage	\$530,000		Environment, Governance	Focused	Tender/Contract(s) to be awarded under delegation.	Q1 - Q4 Refer to Council's Upcoming Tenders website.	Infrastructure and Operations	Design & Technical
Group 4	Water & Sewerage	63312	Treatment Plant Strategy & Masterplan Project	Community Infrastructure Program - Water & Sewerage	\$900,000		Environment, Governance	Focused	Tender/Contract(s) to be awarded under delegation.	Q1 - Q4 Refer to Council's Upcoming Tenders website.	Infrastructure and Operations	City Assets Group
	Business Services	40473	Survey Equipment	Asset Renewal Program - Equipment	\$150,000		Governance	Focused	Tender/Contract(s) to be awarded under delegation.	Q1 - Q4 Refer to Council's Upcoming Tenders website.	Infrastructure and Operations	Survey Services
Group 6	Roads	30300	Road Upgrade & Expansion Program (BMEI Greenwell)	Asset Renewal Program - Roads	\$2,000,000		Governance	Focused	Tender/Contract(s) to be awarded under delegation.	Q1 - Q4 Refer to Council's Upcoming Tenders website.	Infrastructure and Operations	Construction Projects
Group 7	Marine & Foreshore	43342	Seamall - Champion Lane - Wallington Point	Community Infrastructure Program - Marine	\$840,000		Environment, Governance	Focused	Tender/Contract(s) to be awarded under delegation.	Q1 - Q4 Refer to Council's Upcoming Tenders website.	Infrastructure and Operations	Construction Projects
	Marine & Foreshore	43346	Seamall - Rocky Point - Russell Island	Community Infrastructure Program - Marine	\$717,814		Environment, Governance	Focused	Tender/Contract(s) to be awarded under delegation.	Q1 - Q4 Refer to Council's Upcoming Tenders website.	Infrastructure and Operations	Construction Projects
Group 8	Water & Sewerage	44036	Drainage Renewal - Valentine Park	Asset Renewal Program - Water & Sewerage	\$50,000		Environment, Governance	Focused	Tender/Contract(s) to be awarded under delegation.	Q1 - Q4 Refer to Council's Upcoming Tenders website.	Infrastructure and Operations	Construction Projects
	Water & Sewerage	44158	Drainage Renewal - Beehive Road Culvert	Asset Renewal Program - Water & Sewerage	\$60,000		Environment, Governance	Focused	Tender/Contract(s) to be awarded under delegation.	Q1 - Q4 Refer to Council's Upcoming Tenders website.	Infrastructure and Operations	Construction Projects
Group 9	Water & Sewerage	44211	Drainage Renewal - Culverts Claytons Lane	Asset Renewal Program - Water & Sewerage	\$700,000		Environment, Governance	Focused	Tender/Contract(s) to be awarded under delegation.	Q1 - Q4 Refer to Council's Upcoming Tenders website.	Infrastructure and Operations	Construction Projects
Group 10	Waste Management & Landfill	TBC	Collection, Transport and Disposal of Asbestos Containing Material	Community Services Program - Waste	\$590,845		Environment, Governance	Routine	Tender/Contract(s) to be awarded under delegation.	Q1 - Q4 Refer to Council's Upcoming Tenders website.	Infrastructure and Operations	Waste Operations
Group 11	Waste Management & Landfill	TBC	Removal of Household Hazardous Waste	Community Services Program - Waste	\$501,120		Economic, Environment, Governance	Routine	Tender/Contract(s) to be awarded under delegation.	Q1 - Q4 Refer to Council's Upcoming Tenders website.	Infrastructure and Operations	Waste Operations
Group 12	Waste Management & Landfill	TBC	Decontamination of Appliances at ROC Recycling and Waste Centres	Community Services Program - Waste	TBC		Environment, Governance	Focused	Tender/Contract(s) to be awarded under delegation.	Q1 - Q4 Refer to Council's Upcoming Tenders website.	Infrastructure and Operations	Waste Operations

T-1770-15/16-ROC	Construction & Operations	TBC	Approved Contractor List - Provision of Building Cert. Services	Repairs and Maintenance Program - Services	\$200,000	Attachment 2 Routine	Governance	Routine	Tender / Contract Review <sup>2</sup>	Q1	Community and Customer Services	City Planning and Assessment
T-1789-16/17-CBU	Parks & Gardens	TBC	Mowing & Treatment of Dedicated Plants	Community Services Program - Open Spaces	\$1,900,000	Focused	Economic, Environment, Social, Governance	Focused	Tender / Contract Review <sup>2</sup>	Q4	Infrastructure and Operations	Compliance Services
T-1832-17/18-CG3	Library Services	TBC	Supply & Delivery of Library Books & Related Material	Community Services Program - Library Resources	\$2,500,000	Routine/Leveraged	Economic, Social	Routine/Leveraged	Tender / Contract Review <sup>2</sup>	Q1	Community and Customer Services	Library Services
T-1870-18/19-ROC	Facilities Maintenance	TBC	Register of Pre-Qualified Suppliers for Electrical Maintenance, Repairs, Installation & Data Cabling	Repairs and Maintenance Program - Services	\$605,000	Routine/Leveraged	Economic, Governance	Routine/Leveraged	Tender / Contract Review <sup>2</sup>	Q1	Infrastructure and Operations	Facilities Services, Information Management, Parks and Conservation, Roads, Drainage and Marine
T-1980-20/21-CPP	Business Services	TBC	Preferred Supplier for Internal Audit Services	Internal Business Services Program - Services	\$200,000	Routine/Leveraged	Economic, Governance	Routine/Leveraged	Tender / Contract Review <sup>2</sup>	Q3	Organisational Services	Internal Audit and Risk
T-1851-17/18-ROC	Waste Management & Landfill	TBC	Preferred Supplier Supply & Delivery of Plumbing, Water & Sewer	Community Services Program - Waste	\$471,000	Routine	Environment, Governance	Routine	Tender / Contract Review <sup>2</sup>	Q1	Operational Services	Warehousing and Distribution
Q-1838-18/20-FBU	Parks & Gardens	TBC	Supply Delivery and Collection of Sanitary Bins	Community Services Program - Open Spaces	\$42,000	Routine	Economic, Social, Governance	Routine	Quote	Q4	Infrastructure and Operations	Facilities
VF16-0953	Waste Management & Landfill	TBC	Collection Transport and Recycling of Paper and Cardboard (Mainland and Islands)	Community Services Program - Recycling	\$181,202	Routine	Economic, Environment, Governance	Routine	Quote	Q1	Infrastructure and Operations	Waste Operations

Attachment 3

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**13 ADOPTION OF COMMITTEE MEETING REPORT & RECOMMENDATIONS**

**13.1 COORDINATION COMMITTEE MEETING – 23 OCTOBER 2013**

**COUNCIL RESOLUTION**

Moved by: Cr A Beard

Seconded by: Cr P Bishop

That the Report and Recommendations of the Coordination Committee meeting held 23 October 2013 be adopted.

[Coordination Committee Report 23 October 2013](#)

**CARRIED 7/0**

Crs Boglary, Hardman, Talty and Gleeson were absent from the meeting.

**OFFICER'S/COMMITTEE RECOMMENDATION**

Moved by: Cr A Beard

Seconded by: Cr M Edwards

That Council resolve as follows:

1. Under Section 257 of the *Local Government Act 2009* to delegate to the Chief Executive Officer, power to authorise expenditure on behalf of Council up to \$2,000,000, if the expenditure is:
  - a. In accordance with all legislative requirements;
  - b. In accordance with all policy requirements; and
  - c. Is funded from Council's approved annual budget.
2. To repeal the Council resolution of 30 October 2002 (Item 8.1.1) as amended.

**CARRIED 7/0**

Crs Boglary, Hardman, Talty and Gleeson were absent from the meeting.

## 14 REPORTS FROM COMMUNITY & CUSTOMER SERVICES

### 14.1 NOTICE OF MINISTERIAL DIRECTION TO PREPARE A REDLAND CITY HOUSING SUPPLY AND DIVERSITY STRATEGY

**Objective Reference:** A5508996

**Authorising Officer:** Louise Rusan, General Manager Community & Customer Services

**Responsible Officer:** David Jeanes, Group Manager City Planning and Assessment

**Report Author:** Michael Beekhuyzen, Principal Strategic Planner

**Attachments:** 1. Notice of Ministerial Direction and draft Ministerial Direction [↓](#)

#### PURPOSE

To consider a proposed Ministerial Direction, dated 24 June 2021 requiring Council to prepare a Redland City housing supply and diversity strategy by 30 August 2022.

#### BACKGROUND

**2012:** The Redlands Housing Strategy 2011-2031 was finalised as a key background study to inform the planning scheme review and subsequent preparation of the draft Redland City plan.

**2015:** The draft Redland City Plan was placed on statutory public consultation. The draft plan proposed a minimum lot size of 400m<sup>2</sup> in the Low density residential (LDR) zone and 250m<sup>2</sup> in the Low medium density residential (LMDR) zone. Both minimum lot sizes were identified as acceptable outcomes in the Reconfiguring a Lot code.

**2017:** In response to public submissions received during public consultation on the draft City Plan, Council proposed to increase the minimum lot size in the LMDR zone from 250m<sup>2</sup> to 400m<sup>2</sup>. In addition, to provide greater certainty to the community and development industry Council resolved to include references to minimum lots sizes in the LDR and LMDR zone codes in both the overall and performance outcomes as well as the acceptable outcomes.

Following the completion of the submission review process an amended draft City Plan was submitted for Ministerial approval.

**2018:** The City Plan received Ministerial approval (subject to conditions) on 9 June 2018.

The Ministerial conditions required the draft City Plan to be amended to include a qualification to the 400m<sup>2</sup> minimum lot size overall outcome in both the LDR and LMDR zone codes. The qualification required additional wording to be included in the overall outcomes of both zone codes stating lots were not reduced below 400m<sup>2</sup> unless the resultant lots were consistent with the density and character of the surrounding established neighbourhood.

Related to this condition, further advice was provided as part of the Ministerial approval for Council consideration (not required) related to small lot housing as follows:

*'Small lot housing*

- 1. The proposed changes made to the draft Redland City Plan, in particular-the change to the minimum lot size in the Low-Medium Density Residential zone from 250m<sup>2</sup> to 400m<sup>2</sup>-may result in a reduction in the diversity and amount of small lot housing.*



*The council should undertake additional studies to ensure the Redland City Plan will provide appropriately zoned land to accommodate a diverse range of dwellings, particularly small lot housing.'*

**2019:** The Minister further reiterated this advice in correspondence approving the first major amendment to City Plan. This advice encouraged Council to undertake additional studies to ensure City Plan provided appropriately zoned land to accommodate a diverse range of dwellings, particularly 'small lot housing'. The advice further noted investigations or studies should inform any further City Plan amendments which require consideration against housing supply and diversity.

**2020:** The Planning Department raised, through its pause notice on the South West Victoria Point local plan amendment, that the Minister had advised Council previously to undertake a city wide housing diversity study.

## ISSUES

On 24 June 2021, the Minister for the Department of State Development, Infrastructure, Local Government and Planning (the Minister) wrote to the Chief Executive Officer notifying that he was considering exercising the Ministerial Direction powers under the *Planning Act 2016* (section 26) to require Council to prepare a comprehensive citywide housing supply and diversity strategy (the Strategy) in accordance with an agreed methodology by August 2022. A copy of the Minister's correspondence is attached, refer to Attachment 1.

In accordance with the *Planning Act 2016*, Council may make a submission to the Minister's notification of the proposed Ministerial Direction within 20 business days of the date of the notification (24 June 2021).

The Minister in his correspondence asserts that the Strategy is required to ensure that City Plan appropriately responds to housing challenges by providing appropriately zoned land to accommodate a diverse range of dwellings, with particular emphasis upon delivering opportunities for small lot housing.

The Minister also notes that the accelerated population growth during the COVID-19 pandemic has put South East Queensland's ability to accommodate growth and deliver a sustainable and affordable housing supply under the spotlight. The Minister considers that these changes, brought on by the pandemic, have reinforced the importance for Council to undertake the requested strategy and ensure City Plan can adequately cater for future population growth.

The Minister refers to the 2020 State Land Supply and Development Monitoring report (LSDM report) which shows that the City has a short-term shortfall of residential land supply. The short-term shortfall refers to lot approvals in consolidation and expansion areas overall being below the minimum four years supply identified as a SEQ preferred future in the measures that matters section of the South East Queensland Regional Plan 2017 (ShapingSEQ). The 2020 LSDM report identified that the City has 2.6 years of approved lots. The Minister also expresses there remains an ongoing concern about the ability of City Plan to effectively manage the medium to long-term residential growth requirements of the City.

In summary, the Minister considers that a comprehensive housing supply and diversity strategy is critical, stating:

- Since 2018 repeated requests have been made to Council by the former Planning Ministers and department officers to prepare the study.

- City Plan amendments relating to residential land supply lack an evidence base and may not be reflective of current and forecast needs.
- The known challenges in meeting approved lot supply in consolidation and expansion areas overall, which is already below the four years of supply as identified in Shaping SEQ and the LSDM report.
- The potential compromising of the Council's ability to meet the housing supply requirements under Shaping SEQ could have broader implications at a sub-regional or regional level.
- That Council has not appropriately demonstrated it can meet the current and future needs of the community.
- The accelerated growth prompted by increased interstate migration and the Australian Government's Homebuilder grants during COVID-19 pandemic brought forward many growth challenges in the City and heightened concerns about Council's ability to provide adequate housing choice, diversity and affordability.

In response to the Minister's notification, it is recommended that representations be made to the Minister within the 20 business days provided by the *Planning Act 2016* questioning the need for Council to prepare a housing supply and diversity strategy at this time. Key points to note can be summarised as follows:

1. City Plan was informed by the Redland Housing Strategy 2011-2031 which has provided an evidence based framework to ensure the delivery of appropriate residential supply and housing diversity in City Plan and subsequent ongoing amendments.
2. The State Government's recent 2020 Land Supply Development Monitoring report found that the City has sufficient residential land supply to meet the dwelling benchmarks of the ShapingSEQ, including the minimum 15 year supply and to 2041.
3. It is expected, based on recent lot approval analysis, that the short term shortfall of approved lots in the City will be addressed in the next LSDM report. In particular information recently provided to the newly created Growth Areas Team (GAT) demonstrates that for the 2020/2021 financial year the approved residential lot supply in the City has increased and is expected to exceed the four years of supply as identified in Shaping SEQ and the LSDM report.
4. The LSDM report shows that many of the other SEQ local governments also do not currently meet the minimum four years supply of approved lots, this includes Brisbane, Gold Coast, Moreton Bay, Sunshine Coast and Noosa. It is understood these local governments have not been requested to undertake a housing supply and diversity strategy.
5. Council has progressed land use and infrastructure planning for two newly emerging communities in south west Victoria Point and southern Redland Bay (Shoreline) with reconfiguration approvals already in place. Once completed both master planned areas are expected to accommodate over 5000 newly created lots comprising of a mix of lot sizes including lots below 400m<sup>2</sup> in size.

In regards to southern Redland Bay, the State's recently established GAT has identified the area as a priority growth area. Priority growth areas are newly emerging communities where the GAT will seek to facilitate partnerships between developers, local government, utility providers and the state to support land use and infrastructure planning and infrastructure funding arrangements to accelerate the delivery of land supply in South East Queensland. In this regard, it is noted that the State has recently approved and is facilitating, in partnership

with Lendlease, the staged delivery of a new \$30 million wastewater treatment plant to service development in southern Redland Bay.

In a press release, dated 25 June 2021 the Deputy Premier noted the Southern Redland Bay project 'will unlock growth, housing choice and affordability, as part of Queensland's COVID-19 Economic Recovery Plan'. It is also noted that in addition to the currently approved Shoreline development the Deputy Premier stated 'the infrastructure funding will also unlock an additional 2000 lots outside the master planned community.' It would appear that if successfully progressed by the State, the significant scale of the Southern Redland Bay priority growth area will play a significant role in addressing residential land supply and housing choice and diversity across the whole City further negating any immediate need for Council to progress prepare a Redland City housing supply and diversity strategy.

6. Council has recently engaged independent consultants to undertake a detailed residential land supply study that will inform land use and infrastructure planning. This study will be used to provide an evidence base for the new Local Government Infrastructure Plan.
7. The amendments conditioned by the Minister in approving the City Plan to provide qualifying statements to minimum lots sizes in the Low density residential and Low medium density residential zone provide scope for small lots less than 400m<sup>2</sup>.
8. Major Amendment Package (04/20): Medium density residential zone code review proposes amendments to both the Low medium density and Medium density residential zone code to improve dwelling diversity and facilitate the delivery of freehold titled townhouse development on lots that can be less than 400m<sup>2</sup>. The amendment also seeks to ensure multiple dwelling proposals incorporate a mix of dwelling units with different numbers of bedrooms. These two changes will assist in increasing housing diversity in the City. It should be noted that the Minister has recently approved this major amendment, following state interest review, for public consultation (without conditions) and a separate item addressing the Ministerial approval is included in this General Meeting agenda.
9. The 2020 LSDM report identifies that the City has more than 7 years supply of uncompleted multiple dwellings which is well above the minimum four years supply identified in Shaping SEQ and the LSDM report.
10. A Redland City housing supply and diversity strategy is considered more suitable to be undertaken as part of the next review of City Plan expected to commence in approximately 2025.

Should Council resolve to make representations, the Planning Minister is required by the *Planning Act 2016* to consider the representations in deciding whether or not to make a Ministerial direction.

## **STRATEGIC IMPLICATIONS**

### **Legislative Requirements**

Council is required to respond to the Ministerial notice of intention to make a Ministerial Direction in 20 business day from receipt of the notice on 24 June 2021.

### **Risk Management**

The recommendations of this report will ensure that Council's representations on the proposed Ministerial Direction are considered.

## Financial

There are no financial issues associated with making representations to the Deputy Premier. If a Ministerial Direction is subsequently issued and Council resolves to comply with the Direction, additional budget allocation will be required. Currently there is no budget allocated in the current financial year to prepare a Redland City housing supply and diversity strategy.

## People

The staff resources required to make representations to the Minister will be drawn from the Strategic Planning Unit of the City Planning and Assessments Group.

## Environmental

There are no environmental implications associated with making representations to the Minister.

## Social

There are no social implications associated with making representations to the Minister.

## Human Rights

There are no human rights implications associated with making representations to the Minister.

## Alignment with Council's Policy and Plans

The recommended option aligns with the goals espoused in Council's Corporate Plan: Our Future Redlands – A Corporate Plan to 2026 and Beyond.

## CONSULTATION

Consulted	Consultation Date	Comments/Actions
Nil	Nil	Nil

## OPTIONS

### Option One

That Council resolves as follows:

1. To note the proposed Ministerial Direction, dated 24 June 2021 requiring Council to prepare a Redland City housing supply and diversity strategy by 30 August 2022.
2. To authorise the Chief Executive Officer to make written representations to the Deputy Premier and Minister for State Development, Infrastructure, Local Government and Planning that there is no demonstrated urgent need to prepare a housing supply and diversity strategy at this time based on the reasons outlined in this report.

### Option Two

That Council resolves as follows:

1. To note the proposed Ministerial Direction, dated 24 June 2021 requiring Council to prepare a Redland City housing supply and diversity strategy by 30 August 2022.
2. To authorise the Chief Executive Officer to make written representations to the Deputy Premier and Minister for State Development, Infrastructure, Local Government and Planning that there is no demonstrated urgent need to prepare a housing supply and diversity strategy at this time based on the reasons outlined in this report (with additions).

**Option Three**

That Council resolves as follows:

1. To note the proposed Ministerial Direction, dated 24 June 2021 requiring Council to prepare a Redland City housing supply and diversity strategy by 30 August 2022.
2. To not make written representations to the Deputy Premier and Minister for State Development, Infrastructure and Planning.

**OFFICER'S RECOMMENDATION**

That Council resolves as follows:

1. To note the proposed Ministerial Direction, dated 24 June 2021 requiring Council to prepare a Redland City housing supply and diversity strategy by 30 August 2022.
2. To authorise the Chief Executive Officer to make written representations to the Deputy Premier and Minister for State Development, Infrastructure, Local Government and Planning that there is no demonstrated urgent need to prepare a housing supply and diversity strategy at this time based on the reasons outlined in this report.



Hon Steven Miles MP  
Deputy Premier  
Minister for State Development, Infrastructure,  
Local Government and Planning

Our ref: MBN21/440

24 JUN 2021

Mr Andrew Chesterman  
Chief Executive Officer  
Redland City Council  
andrew.chesterman@redland.qld.gov.au

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**Telephone** +61 7 3719 7100  
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ABN 65 959 415 158

Dear Mr Chesterman

I write in respect of the ongoing requests for the Redland City Council (the council) to prepare a citywide housing studies and reference the advice of the former Planning Minister as part the approval to adopt the *Redland City Plan 2018* (the City Plan).

The former Planning Minister's advice at that time identified the need for the council to undertake studies to ensure the Redland City Plan would provide appropriately zoned land to accommodate a diverse range of dwellings, particularly small lot housing. I also note that the need for the strategy has been emphasised with the council, both in writing and discussions, on a number of occasions but to date the council has not commenced this important work.

Planning effectively for growth has been, and will continue to be, a significant issue for all local governments across South East Queensland. Recently, this has been highlighted by the unexpected population shifts associated with increased interstate migration to South East Queensland due to the COVID-19 pandemic. This accelerated population growth during the pandemic has put South East Queensland's ability to accommodate growth under the spotlight. It also raises valid questions about how to deliver a sustainable and affordable housing supply.

The changes brought on by the pandemic have now reinforced the importance for the council to undertake the requested strategy and ensure the City Plan can adequately cater for future growth.

I am aware that since the City Plan took effect on 8 October 2018, the council has prepared a number of proposed planning scheme amendments without completing the requested studies. Given that many of these amendments affect housing choice I am also concerned about the lack of investigation and evidence that has supported these changes to the City Plan.

The *Planning Act 2016* (the Planning Act), State Planning Policy 2017 (SPP), and the South East Queensland Regional Plan 2017 (*ShapingSEQ*) all set clear requirements for councils to effectively plan for housing supply, diversity, and affordability.

In addition, the 2020 Land Supply Development Monitoring report (LSDM report), released in December 2020, shows that the council has a short-term shortfall of residential land supply. Accordingly, there remains an ongoing concern about the ability of the City Plan to effectively manage the medium to long-term residential growth requirements for the Redland City area.

Even before the COVID-19 pandemic, former Planning Ministers and the department had sent clear signals to the council about the need to complete housing studies to meet the state interests' requirements. Importantly, the studies should have already been prepared as part of council's routine monitoring of the performance of the City Plan and used to underpin amendments to the planning scheme.

Given recent changes to the housing market and migration patterns it is evident that planning schemes need to provide for a diversity of housing choices. On this basis, it is critical that the council commits to undertaking an evidence based and comprehensive Housing Supply and Diversity Strategy (the strategy) so that it is well positioned to plan for future housing needs. Furthermore, the strategy is considered an essential input from the council into the upcoming review of the *ShapingSEQ* for Redland City.

Given the matters outlined above, I notify the council that I am considering exercising my powers under section 26 of the Planning Act to require the council to take the actions set out in the draft Ministerial Direction notice enclosed with this letter.

If I decide to make the direction, I anticipate, as set out in the draft Ministerial Direction, that the council would prepare the strategy and provide me with a draft report for review and approval by 30 August 2022.

I intend the strategy to be undertaken in three stages comprising the review, investigation and implementation. I expect the strategy will provide the evidence base that will support relevant future amendments to the City Plan.

In addition, I am seeking a project management plan to be prepared by the council within 40 business days of the date of this letter. The project management plan is required to set out how the council will prepare the strategy. I am also intending that the project management plan to be submitted to the State Planner for consideration and approval.

In accordance with section 26(3) of the Planning Act, I advise that the council may, within 20 business days of the date of this letter, make a submission to me about the council taking the action.

After I have considered any submissions made as required under this notice, I will consider what further actions I may take in accordance with section 26(4) of the Planning Act.

My decision to consider exercising my power under section 26 of the Planning Act is based on the following:

- I consider the council should take the action outlined in the enclosed draft Ministerial Direction to protect, or give effect to, state interests in the Redlands. Specifically:
  - the purpose of the Planning Act in which achieving Ecological Sustainability under section 3(3)(c)(i) includes creating and maintaining well-serviced, healthy, prosperous, liveable and resilient communities with affordable, efficient, safe and sustainable development
  - advancing the purpose of the Planning Act, section 5(2)(f) supports ethical decision making that provides for housing choice, diversity and affordability.
  - the SPP state interest for Housing supply and diversity.
  - *ShapingSEQ*, Goal 1: Grow, Element 4: Housing Diversity
- The council has not undertaken the study as first advised by the former Planning Minister on 9 June 2018 as part of the state's approval to adopt the City Plan.



- Since 2018 repeated requests have been made to the council by the former Planning Ministers and departmental officers to prepare the study.
- The consequences of not having a comprehensive housing strategy undertaken includes:
  - City Plan amendments relating to residential land supply lack an evidence base and may not be reflective of current and forecast needs
  - the known challenges in meeting approved land supply, which is already below the four years of supply recommended by the LSDM report
  - the potential compromising of the council's ability to meet the housing supply requirements under *ShapingSEQ*, that could have broader implications at a sub-regional or regional level
  - that the council has not appropriately demonstrated it can meet the current and future needs of the community.
- The accelerated growth prompted by increased interstate migration and the Australian Government's Homebuilder grants during the COVID-19 pandemic brought forward many growth challenges faced in the Redlands which has heightened the concerns about the council's ability to provide adequate housing choice, diversity and affordability.

For the reasons set out above it is critical that the council prepares a comprehensive Housing Supply and Diversity Strategy that will ensure the state's interests are met and the required strategic and infrastructure planning is undertaken.

As you may be aware, I have the power as the Planning Minister to take an action and request the department to undertake any necessary work where a state interest is affected. In undertaking this action, I also could recover any reasonable expense incurred by undertaking this action from the council. Given the significance of this issue, this option is available to me in the instance the council elects not to prepare the strategy within the timeframes proposed in the draft Ministerial Direction.

As expressed in this letter, effective planning and management of growth is a shared responsibility of both state and local governments. You will be aware of my recent announcement to establish a new Growth Areas Team (GAT) for South East Queensland. This team aims to pro-actively address the growing demand on the supply of land for new development in SEQ. The GAT's work will also assist in unlocking growth, address housing choice and affordability and identify the infrastructure necessary to support more liveable communities.

To this end I am advised that officers of the Department of State Development, Infrastructure, Local Government and Planning have approached council officers with a view to identifying projects that the council and the GAT can collaborate on to achieve these outcomes.

In my view, the council's preparation and completion of the strategy is an essential input into shaping future growth in Redland City and will help to ensure that the council is strategically positioned to inform future reviews of the planning scheme and the review of *ShapingSEQ*, expected to commence between 2022-2024.

Officers from the department will be available to help guide the council in the preparation of the strategy. There is also the opportunities to engage the department's Housing Supply Expert Panel to assist in shaping your process.



If you require any further information regarding this matter, please contact my Chief of Staff, Ms Danielle Cohen, by email at [deputy.premier@ministerial.qld.gov.au](mailto:deputy.premier@ministerial.qld.gov.au) or by telephone on (07) 3719 7100.

Yours sincerely



**STEVEN MILES MP**  
**DEPUTY PREMIER**  
Minister for State Development, Infrastructure,  
Local Government and Planning

Enc

cc Councillor Karen Williams  
Mayor  
Redland City Council  
[mayor@redland.qld.gov.au](mailto:mayor@redland.qld.gov.au)

**ENCLOSURE 1: MINISTERIAL DIRECTION TO THE REDLAND CITY COUNCIL UNDER SECTION 26 OF THE *PLANNING ACT 2016***

I direct, in accordance with section 26 of the *Planning Act 2016* (Planning Act), the Redland City Council (the council) to:

1. Undertake an evidence-driven, comprehensive and conclusive Housing Supply and Diversity Strategy (the strategy) to appropriately manage residential growth, focusing on housing choice, diversity and affordability, to meet the current and future needs and emerging trends of Redlands.

The strategy must ensure the council plans for residential growth that is sufficiently diverse and that supports affordable housing outcomes

- Phase 1 – Review
  - assess the current housing stock and planned future supply in a manner consistent with the following:
    - using property-level base data, as at mid-2021 if practicable, informed by previous measurements to 2019
    - dwellings are identified by type, sufficient to assess diversity and to enable equivalent comparison to the state's projections and the South East Queensland Regional Plan, 2017 (*ShapingSEQ*) benchmarks
    - constraints to development are considered consistent with the developability rules of the SEQ Growth Monitoring Program best practice research
    - planned densities and type of dwellings are informed, in order of preference based on available information, by:
      - estimated yields from approved structure or development plans or development approvals
      - stated developer intentions
      - assumptions derived from comparable local development examples
      - permitted density provisions of the planning or development scheme
    - planned future supply is assessed based on its long-term capacity or ultimate development, given the planned densities, but also in terms of its realistic availability (as defined for the SEQ Land Supply and Development Monitoring Report) up to the 2041 planning horizon
  - identify community and industry concerns about planning for growth and change
  - determine the changing housing needs of the community, over time up to 2041, based on available population and household projections (by type) and the age, economic and social profile of the area.
- Phase 2 – Investigation
  - identify housing choice (such as small homes, secondary dwelling and others) that meet the State interest objectives across the relevant residential zones within the Redlands
  - undertake scenario testing of potential development opportunities
  - undertake a gap analysis of city plan and identify constraints to the delivery of housing choice

- assess the design and bulk concerns associated with multiple dwelling development.
- Phase 3 – Implementation
  - establish future planning implementation actions to plan for growth by guiding the type, design and quality of housing in all residential zones
  - identify any amendments to the city plan required and state the:
    - reasons for the council's position
    - timeframes to prepare and adopt any identified amendment.
  - Use the completed strategy to inform the councils position on the future residential growth needs of the Redlands as part of the review of *ShapingSEQ*.
- 2. The strategy must address in full the requirements of the State Planning Policy 2017 (SPP) and *ShapingSEQ*. If the SPP or *ShapingSEQ* are updated while the strategy is being prepared, the strategy must address the updates within the timeframes specified under this direction.
- 3. Provide a project management plan to the Department of State Development, Infrastructure, Local Government and Planning within 40 business days of this direction for State Planner approval. As a minimum the project management plan must outline the:
  - stages of how the strategy will be prepared
  - work streams/packages to prepare the strategy
  - associated timeframes and milestones (including council approvals) to meet the timeframe specified under this direction.
- 4. Provide a copy of the strategy by 30 August 2022 for my consideration and approval. The submission of the strategy must include all associated reports, studies, data analysis or any other evidence used to inform and prepare the strategy.

Dated this **XX** day of **XXXXX** 2021

**STEVEN MILES MP**  
Deputy Premier  
Minister for State Development,  
Infrastructure, Local Government and Planning

## 14.2 MINISTERIAL APPROVAL TO COMMENCE PUBLIC CONSULTATION ON MAJOR AMENDMENT PACKAGE (04/20) MEDIUM DENSITY RESIDENTIAL ZONE CODE REVIEW

**Objective Reference:** A5509984

**Authorising Officer:** Louise Rusan, General Manager Community & Customer Services

**Responsible Officer:** David Jeanes, Group Manager City Planning and Assessment

**Report Author:** Michael Beekhuyzen, Principal Strategic Planner

**Attachments:**

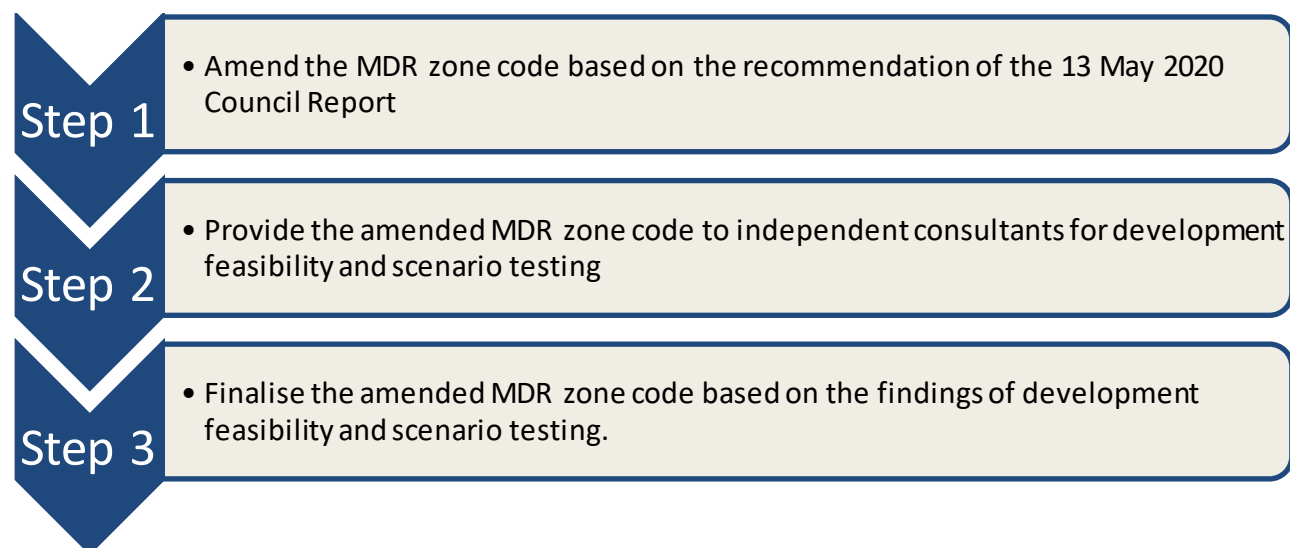
1. Ministerial approval to commence public consultation [↓](#)
2. Major Amendment Package (04/20) Medium density residential zone code review [↓](#)
3. Planning Scheme Policy 7 - Multiple Dwelling Design Guide [↓](#)

### PURPOSE

To seek Council approval to proceed to public consultation on the proposed Major Amendment Package (04/20) Medium density residential zone code review and proposed Planning Scheme Policy 7 – Multiple Dwelling Design.

### BACKGROUND

At its General Meeting on 13 May 2020 Council resolved to commence a major amendment (Medium Density Review) to City Plan. Following the General Meeting a major amendment package was prepared using the following three-step process:



The proposed major amendment package was presented to Council at its General Meeting on 4 November 2020 and incorporated the following elements:

- An amended Medium density residential (MDR) zone code.
- Other consequential amendments to the City Plan, including:
  - Amended Low medium density residential (LMDR) and tourist accommodation zone codes.
  - Introduction of new administrative definitions for a townhouse and apartment.
  - Other amendments to City Plan required to reflect the above amendments.

In addition to the major amendment package, a new Planning Scheme Policy was also tabled to better integrate the existing Multiple Dwelling Design Guide into City Plan.

Council subsequently resolved to submit the amendment to the Planning Minister for the purpose of completing the State interest review, in accordance with the process outlined in the *Minister's Guideline and Rules* (the Rules).

As the proposed new Multiple Dwelling Design Planning Scheme Policy was not subject to the state interest review process it was not sent to the Planning Minister but placed on hold until such time as it could be publically advertised concurrently with the major amendment package once approved by the Planning Minister.

By notice dated 15 December 2020, the Department of State Development, Infrastructure, Local Government and Planning (the department), on behalf of the Minister, advised that the intent to improve built form outcomes in the Medium density residential (MDR) zone was generally supported, but cited some workability and efficiency issues with the amendment and determined that it did not completely integrate the relevant state interests.

The notice advised, under section 17.3 of the Rules, how the proposed amendment might be changed to appropriately address state interests and paused the timeframe for the state interest review until satisfactory receipt of the requested information.

At its General Meeting on 17 March 2021, Council resolved to submit a revised major amendment package addressing the issues identified in the Department's notice, and to request that any further changes required be directed through Ministerial conditions prior to public consultation, as permitted in the Rules.

The revised major amendment package was subsequently submitted to the Department on 24 March 2021 and, in response, the Department, by notice dated 14 April 2021, withdrew the pause notice, recommencing the state interest review period.

## ISSUES

By letter dated 21 June 2021, the Minister gave notice, under section 17.5 of the Rules, that the revised major amendment package appropriately integrates the relevant state interests and that public consultation may now proceed (without conditions). The Minister's letter is included as Attachment 1 with the approved major amendment package included as Attachment 2.

The Minister advised in the letter that the public consultation must be undertaken in accordance with the Rules and the required high level communications strategy that was submitted with the major amendment on 18 November 2020. The high level communications strategy that was submitted included applying an additional consultation period and digital engagement activities to appropriately respond to the COVID-19 event.

As noted in the previous report to Council at its General Meeting on 4 November 2020 a new Planning Scheme Policy 7 – Multiple Dwelling Design is proposed to be advertised concurrently with the major amendment. This is required to implement one of the key recommendations of the Medium density residential design code review to bring the existing non-statutory Multiple Dwelling Design Guide (the Guide) into the City Plan.

A copy of the proposed new Planning Scheme Policy 7 – Multiple Dwelling Design Guide is included as Attachment 3.

### Communications Strategy

Statutory public notification requirements for a major amendment and planning scheme policy are set out by the *Planning Act 2016* and the Rules. A detailed communications strategy has been prepared to meet these statutory requirements and additional public consultation requirements

that respond to potential Covid-19 restrictions on public consultation activities that were outlined in the high level communications strategy submitted to the Minister with the major amendment. The consultation activities include:

- Exceeding the public consultation period required under the *Planning Act 2016* by 10 business days, providing a public consultation period of 30 business days.
- Providing opportunities for key stakeholders to contact the planning team via on-line platforms if needed.
- Setting up a 'talk to a planner' phone hotline.
- Creating a Q&A with a planner facility, via the *Your Say Redlands Coast* webpage.
- Making information available on-line through the Council's dedicated *Your Say Redlands Coast* webpage - where the community can view the proposed amended Medium density residential zone code and consequential amendments, the background feasibility and scenario testing reports, and the proposed new Planning Scheme Policy 7 – Multiple Dwelling Design Guide, and provide feedback or make a submission.

## **STRATEGIC IMPLICATIONS**

### **Legislative Requirements**

The proposed major amendment package is to be undertaken in accordance with the requirements of the Minister's Guidelines and Rules, a statutory document made under the *Planning Act 2016*. This includes public consultation.

### **Risk Management**

Undertaking the major amendment package in consultation with the community will ensure the City Plan remains current and consistent with community expectations.

### **Financial**

The public consultation will be funded by existing budget of the Strategic Planning Unit of the City Planning and Assessment Group.

### **People**

The staff resourcing to make the proposed amendment will be drawn from the Strategic Planning Unit of the Planning and Assessment group.

### **Environmental**

Ensuring the MDR and LMDR zone codes deliver a high-quality built form consistent with the Redland City character, and community views and expectations will contribute to the provision of sufficient housing for the growing community, within a contained settlement pattern that supports environmental protection outcomes.

### **Social**

Ensuring the MDR and LMDR zone codes deliver a high-quality built form consistent with the Redland City character and community views and expectations will contribute to providing housing diversity to meet the diverse and changing housing needs of the community.

## Human Rights

There are no human rights issues discussed in this report.

## Alignment with Council's Policy and Plans

The recommended option aligns with the goals espoused in Council's Corporate Plan: Our Future Redlands – A Corporate Plan to 2026 and Beyond.

## CONSULTATION

Consulted	Consultation Date	Comments/Actions
Senior Advisor – Strategic Communications	Ongoing	Communication strategy, with COVID19 enhancements, as agreed to by the Minister.

## OPTIONS

### Option One

That Council resolves as follows:

1. To make a new Planning Scheme Policy 7 – Multiple Dwelling Design Guide as detailed in Attachment 3 in accordance with the process outlined in the *Minister's Guideline and Rules*.
2. To commence public consultation of the City Plan Major Amendment Package 04/20: Medium density residential zone code review (Attachment 2), including proposed Planning Scheme Policy 7 – Multiple Dwelling Design Guide, extending the statutory consultation period by 10 business days and providing digital engagement activities to address potential implications associated with COVID-19.

### Option Two

That Council resolves to not proceed with City Plan Major Amendment Package 04/20: Medium density residential zone code review, including proposed Planning Scheme Policy 7 – Multiple Dwelling Design Guide, and publishes a public notice, in accordance with the *Minister's Guideline and Rules*, which outlines the reasons for not proceeding with the amendment.

### Option Three

That Council resolves to undertake further changes to City Plan Major Amendment Package 04/20: Medium density residential zone code review and resubmits the amended Major Amendment Package 04/20 to the Planning Minister for the purpose of recommending the State interest review, in accordance with the process outlined in the *Minister's Guideline and Rules*.

## OFFICER'S RECOMMENDATION

That Council resolves as follows:

1. To make a new Planning Scheme Policy 7 – Multiple Dwelling Design Guide as detailed in Attachment 3 in accordance with the process outlined in the *Minister's Guideline and Rules*.
2. To commence public consultation of the City Plan Major Amendment Package 04/20: Medium density residential zone code review (Attachment 2), including proposed Planning Scheme Policy 7 – Multiple Dwelling Design Guide, extending the statutory consultation period by 10 business days and providing digital engagement activities to address potential implications associated with COVID-19.



**Hon Steven Miles MP**  
Deputy Premier  
Minister for State Development, Infrastructure,  
Local Government and Planning

Our ref: MC20/5299

Your ref: MB/SH

21 JUN 2021

Councillor Karen Williams  
Mayor  
Redland City Council  
mayor@redland.qld.gov.au

Dear Councillor Williams

I refer to the letter of 17 November 2020 from the Redland City Council (the council) providing the Major Amendment Package (04/20) – Medium Density Residential Zone Code Review (the proposed amendment) to the *Redland City Plan 2018* for review and approval to proceed to public consultation.

As part of the state interest review, and in accordance with chapter 2, part 4, section 17.2 of the Minister's Guidelines and Rules (MGR), the proposed amendment has been assessed against the *Planning Act 2016*, the Planning Regulation 2017 and the state interests contained in the State Planning Policy July 2017 and the South East Queensland Regional Plan 2017 (*ShapingSEQ*).

I wish to advise that in accordance with section 17.5 of the MGR, I am satisfied the proposed amendment appropriately integrates the relevant state interests. Accordingly, I am pleased to advise the council may now proceed to public consultation on the version of the proposed amendment submitted on 24 March 2021.

The council must undertake public consultation in accordance with the MGR and the communications strategy submitted on 18 November 2020, using the additional consultation period and digital engagement activities that appropriately respond to the COVID-19 event.

I encourage the council to commence public consultation as soon as possible.

If you require any further information regarding this matter, please contact Ms Danielle Cohen, Chief of Staff in my office, by email at [danielle.cohen@ministerial.qld.gov.au](mailto:danielle.cohen@ministerial.qld.gov.au) or by telephone on (07) 3719 7100.

Yours sincerely

**STEVEN MILES MP**  
**DEPUTY PREMIER**  
Minister for State Development, Infrastructure,  
Local Government and Planning

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ABN 65 959 415 158





## **City Plan Major Amendment Package (04/20)**

### **Medium Density Residential Code Review**

#### **Part 1: Medium Density Residential Zone Code**

Prepared by Redland City Council

November 2020



### 6.2.3 Medium density residential zone code

#### 6.2.3.1 Application

This code applies to development:

- (1) within the medium density residential zone as identified on the zoning maps contained within Schedule 2 (mapping); and
- (2) identified as requiring assessment against the medium density residential zone code by the tables of assessment in Part 5 (tables of assessment).

When using this code, reference should be made to section 5.3.2 and, where applicable, section 5.3.3, in Part 5.

#### 6.2.3.2 Purpose

- (1) The purpose of the medium density residential zone code is to provide for medium density living in areas that are close to public transport or centres, and characterised by a mix of multiple dwelling types.
- (2) The purpose of the code will be achieved through the following overall outcomes:
  - (a) the medium density residential zone consists predominantly of townhouses and apartments. Short term accommodation, retirement and residential care facilities may also be established;
  - (b) non-residential uses which provide a community service function or a local service such as a café, are only established where they are small scale, primarily serve the needs of the immediate locality, do not significantly detract from residential amenity, do not compromise the role of any centre and are provided as part of a mixed use development with residential, retirement or tourist accommodation;
  - (c) reconfiguration does not reduce lot sizes below 800m<sup>2</sup>, unless the resultant lots are of a sufficient size to accommodate well-designed development and all required design elements (e.g. articulation of building elements, landscaping, deep planting and open space) or where a townhouse development has been designed to facilitate freehold titling;

Editor's note – small medium density residential zoned sites may need to be amalgamated or packaged into larger sites to facilitate well-designed, integrated and efficient multiple dwelling design outcomes.

- (d) individual apartment development provides a range of dwelling sizes in terms of the number of bedrooms to cater for a range of different households;
- (e) home-based businesses are undertaken where they do not detract from the residential amenity of the area;
- (f) development is generally two to three storeys in height, unless otherwise intended in a particular precinct;
- (g) buildings are set back from property boundaries to maintain an attractive streetscape character, protect the privacy and amenity of adjoining residences, provide for natural light and air circulation and provide for landscaping, including deep planting areas;
- (h) development incorporates architectural styles and elements that reduce bulk and enhance the visual impact of the built form;
- (i) development achieves a well-designed, architecturally interesting built form through a mix of articulation of building elements, roof forms, screening, textures, materials and colours;
- (j) development makes a positive contribution to the streetscape and character of the locality and strengthens site features, such as views, heritage or significant trees;
- (k) development provides high-quality private and communal open spaces for residents that enhance liveability and meet recreational needs;
- (l) development provides car parking that is integrated into the site and building and does not negatively impact on the site or adjoining sites or the quality and amenity of the streetscape;
- (m) development retains (except where not practicable) or establishes significant trees in deep planting areas and avoids alteration to natural drainage lines; and

Note – the retention of significant trees is accepted as not practicable where a significant tree due to its location prevents the ability to facilitate a well-designed, integrated and efficient multiple dwelling design outcome consistent with this code.

- (n) development creates a safe, comfortable and convenient pedestrian environment within and external to the site, and facilitates a high level of accessibility and permeability for pedestrians and cyclists.

- (3) The purpose of the zone will also be achieved through the following additional overall outcomes for particular medium density residential precincts:
- (a) Precinct MDR1: parkland living, Capalaba:
    - (i) buildings are orientated towards Capalaba Regional Park and encourage surveillance, access and views towards the park;
    - (ii) building height reinforces the role and vibrancy of Capalaba as a principal centre;
    - (iii) paths and landscape elements connect to the east-west pedestrian spine through Capalaba principal centre through to Capalaba Regional Park; and
    - (iv) development reinforces a low speed traffic environment within the precinct and extensive on-street car parking.



**Figure 6.2.3.2.1—Precinct MDR1: parkland living, Capalaba**

- (b) Precinct MDR2: Mount Cotton Road, Capalaba:
- (i) building height provides a transition in height between the principal centre and the surrounding residential environment, to minimise potential impacts of overshadowing and loss of privacy on adjoining sites.

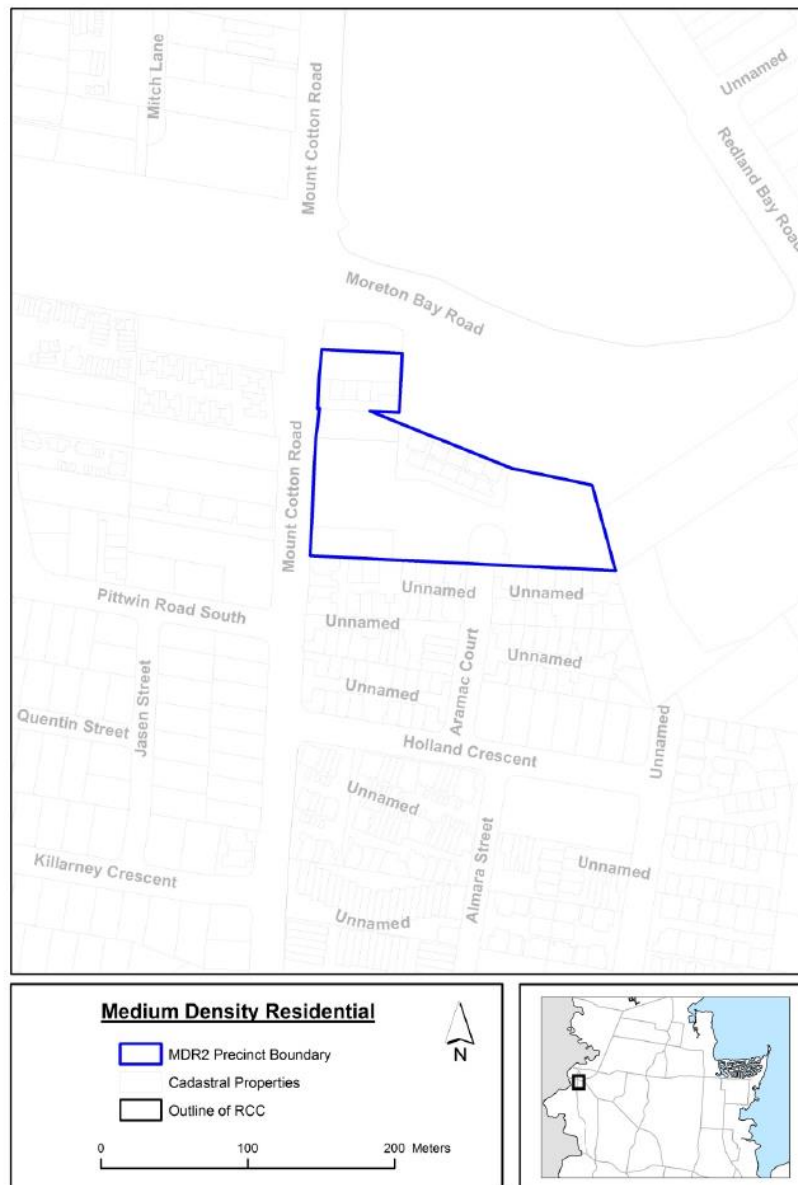


Figure 6.2.3.2.2—Precinct MDR2: Mount Cotton Road, Capalaba

- (c) Precinct MDR3: Shore Street East, Cleveland:
- (i) a slightly higher built form creates a focal point between Cleveland principal centre and Toondah Harbour; and
  - (ii) new development consolidates underutilised sites.

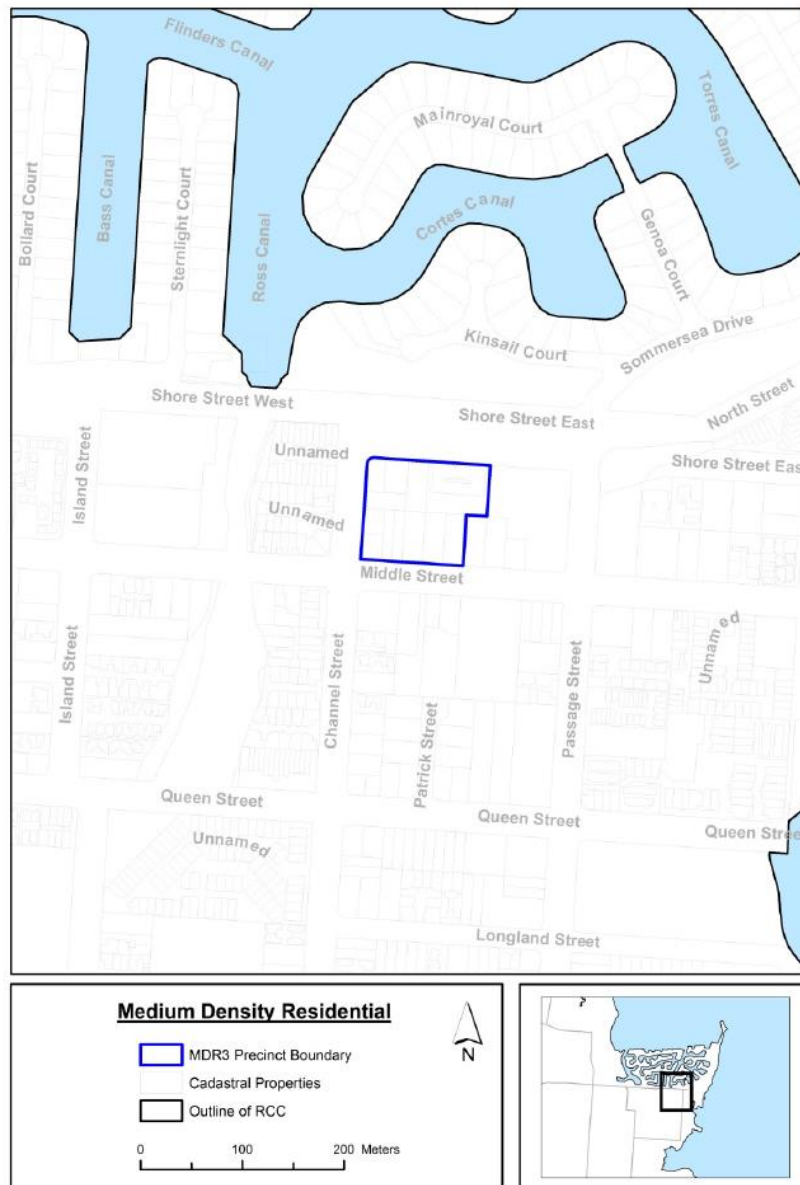
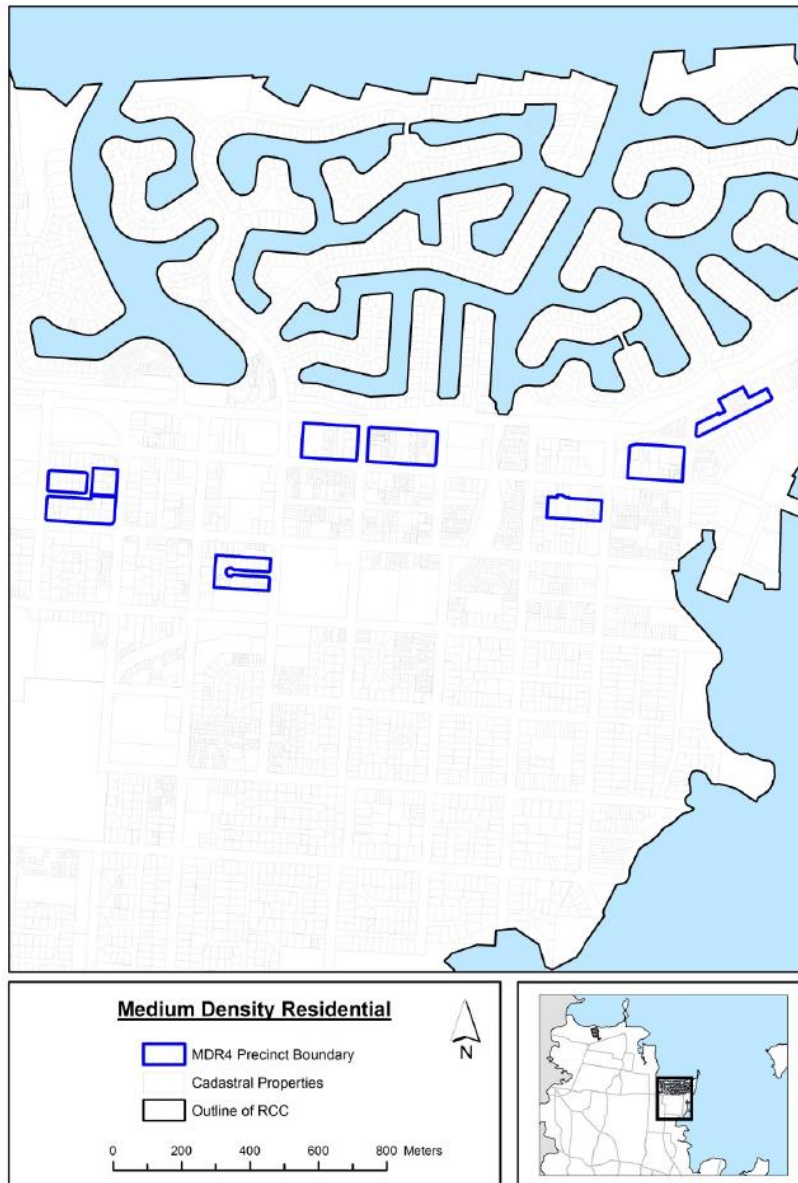


Figure 6.2.3.2.3—Precinct MDR3: Shore Street East, Cleveland

- (d) Precinct MDR4: Cleveland:
- (i) development assists in providing connections between Cleveland principal centre and the surrounding area;
  - (ii) building height reinforces the role and vibrancy of Cleveland as a principal centre and the connection between the centre and Toondah Harbour; and
  - (iii) new development consolidates underutilised sites.



**Figure 6.2.3.2.4—Precinct MDR4: Cleveland**



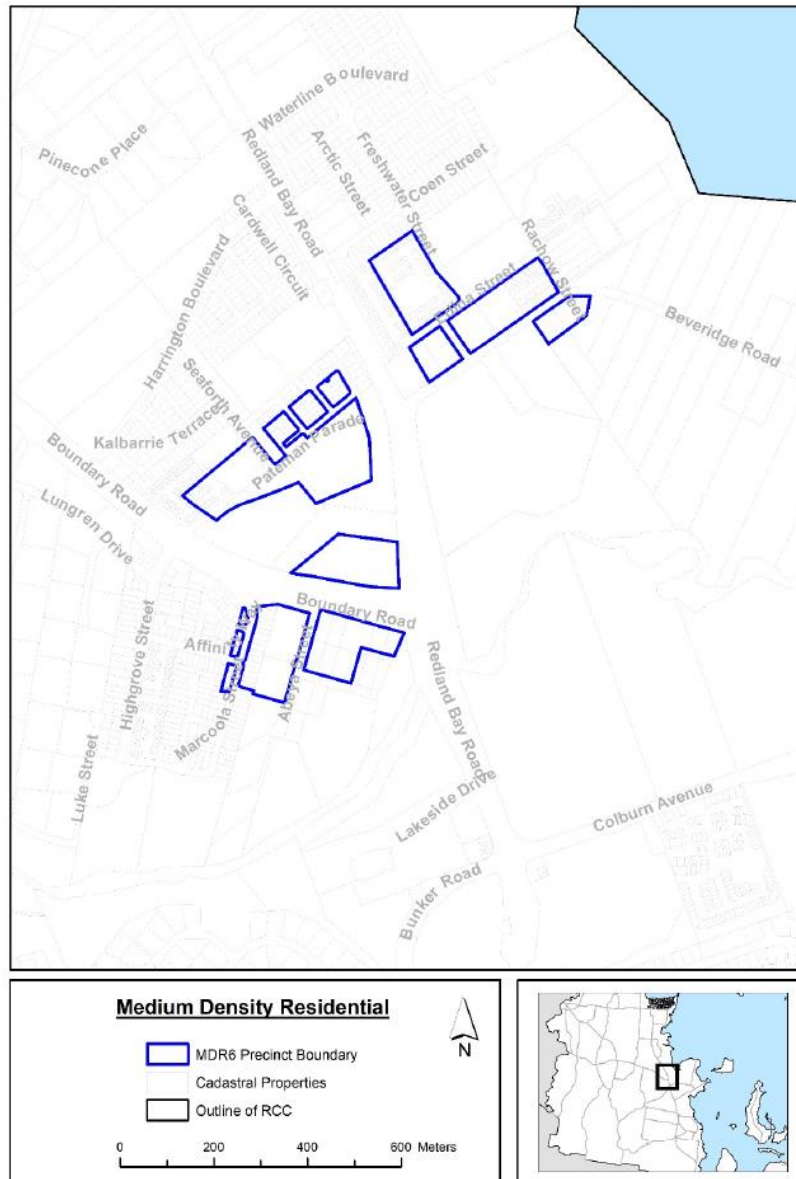
- (e) Precinct MDR5: Esplanade, Redland Bay:
  - (i) development provides for a slightly higher built form which optimises the amenity provided by the bay-side location.



**Figure 6.2.3.2.5—Precinct MDR5: Esplanade, Redland Bay**



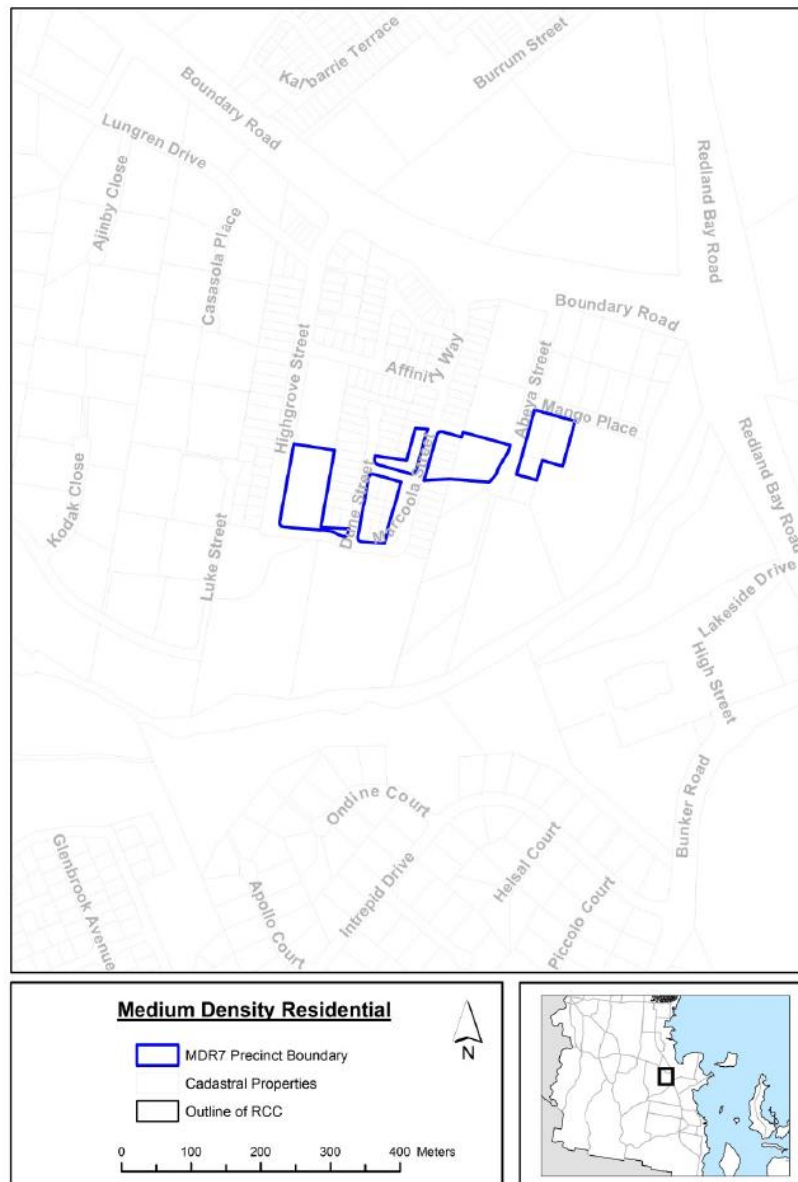
- (f) Precinct MDR6: South East Thornlands:
- (i) urban development provides for a mix of affordable housing types;
  - (ii) transport networks are coordinated and interconnected to ensure a high level of accessibility for pedestrians, cyclists, public transport and private vehicles; and
  - (iii) interim development does not compromise or constrain the potential for well designed future urban communities.



**Figure 6.2.3.2.6—Precinct MDR6: South East Thornlands**

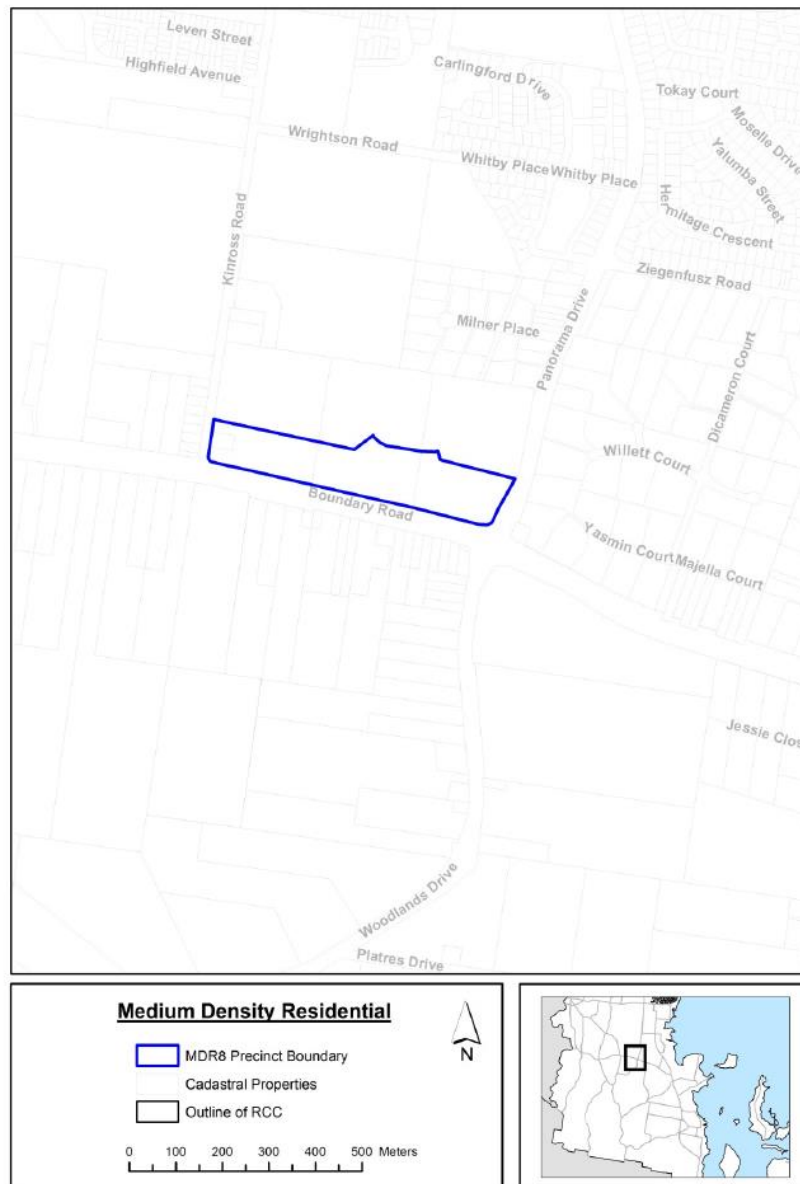
- (g) Precinct MDR7: Erapah Creek, South East Thornlands:
- (i) urban development provides for a mix of affordable housing types;

- (ii) development along Eprapah Creek provides for a slightly higher built form which optimises the amenity provided by the creek-side open space;
- (iii) transport networks are coordinated and interconnected to ensure a high level of accessibility for pedestrians, cyclists, public transport and private vehicles; and
- (iv) interim development does not compromise or constrain the potential for well designed future urban communities.



**Figure 6.2.3.2.7—Precinct MDR7: Eprapah Creek, South East Thorlands**

- (h) Precinct MDR8: Kinross Road and Boundary Road and precinct MDR9: Kinross Road:
    - (i) urban development provides for a mix of housing types and achieves a minimum net residential density of 44 dwellings per hectare;
    - (ii) development provides for a high level of accessibility to nearby local centres and community facilities;
    - (iii) transport networks are coordinated and interconnected to ensure a high level of accessibility for pedestrians, cyclists, public transport and private vehicles;
    - (iv) development on land fronting Boundary Road and Panorama Drive is designed to:
      - (A) rely on access from the internal street network with no access from Boundary Road and Panorama Drive; and
      - (B) facilitate landscaping and acoustic treatment of Boundary Road and Panorama Drive;
    - (v) development maintains significant habitat linkages and assists in the safe movement of koalas;
- Editor's note—Applicants should be aware that the provisions of the *Planning Regulation 2017*, Schedules 10 (part 10) and 11 also apply to development in this area.
- (vi) development does not compromise or constrain the potential for well designed future urban communities;
  - (vii) building height in precinct MDR8 Kinross Road and Boundary Road is compatible with that of surrounding residences.



**Figure 6.2.3.2.8—Precinct MDR8: Kinross Road and Boundary Road**



**Figure 6.2.3.2.9—Precinct MDR9: Kinross Road**

### 6.2.3.3 Medium density residential zone code – Specific benchmarks for assessment

**Table 6.2.3.3.1—Benchmarks for assessable development**

Performance outcomes	Acceptable outcomes
<b>For development that is accepted subject to requirements and assessable development</b>	
<b>Dual occupancies</b>	
<b>PO1</b> Good residential design promotes the efficient use of a lot, an acceptable amenity to residents, and facilitates off street parking.	<b>AO1.1</b> A Dual occupancy complies with all of the Acceptable Solutions specified in the Queensland Development Code part MP1.3. Note — For the purpose of this AO, a reference to "duplex" in the Queensland Development Code MP1.3 is taken to be "Dual occupancy" as defined by this planning scheme. Note — References to the Queensland Development Code MP1.3 for the purposes of this AO are to be applied as if these provisions applied to a Dual occupancy. Note — The Queensland Development Code MP1.3 indicates that it is only applicable to Class 1 and associated Class 10 buildings. For the purpose of this AO, the class of building is irrelevant, as long as the development meets the definition of "dual occupancy" as defined by this planning scheme. Note — Other zone code provisions will prevail over this acceptable outcome to the extent of any inconsistency.
<b>For assessable development</b> Note – Planning Scheme Policy 7 Multiple Dwelling Design Guide provides assistance to applicants in achieving high standard design outcomes for multiple dwellings that meet the assessment criteria in this planning scheme.	
<b>Non residential uses</b>	
<b>PO2</b> Non-residential uses occur only where they: <ol style="list-style-type: none"> <li>(1) are for a food and drink outlet, community care centre or community use;</li> <li>(2) are designed to be compatible with residential activities as part of a mixed use development;</li> <li>(3) do not unduly detract from internal or local residential amenity;</li> <li>(4) are small scale and primarily serve the immediate community; and</li> <li>(5) do not impact on the function of any nearby centre.</li> </ol>	No acceptable outcome is nominated.
<b>Short term accommodation</b>	
<b>PO3</b> Short term accommodation is located and designed to minimise conflicts with permanent residential development.	No acceptable outcome is nominated.
<b>All residential development – communal and private open space</b>	


Performance outcomes	Acceptable outcomes
<p><b>PO4</b></p> <p>Development involving an apartment development with 10 or more dwellings or a townhouse development with 20 or more dwellings provides sufficient communal open space that:</p> <ol style="list-style-type: none"> <li>(1) is readily accessible, usable and safe;</li> <li>(2) provides flexible spaces and recreation facilities suitable for a range of activities;</li> <li>(3) is landscaped to provide shade, creating a pleasant micro-climate and for visual relief to soften the impact of building and hardstand areas;</li> <li>(4) provides opportunity for casual social interaction;</li> <li>(5) is designed and located to minimise impacts on the amenity of residents of the development and neighbouring properties;</li> <li>(6) is co-located with but separate from deep planting areas (except where not practicable); and</li> <li>(7) minimises impervious ground level areas to improve on-site stormwater filtration.</li> </ol>	<p><b>AO4.1</b></p> <p>Communal open space is provided, where development involves:</p> <ol style="list-style-type: none"> <li>(1) an apartment development with 10 or more dwellings; <ol style="list-style-type: none"> <li>(a) provides a minimum of 15% of the site area or 100m<sup>2</sup> (whichever is greater) as communal open space;</li> <li>(b) has a minimum dimension of 5m; and</li> <li>(c) communal open space can be provided at ground level, on rooftops, on podiums, by indoor recreational facilities, or a combination of these; and</li> </ol> </li> <li>(2) a townhouse with 20 or more dwellings; <ol style="list-style-type: none"> <li>(a) provides a minimum of 5% of the site area or a minimum area of 50m<sup>2</sup> (whichever is greater) as communal open space; and</li> <li>(b) has a minimum dimension of 5m.</li> </ol> </li> </ol> <p><b>AO4.2</b></p> <p>A communal open space area is designed to:</p> <ol style="list-style-type: none"> <li>(1) be centrally located to be readily accessible for residents via pedestrian pathways;</li> <li>(2) be co-located with deep planting areas where practicable;</li> <li>(3) ensure that 50% of the principal usable area receives a minimum of two hours of direct sunlight between 9am and 3pm on 21 June;</li> <li>(4) be clearly distinguished from any private open space ;</li> <li>(5) be well lit and subject to passive surveillance;</li> <li>(6) provide a range of recreational facilities including, for example; <ol style="list-style-type: none"> <li>(a) seating for individuals or groups;</li> <li>(b) barbeque areas;</li> <li>(c) play equipment or play areas; and</li> <li>(d) swimming pool, gyms, tennis court, common room or communal gardens;</li> </ol> </li> <li>(7) provide a minimum of 15% planted or grassed landscaping, including a planted area with a minimum width of 1.5m where adjoining a neighbouring property;</li> <li>(8) ensure a minimum of 15% of the area is shaded by trees;</li> <li>(9) have a finished surface level with a gradient less than 5 percent;</li> <li>(10) have hard and soft landscape treatments; and</li> </ol>

Performance outcomes	Acceptable outcomes
	<p>(11) be clear of all non-recreational structures, including clothes hoists, driveways, water tanks, car parking and garbage storage.</p> <p>Editor's note: landscaping provided in communal open space is separate from deep planting areas.</p>
<p><b>PO5</b></p> <p>Development provides private open space that:</p> <ul style="list-style-type: none"> <li>(1) is useable in size and shape to meet the needs of a diversity of potential residents;</li> <li>(2) is functional and easily accessible from living or common areas to promotes outdoor living as an extension of the dwelling;</li> <li>(3) is clearly identified as private open space;</li> <li>(4) provides a high level of privacy for residents and neighbours; and</li> <li>(5) is located and designed to enhance the liveability of residents.</li> </ul>	<p><b>AO5.1</b></p> <p>For a ground floor dwelling, ground floor private open space is designed and located to:</p> <ul style="list-style-type: none"> <li>(1) predominately face north, east or west;</li> <li>(2) provide a minimum area of 16m<sup>2</sup> if a dwelling in a residential care facility; or</li> <li>(3) provide a minimum area of 25m<sup>2</sup> for all other dwellings;</li> </ul> <p>with:</p> <ul style="list-style-type: none"> <li>a. a minimum dimension of 4m and clear of any utilities such as gas, clothes drying facilities, water tanks or air-conditioning units;</li> <li>b. direct access from living or common areas to extend the living space;</li> <li>c. screening or fencing to clearly identify the area as private open space;</li> <li>d. a high level of privacy for residents and neighbours; and</li> <li>e. a high level of acoustic amenity.</li> </ul>



Performance outcomes	Acceptable outcomes
	<p><b>AO5.2</b></p> <p>For dwellings above ground level, private balconies are designed and located to:</p> <ol style="list-style-type: none"> <li>(1) predominately face north, east or west;</li> <li>(2) be orientated with the longer side facing outwards, or open to the sky, to optimise daylight access into adjacent rooms;</li> <li>(3) provide a minimum of 10m<sup>2</sup> if a dwelling in a residential care facility; or</li> <li>(4) for all other dwellings: <ol style="list-style-type: none"> <li>(a) a minimum area of 10m<sup>2</sup> for a 1 bedroom unit; or</li> <li>(b) a minimum area of 16m<sup>2</sup> for a two or more bedroom unit;</li> </ol> </li> </ol> <p>with:</p> <ol style="list-style-type: none"> <li>a. a minimum dimension of 3m and clear of any air conditioning unit or drying space;</li> <li>b. direct access from living or common areas to extend living areas; and</li> <li>c. a high level of privacy for residents and neighbours.</li> </ol>
	<p><b>AO5.3</b></p> <p>Where clothes drying areas are provided on private balconies they are screened from public view and do not take up more than 10% of the balcony area.</p>
<b>Apartment diversity</b>	
<p><b>PO6</b></p> <p>Development for an apartment development involving 5 or more dwellings provides a mix of dwelling sizes, in terms of the number of bedrooms, to accommodate a range of household types.</p>	No acceptable solution nominated.
<b>Built form</b>	
<p><b>PO7</b></p> <p>Development occurs on a site that has an area and street frontage width that is sufficient to:</p> <ol style="list-style-type: none"> <li>(1) accommodate the scale and form of well-designed and articulated multiple dwelling building;</li> <li>(2) allow buildings to be oriented to the street;</li> <li>(3) provide for communal and private open spaces at ground level;</li> <li>(4) provide safe and convenient vehicle access to the site;</li> </ol>	<p><b>AO7.1</b></p> <p>Development has a minimum site area and street frontage width of:</p> <ol style="list-style-type: none"> <li>(1) 800m<sup>2</sup> and 20m, for a building 3 storeys or less in height; or</li> <li>(2) 1,000m<sup>2</sup> and 20m, for a building 4 storeys or greater in height.</li> </ol>

Performance outcomes	Acceptable outcomes
(5) accommodate on-site parking for residents and visitors, and waste and delivery vehicles manoeuvring; (6) deliver substantial landscaping including deep planting areas to retain or establish significant trees; and (7) provide adequate building setbacks to adjoining properties to maintain residential amenity and privacy.	
<b>PO8</b> Development provides for interaction with the street and public spaces by: <ol style="list-style-type: none"> <li>(1) providing non-residential uses, like a food and drink outlet, at ground level with direct and safe pedestrian access; or</li> <li>(2) providing dwellings or habitable rooms at ground level; and</li> <li>(3) ensuring ground level dwellings or habitable rooms adjoining a street or public space have direct and safe pedestrian access to the street or public space wherever possible.</li> </ol>	No acceptable solution nominated.  Figure 6.2.3.3.6 illustrates.
<b>PO9</b> Site cover: <ol style="list-style-type: none"> <li>(1) is consistent with the intended medium density character of the area and immediate streetscape;</li> <li>(2) mitigates the bulk and scale of development;</li> <li>(3) provides natural light, sunlight and breeze to living and open space areas;</li> <li>(4) provides for privacy between dwelling units for residents and neighbouring properties;</li> <li>(5) supports residential amenity for residents and neighbouring properties</li> <li>(6) provides usable open space for residents; and</li> <li>(7) allows for substantial landscaping, including deep planting areas to retain or establish significant trees.</li> </ol>	<b>AO9.1</b> Site cover does not exceed : <ol style="list-style-type: none"> <li>(a) 55% for an apartment development on a lot 800m<sup>2</sup> to 1000m<sup>2</sup>; or</li> <li>(b) 50% for an apartment development on a lot 1000m<sup>2</sup> or greater; or</li> <li>(c) 50% for a townhouse development.</li> </ol> Editor's note: there is no acceptable outcome for development on a lot less than 800m <sup>2</sup> . An application on a lot less than 800m <sup>2</sup> requires assessment against the site cover performance outcome.
<b>PO10</b> Building height: <ol style="list-style-type: none"> <li>(1) in precinct MDR1 parkland living, Capalaba, is mid-rise and provides a transition up to higher buildings within the principal centre;</li> <li>(2) in precinct MDR2 Mount Cotton Road Capalaba, is mid-rise but steps down from the principal centre to low-rise residential areas south of Redland Bay Road;</li> </ol>	<b>A10.1</b> Building height does not exceed the height set out in Table 6.2.3.3.2 Building height.

Performance outcomes	Acceptable outcomes
<p>(3) in precinct MDR3 Shore Street East, Cleveland, is mid-rise but creates a focal point between Cleveland principal centre and Toondah Harbour;</p> <p>(4) in precinct MDR4 Cleveland, is mid-rise and reinforces the connection between Cleveland principal centre and Toondah Harbour;</p> <p>(5) in precinct MDR7 Erapah Creek, South East Thornlands and precinct MDR5 Esplanade, Redland Bay, is mid-rise, accommodating a slightly higher built form than surrounding medium density residential zoned land;</p> <p>(6) in precinct MDR8 Kinross Road and Boundary Road, is low-rise and compatible with the height of surrounding residences; and</p> <p>(7) is up to three storeys (with a maximum height of 11.5m) in all other areas.</p>	
<p><b>PO11</b></p> <p>Where building height over 11.5m is intended, buildings step down in height and scale to be of a similar size to intended building height on adjoining residential zoned land.</p>	<p><b>AO11.1</b></p> <p>Buildings:</p> <ol style="list-style-type: none"> <li>(1) within 10m of the common boundary have a building height no more than 11.5m; and</li> <li>(2) within 20m of the common boundary have a building height no more than 6m greater than the intended building height on the adjoining site.</li> </ol> <p>Figure 6.2.3.3.1 illustrates.</p>  <p><b>Figure 6.2.3.3.1 —Height between adjoining development</b></p>

Performance outcomes	Acceptable outcomes
<p><b>PO12</b> Front boundary setbacks (other than basements):</p> <ol style="list-style-type: none"> <li>(1) create an attractive, consistent and cohesive streetscape;</li> <li>(2) results in development not being visually dominant or overbearing with respect to the streetscape;</li> <li>(3) assist in achieving visual privacy to ground floor dwellings from the street;</li> <li>(4) support the location of balconies for casual surveillance of the street and articulation of the building facade;</li> <li>(5) provide for landscaping to soften and screen the built form, including deep planting areas to retain or establish significant vegetation;</li> <li>(6) provide for usable open space for the residents;</li> <li>(7) provide for visitor car parking for apartment development; and</li> <li>(8) where tandem car parking spaces are proposed in front of townhouse garages, they are contained wholly within the property boundary.</li> </ol> <p>Editor's note –The provision of tandem car parking spaces is not supported in all locations. Refer to Table 9.3.5.3.2 – Minimum on-site vehicle parking requirements in the Transport, servicing, access and parking code for further information.</p>	<p><b>AO12.1</b> The front boundary setback is a minimum of:</p> <ol style="list-style-type: none"> <li>(1) 3m to the building wall and 5.5m for garage doors for a townhouse development; or</li> <li>(2) 4m to balcony, eaves, awning or the like and 6m to building wall for an apartment development;</li> </ol> <p>Figure 6.2.3.3.5 illustrates.</p>
<p><b>PO13</b> Side and rear boundary setbacks:</p> <ol style="list-style-type: none"> <li>(1) minimise the impacts of development on the amenity and privacy of existing and future adjoining residents;</li> <li>(2) does not prejudice the intended future development of adjoining sites;</li> <li>(3) contribute to the pattern of the streetscape consistent with the intended neighbourhood character;</li> <li>(4) support the separation of buildings to provide visual and acoustic privacy;</li> <li>(5) maintain sufficient levels of natural light, and air circulation for residents of the development and adjoining sites;</li> <li>(6) ensure daylight penetrates all sides of the proposed building;</li> <li>(7) provide for communal and private open space areas;</li> <li>(8) provide space for service functions, including clothes drying areas if needed;</li> <li>(9) support the introduction of landscaping to complement building massing, screen buildings and support the privacy of</li> </ol>	<p><b>AO13.1</b> The side boundary setback:</p> <ol style="list-style-type: none"> <li>(1) provides that a built to boundary wall does not exceed 4.5m in height and 9m in length along any one external boundary for a townhouse development; and</li> <li>(2) otherwise for a townhouse development, is a minimum of: <ol style="list-style-type: none"> <li>(a) 1.5m for a building wall up to 4.5m high;</li> <li>(b) 2m for a wall up to 8.5m high;</li> <li>(c) 2m plus 0.5m for every 3m or part thereof by which the building exceeds 8.5m; or</li> </ol> </li> <li>(3) for apartment development on a lot 800m<sup>2</sup> to 1000m<sup>2</sup>, is a minimum of 3m to a balcony or the building wall; or</li> <li>(4) for apartment development on a lot greater than 1000m<sup>2</sup>, is a minimum of 4m to a balcony or the building wall.</li> </ol> <p>Note—Where a <a href="#">multiple dwelling</a> in the form of attached or terrace houses is proposed, side setbacks would apply only to boundaries shared with adjoining</p>

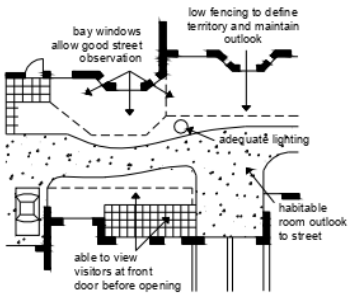
Performance outcomes	Acceptable outcomes
<p>existing and future adjoining residents; and</p> <p>(10) provide for deep planting areas, to retain and protect significant native trees (except where not practicable) and vegetation, or establish large subtropical shade trees.</p> <p>Note – the retention of a significant tree is accepted as not practicable where a significant tree due to its location prevents the ability to facilitate a well-designed, integrated and efficient multiple dwelling design outcome consistent with this code.</p>	<p>sites and not to "internal" lot boundaries within the development site.</p> <p><b>AO13.2</b></p> <p>The rear boundary setback is:</p> <p>(1) for a townhouse development a minimum of 3m; or</p> <p>(2) for apartment development on a lot 800m<sup>2</sup> to 1000m<sup>2</sup>, a minimum of 5m to a balcony or the building wall; or</p> <p>(3) for apartment development on a lot greater than 1000m<sup>2</sup>, a minimum of 6m to a balcony or the building wall.</p>
<p><b>PO14</b></p> <p>Basements:</p> <p>(1) are located outside of deep planting areas;</p> <p>(2) are designed to integrate into the building façade and landscape design to minimise visual impacts on the streetscape; and</p> <p>(3) provide for natural ventilation.</p>	<p>No acceptable outcome is nominated.</p>
<p><b>PO15</b></p> <p>Buildings are designed to:</p> <p>(1) contribute to an attractive streetscape and intended character of the local area;</p> <p>(2) be orientated to the street;</p> <p>(3) incorporate balconies that address street frontages and public spaces;</p> <p>(4) provide modulation and articulation in the building façade and elevations' horizontal and vertical profiles;</p> <p>(5) provide projections and recesses in the facade and elevations that reflect changes of internal functions of buildings, including circulation;</p> <p>(6) include variation in building materials, contrasting colours, textures and finishes that emphasise architectural features;</p> <p>(7) use similarly proportioned roof forms, doors, windows and balconies to complement the local character;</p> <p>(8) break up the appearance of large buildings through roof form, materials, articulation, projections and recesses that reflect the existing streetscape scale; and</p> <p>(9) articulate building entrances and openings.</p>	<p>No acceptable outcome is nominated.</p> <p>Figures 6.2.3.3.6 and 6.2.3.3.7 illustrates</p>
<p><b>PO16</b></p> <p>Development ensures that:</p> <p>(1) corner sites address both street frontages; and</p>	<p>No acceptable outcome is nominated.</p> <p>Figures 6.2.3.3.6 and 6.2.3.3.7 illustrates.</p>

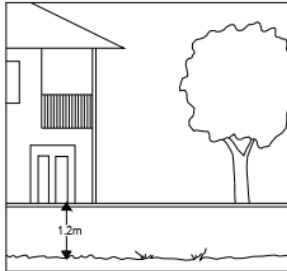
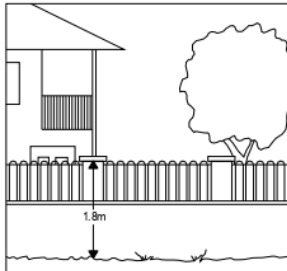
Performance outcomes	Acceptable outcomes
(2) key corners are given prominence by changes in articulation, materials, colour/artwork and roof expression.	
<b>PO17</b> Development for services and related structures: (1) are accessible for maintenance; (2) are integrated to blend into the overall development design; and (3) are designed and orientated to not visually dominate the street frontage.	<b>AO17.1</b> Services and related structures (such as electricity transformers, fire hydrant and booster assemblies.) where located in the front boundary setback: (1) extend for no more than 5m or 10% of the street frontage (whichever is lesser); (2) are orientated towards internal driveways or footpaths; and (3) are located, screened with similar materials to the building or landscaped to not be visually obtrusive when viewed from the street.  Figure 6.2.3.3.7 illustrates.
<b>PO18</b> A main pedestrian entrance is provided for an apartment building that connects the street with the building and: (1) is separated from the vehicle entry; (2) provides safe and convenient access to the building for pedestrians, with crime prevention principles incorporated, to eliminate concealment areas and visually delineate the public and private spaces; and (3) includes an entry treatment that provides waiting space off the footpath, lighting, mailboxes, building signage and numbering.	No acceptable outcome is nominated.
<b>PO19</b> Multiple dwelling building walls are designed to: (1) be visually interesting through the provision of articulation on the side and rear walls; (2) avoid highly reflective finishes; (3) break up multiple dwelling development and reduce the scale and bulk of the buildings; and (4) support dual-orientation dwellings to provide for natural cross ventilation.	<b>AO19.1</b> The maximum length of a building wall in any direction is 30m, with a change in the building line every 15m on side and rear walls of plus or minus 1.5m for a length not less than 5m.  Figures 6.2.3.3.6 and 6.2.3.3.7 illustrates.  Editor's note-full building separation provides a minimum of 6m.
<b>PO20</b> Design elements promote a subtropical and climate responsive design character through: (1) the use of deep balconies, decks and eaves;	No acceptable outcome is nominated  Figures 6.2.3.3.6 and 6.2.3.3.7 illustrates.

Performance outcomes	Acceptable outcomes
<ul style="list-style-type: none"> <li>(2) orientating habitable room windows, private open space (balconies and terraces) to the north where possible;</li> <li>(3) maximising dwellings with a northern aspect;</li> <li>(4) maximising dual orientation of habitable rooms to provide for natural cross ventilation;</li> <li>(5) integration of buildings with landscape planting and deep planting areas to create a pleasant micro-climate; and</li> <li>(6) screening habitable rooms from the western sun, using building and landscape elements.</li> </ul>	<p>Editor's note—Applicants should have regard to Subtropical Design in South East Queensland A Handbook for Planners Developers and Decision Makers (2010 Centre for Subtropical Design QUT).</p>
<p><b>PO21</b></p> <p>The design of roof form, rooftops and building caps of apartment development:</p> <ul style="list-style-type: none"> <li>(1) provides an interesting and attractive roof-scape that enhances the architectural distinction of the building and makes a positive contribution to the local character;</li> <li>(2) is articulated to reduce the bulk and scale of a building when viewed from the street</li> <li>(3) considers the ability for discreet placement and optimum orientation of solar panels;</li> <li>(4) maximises solar access for dwellings during winter and provides shade in summer; and</li> <li>(5) incorporates variety in design; and</li> <li>(6) effectively integrates or screens service structures, plant and equipment and provides for the future inclusion of additional plant and equipment; and</li> <li>(7) avoids highly reflective finishes.</li> </ul>	<p><b>AO21.1</b></p> <p>Roof form, rooftops and building caps are designed to:</p> <ul style="list-style-type: none"> <li>(1) include interesting forms created through pitches, gables, skillions or other features;</li> <li>(2) be articulated to break down the roof and building bulk and scale;</li> <li>(3) provide opportunity for stormwater collection, solar energy and communal open space;</li> <li>(4) be angled to the north and east to maximise solar access in winter; and</li> <li>(5) incorporate hoods and overhangs to shade walls and windows from the summer sun.</li> </ul> <p>Figures 6.2.3.3.6 and 6.2.3.3.7 illustrates.</p> <p><b>AO21.2</b></p> <p>Rooftop service structures, plant and equipment are:</p> <ul style="list-style-type: none"> <li>(1) integrated into the building design to be an architectural feature; or</li> <li>(2) discreet or effectively screened; and</li> <li>(3) designed to enable future inclusion of plant and equipment such as telecommunications facilities in an unobtrusive manner</li> </ul> <p><b>AO21.3</b></p> <p>Where rooftops are used for communal open space:</p> <ul style="list-style-type: none"> <li>(1) service structures, plant and equipment are visually and acoustically screened; and</li> <li>(2) landscaping is provided to provide shade and visual relief.</li> </ul>

Performance outcomes	Acceptable outcomes
<b>PO22</b> Parking facilities for apartment development: (1) are contained within a basement level or within the building footprint where located at ground level ; (2) are designed to not dominate the streetscape or the building form when viewed from the street, other public spaces and adjoining properties; (3) provide storage areas for residents; and (4) mitigate amenity impacts on adjoining residents.	<b>AO22.1</b> Parking facilities for residents (excludes visitor car parking):: (1) are located in a basement level; or (2) within the building footprint at ground level where; (a) landscaped and screened from view from the street, other public spaces and adjoining properties; (b) integrated into the building façade through architectural elements; and (3) provide storage areas for residents.
	<b>AO22.2</b> Visitor car parking (excludes resident parking) are located: (1) in a basement level; or (2) at ground level within the building footprint where landscaped or screened from view from the street, other public spaces and adjoining properties; or (3) in the front setback where adjoining the driveway and landscaped or screened from view from the street.
<b>PO23</b> Parking facilities for townhouse development are located so they do not dominate the streetscape or the building form when viewed from the street.	<b>AO23.1</b> Vehicle parking structures are located behind the front building alignment.
<b>PO24</b> Driveways and internal access ways are located and designed to: (1) integrate into the overall building design; (2) define the public and private space; (3) support active street frontages and enhance the streetscape character; (4) incorporate high quality pavement materials, textures and colours to contribute to an attractive and interesting streetscape; (5) minimise visual impact of long driveways through changing alignments and landscaping; (6) be located on secondary/rear frontages, where available; (7) limit the number and width of driveway crossovers to the minimum required; (8) minimise the extent of internal access ways; (9) mitigate impacts on neighbouring properties; (10) maximise the availability of on-street parking;	<b>AO24.1</b> Driveways and internal access ways are located and designed: (1) to incorporate high quality pavement materials, textures and colours that are consistent with the overall building design; (2) to be limited to one crossover per street frontage; (3) to provide the minimum width required; (4) to be offset from the side boundary by a minimum of 1m to allow for landscaping; and (5) to minimise and soften visual impacts through (a) offset alignment of the driveway and landscaping to screen the view of the driveway from the street; (b) a change in alignment within 20m from the street frontage; and



Performance outcomes	Acceptable outcomes
(11) support the retention or establishment of street trees; and (12) allow for refuse collection and street infrastructure.	(c) soft landscaping along the driveway and at the end of the straight alignment.  Figure 6.2.3.3.6 illustrates.
<b>PO25</b> Development provides front fences or walls along street frontages, or public spaces, that create an attractive streetscape by: <ol style="list-style-type: none"> <li>(1) incorporating a mixture of building materials that complement the design of buildings</li> <li>(2) providing visual interest and a softening of the visual impact where significant in length</li> <li>(3) highlighting the entrance to the property</li> </ol>	<b>AO25.1</b> Fences or walls along a street front or public space are designed to incorporate a mixture of building materials that complement the design of the building.  <b>AO25.2</b> Where a fence or wall along street frontages or public spaces exceeds 10m in length, indentations, material variation or soft landscaping (including planter boxes) are incorporated.  Figure 6.2.3.3.6 illustrates.
<b>PO26</b> Development is designed to discourage crime and anti-social behaviour by: <ol style="list-style-type: none"> <li>(1) maximising opportunities for casual surveillance of the street, public places, communal open space (where provided) pedestrian and cycle paths, including the primary pedestrian entrance and car parking areas;</li> <li>(2) ensuring spaces are well lit;</li> <li>(3) minimising potential concealment and entrapment opportunities;</li> <li>(4) providing direct movements with clear unobscured sight lines; and</li> <li>(5) having fencing and walls along a street frontage or public space incorporate visually permeable materials and treatments.</li> </ol>	<b>AO26.1</b> Balconies, windows and building openings overlook streets and other public spaces.  Figures 6.2.3.3.2 and 6.2.3.3.8 illustrates.   <p>The diagram shows a cross-section of a street. On the left, a building has bay windows labeled 'bay windows allow good street observation'. On the right, there is a fence labeled 'low fencing to define territory and maintain outlook'. A light fixture is labeled 'adequate lighting'. A room on the right is labeled 'habitable room outlook to street'. A door on the left is labeled 'able to view visitors at front door before opening'.</p> <b>Figure 6.2.3.3.2—Overlooking</b>  <b>AO26.2</b> Fences or walls along a street frontage or public space have a maximum height of: <ol style="list-style-type: none"> <li>(1) 1.2m where solid; or</li> <li>(2) 1.8m where that portion of the fence above 1.2m high is at least 50% transparent.</li> </ol>

Performance outcomes	Acceptable outcomes
	<p>Figures 6.2.3.3.3 and 6.2.3.3.4 illustrate.</p>  <p><b>Figure 6.2.3.3.3 — Fencing (1)</b></p>  <p><b>Figure 6.2.3.3.4 — Fencing (2)</b></p>
<p><b>PO27</b></p> <p>On elevated or steeply sloping sites:</p> <ol style="list-style-type: none"> <li>(1) development is sympathetic to the natural landform through the use of terraced or split level building forms that minimise ground level disturbance outside the building footprints; and</li> <li>(2) the understoreys of buildings are screened to maintain the quality of view when viewed from below.</li> </ol>	<p>No acceptable outcome is nominated.</p>
<b>Amenity</b>	
<p><b>PO28</b></p> <p>Privacy between dwelling units on the site and adjoining sites is achieved by effective building design and the location of windows and outdoor open spaces to prevent overlooking into habitable rooms or private open space areas or through the use of screening devices. Where screening devices are used, they are integrated with the building design.</p>	<p><b>AO28.1</b></p> <p>Where habitable room windows are directly adjacent to habitable rooms of adjoining dwellings and are within a distance of 9m and within an angle of 45 degrees, privacy is protected by:</p> <ol style="list-style-type: none"> <li>(1) sill heights being a minimum of 1.5m above floor level; or</li> <li>(2) providing fixed translucent screens, such as frosted or textured glazing, for any part of the window below 1.5m above floor level; or</li> <li>(3) providing fixed external screens.</li> </ol> <p>Figure 6.2.3.3.8 illustrates.</p>
	<p><b>AO28.2</b></p>

Performance outcomes	Acceptable outcomes
	<p>Outlook from windows, balconies, stairs, landings, terraces and decks and other private areas, is screened where a direct view is available into the private open space of another dwelling. Screening is achieved by:</p> <ol style="list-style-type: none"> <li>(1) fixed translucent screens, such as frosted or textured glazing, for any part of the window below 1.5m above floor level; or</li> <li>(2) fixed external screens; or</li> <li>(3) planting that will achieve a minimum of 2m in height at maturity.</li> </ol> <p>Figure 6.2.3.3.8 illustrates.</p>
	<p><b>AO28.3</b></p> <p>Where incorporating screening devices, they are:</p> <ol style="list-style-type: none"> <li>(1) solid translucent screens or perforated panels or trellises that have a maximum of 25% openings, with a maximum opening dimension of 50mm and are permanently fixed and durable; and</li> <li>(2) offset a minimum of 300mm from the wall of the building.</li> </ol> <p>Figure 6.2.3.3.8 illustrates.</p>
<p><b>PO29</b></p> <p>Development provides side and rear fencing that protects the privacy and amenity of adjoining properties.</p>	<p><b>AO29.1</b></p> <p>Side and rear boundary fences are a minimum of 1.8m in height where adjoining a residential use.</p> <p>Figure 6.2.3.3.8 illustrates.</p>
<p><b>PO30</b></p> <p>Development is designed to facilitate the retention and establishment of significant trees and street trees (except where not practicable) that:</p> <ol style="list-style-type: none"> <li>(1) complement and soften the scale and bulk of the built form;</li> <li>(2) support an attractive streetscape;</li> <li>(3) enhance the amenity of residents; and</li> <li>(4) provide natural shade to improve the micro-climate.</li> </ol> <p>Note – the retention of a significant tree is accepted as not practicable where a significant tree due to its location prevents the ability to facilitate a well-designed, integrated and efficient multiple dwelling design outcome consistent with this code.</p>	<p>No acceptable outcome is provided.</p>
<p><b>PO31</b></p> <p>On-site landscaping is provided to:</p>	<p><b>AO31.1</b></p> <p>A minimum of 20% of the site is planted or grassed landscaping (rather than hardstand),</p>

Performance outcomes	Acceptable outcomes
(1) contribute to an attractive streetscape; (2) enhance the appearance of the development; (3) complement any native vegetation within the site; (4) provide for the retention or establishment of significant trees in deep planting areas (5) provide privacy between on-site dwellings and adjoining properties; (6) provide natural shade to mitigate heat island impacts; (7) soften and breakup the extent of driveways and internal access ways; and (8) screen unsightly components.	including 10% of the site for deep planting areas.  Editor's note-landscaping that is not deep planting areas can be located in communal open space areas.
	<b>AO31.2</b> A 2m wide planted landscaped area is provided along the length of any public road frontage.
	<b>AO31.3</b> Development provides: (1) a minimum 1m wide planted landscaped area on a side boundary where a driveway, or a ground level open parking area, is located adjacent the boundary; and (2) an extended landscaped area of a minimum of 1.5m for every 5m of driveway length.
<b>PO32</b> Deep planting areas are provided that: (1) are located to retain or establish significant trees to soften the built form; (2) are co-located with communal open space, street trees or deep planting areas on adjoining properties; (3) are accessible to provide informal recreation spaces for residents; (4) are of sufficient size and dimension to support the retention or establishment of significant trees that at maturity complement the scale and height of the built form; (5) are open to the sky with access to light and rainfall; (6) are maintained exclusively for landscaping, with no underground development or infrastructure; (7) reduce urban heat island effects by improving the micro-climate; and (8) provide water quality and quantity benefits from the natural filtration of rainfall into the ground.	<b>AO32.1</b> Deep planting areas are located: (1) within boundary setbacks to soften the built form as viewed from the street and adjoining properties; (2) to retain significant trees; and (3) to co-locate with communal open space, street trees or deep planting areas on adjoining properties.
	<b>AO32.2</b> Deep planting areas are: (1) a minimum of 10% of the site; (2) a minimum unobstructed dimension of 4m in any direction; and (3) completely open to the sky.  Editor's note-the deep planting area acceptable outcome for a minimum of 10% of a site is part of the overall minimum 20% landscaping for a site rather than in addition.
	<b>AO32.3</b> Deep planting areas are exclusively for landscaping and do not contain: (1) driveways, manoeuvring or hardstand areas and pedestrian paths; (2) surface structures and infrastructure such as water tanks or utilities; and (3) sub-surface structures or infrastructure such as basement car parking and water supply or wastewater infrastructure.
<b>PO33</b> Development minimises impacts on surrounding residential amenity and provides	No acceptable outcome is nominated.

Performance outcomes	Acceptable outcomes
a high level of on-site amenity for occupants, having regard to noise, odour, vibration, air or light emissions.	
<b>PO34</b> Siting and design achieves a high level of amenity for occupants by minimising impacts from noise generating areas, such as streets, driveways, car parking areas, service areas, private and communal open space areas and mechanical equipment.	No acceptable outcome is nominated.
<b>PO35</b> Development minimises the extent of shadows on useable private open space or public spaces and provides adequate sunlight to habitable rooms on the site and adjoining.	<b>AO35.1</b> Solar access to habitable rooms and private open space of dwellings: (1) is not less than 3 hours between 9am and 3pm on June 21; or (2) where existing overshadowing by building and fences is greater than this, sunlight is not further reduced by 20%.
<b>PO36</b> Waste and recycling container storage areas: (1) for apartment development are located within the building footprint; (2) provide an accessible location for residents and waste collection; (3) are not be visible from street and other public spaces; (4) mitigate adverse amenity impacts in terms of odour, noise and visual impacts on residents on-site and residents of adjoining properties.	<b>AO36.1</b> Waste and recycling container storage areas are: (1) located within the building footprint for an apartment development; (2) co-located in car parking areas, in a basement or at ground level; (3) separated from open space areas on-site and on adjoining properties; (4) screened or enclosed; (5) integrated into the building design, using similar material and finishes; and (6) well ventilated.
<b>PO37</b> Development site layout and design enhances and complements the character of the surrounding neighbourhood and responds to the topography, natural values and development constraints by: (1) integrating into the surrounding residential neighbourhood; (2) providing an attractive and interesting streetscape; (3) taking advantage of the site's natural features like views, vistas, existing vegetation and landmarks; (4) minimising and mitigating impacts on ecological corridors and native vegetation; and (5) minimising alteration to natural topography and drainage lines.  Editor's note-this performance outcome can be met through submission of a design concept that demonstrates the design process and includes:	No acceptable outcome is nominated.  Editor's note—Applicants will also need to have regard to any relevant overlays applicable to the development site.

Performance outcomes	Acceptable outcomes
(1) site and neighbourhood analysis; (2) building design criteria/principles informed by an opportunities and constraints analysis; and (3) an outline of how the layout and design responds to the site, streetscape, surrounding neighbourhood and natural values constraints.	
<b>Reconfiguration</b>	
<b>PO38</b> Reconfiguration creates lots that are of a size that can accommodate medium density residential development in a form that meets the intentions of this zone. Lots less than 800m <sup>2</sup> are not created.	<b>AO38.1</b> Reconfiguration achieves a minimum lot size of 800m <sup>2</sup> .
<b>PO39</b> Reconfiguration of a townhouse development to establish freehold lots only occurs where: (1) the townhouse development is designed to be freehold titled by ensuring: (a) the townhouse development remains in compliance with the development approvals following reconfiguration; (b) each townhouse remains a self-contained residence following reconfiguration; and (c) that dependant activities of the development are not separated by freehold titling; (2) the lots are created following construction of the townhouses; (3) equitable sharing and ongoing maintenance of any shared facilities or infrastructure is established.  Editor's note- material change of use and reconfiguration applications should be submitted together to allow concurrent assessment.	No acceptable outcome is nominated.
<b>Precinct MDR6: South East Thornlands, and precinct MDR7: Eprapah Creek, South East Thornlands</b>	
<b>PO40</b> Housing is designed and located to maximise outlook across adjoining areas of open space.	No acceptable outcome identified.
<b>PO41</b> Development facilitates the establishment of a safe, permeable, legible and functional movement network that is in accordance with Figures 6.2.3.3.9 road movement network and 6.2.3.3.10 pedestrian, cycle and public transport network.	<b>AO41.1</b> Roads, intersections, paths and public transport stops and associated treatments are established in accordance with Figures 6.2.3.3.9 road movement network and 6.2.3.3.10 pedestrian, cycle and public transport network.
<b>PO42</b> Where development involves or adjoins nominated boulevard roads, the road design:	<b>AO42.1</b> Total width of the boulevard is: (1) central boulevard - 50m; and

Performance outcomes	Acceptable outcomes
(1) creates a grand avenue character, being 50m wide for the central boulevard and 25m wide for the southern boulevard; (2) incorporates very wide landscaped medians that are of a sufficient width to support fauna movement; and (3) wide shoulders and verges which accommodate separated pedestrian and cyclist paths and dense landscaping.	(2) southern boulevard - 25m.
<b>PO43</b> Development is set back from Boundary Road by a distance sufficient to accommodate substantial landscaping to retain a heavily vegetated character.	<b>AO43.1</b> In addition to any widening of the road reserve required by the Queensland Government, development provides a 15m wide strip either side of Boundary Road which is densely vegetated by trees and shrubs.
<b>PO44</b> Development adjoining Cleveland Redland Bay Road and Boundary Road attenuates noise to a level that achieves a high level of residential amenity. Any acoustic walls: <ul style="list-style-type: none"> <li>(1) are screened by landscaping; and</li> <li>(2) incorporate breaks to allow for pedestrian and cyclist permeability.</li> </ul>	No acceptable outcome is nominated.
<b>PO45</b> Development facilitates: <ul style="list-style-type: none"> <li>(1) a logical pattern of development;</li> <li>(2) efficient use of land and infrastructure;</li> <li>(3) a mix of affordable housing types;</li> <li>(4) access to community infrastructure and public transport services at an early stage of development; and</li> <li>(5) land for community uses and public services, including open space education, health, social and emergency services where appropriate.</li> </ul>	No acceptable outcome is nominated.
<b>PO46</b> Development provides for separation and buffering from nearby activities, including primary production, poultry farms and other rural industries, such that amenity and reverse amenity impacts are avoided.	No acceptable outcome is nominated.
<b>Precinct MDR8: Kinross Road and Boundary Road, and Precinct MDR9: Kinross Road</b>	
<b>PO47</b> Development does not create any additional vehicular access points to Boundary Road or Panorama Drive. New lots are provided with access from internal roads.	<b>AO47.1</b> No new access points from lots are provided to Boundary Road or Panorama Drive.
<b>PO48</b>	<b>AO48.1</b>

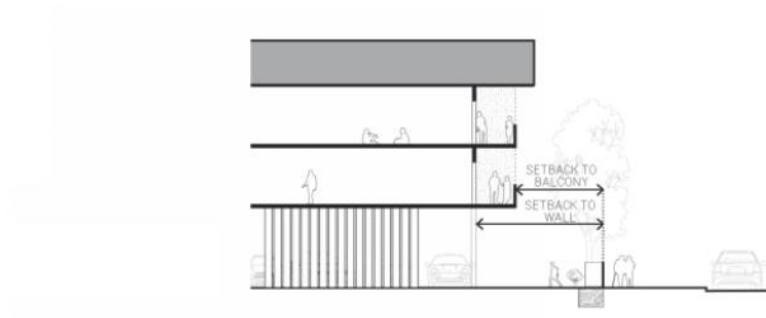
Performance outcomes	Acceptable outcomes
Development does not create any additional vehicular access points to Kinross Road for a distance of 835m from the intersection of Kinross Road and Boundary Road. New lots are provided with access from internal roads.	No new access points from lots are provided to Kinross Road for a distance of 835m from the intersection of Kinross Road and Boundary Road.
<b>PO49</b> Development facilitates the establishment of a safe, permeable, legible and functional movement network that is generally in accordance with Figures 6.2.3.3.11 road movement network and 6.2.3.3.12 pedestrian, cycle, public transport and parks network.	<b>AO49.1</b> Roads, road closures, intersections, paths, fauna crossings, public transport stops and associated treatments are established in accordance with Figures 6.2.3.3.11 road movement network and 6.2.3.3.12 pedestrian, cycle, public transport and parks network.
<b>PO50</b> Development adjoining Boundary Road or Panorama Drive is set back by a sufficient distance to provide for acoustic treatments and substantial landscaping.	<b>AO50.1</b> A 10m wide setback is provided along Boundary Road.  No acceptable outcome is nominated for Panorama Drive.
<b>PO51</b> Development adjoining Boundary Road or Panorama Drive attenuates noise to a level that achieves a high level of residential amenity. Any acoustic walls: (1) are screened by landscaping; and (2) incorporate breaks to allow for pedestrian and cyclist permeability.	No acceptable outcome is nominated.
<b>PO52</b> Development adjoining Boundary Road or Panorama Drive provides landscaping to create a heavily vegetated, high visual quality environment.	No acceptable outcome is nominated.
<b>PO53</b> Kinross Road extending from the intersection at Boundary Road to Goddard Road is designed to operate safely and efficiently and create a grand avenue character.	<b>AO53.1</b> Kinross Road is designed as a boulevard style trunk collector having a reserve width of 32m, including: (1) a 6.5m landscaped verge on both sides of the road incorporating native canopy shade trees, utility services and shared pedestrian/bicycle concrete pathways; (2) a 1.5m on-road cycle lane on both sides of the road using differently textured materials; (3) one vehicular lane and breakdown lane, minimum dimension of 5m on both sides of the road; and (4) a 6m central median incorporating native canopy trees and water sensitive urban design features.
<b>PO54</b> The nominated trunk collector / boulevard providing access to Panorama Drive is	<b>AO54.1</b> The road is designed as a boulevard style trunk collector, having:



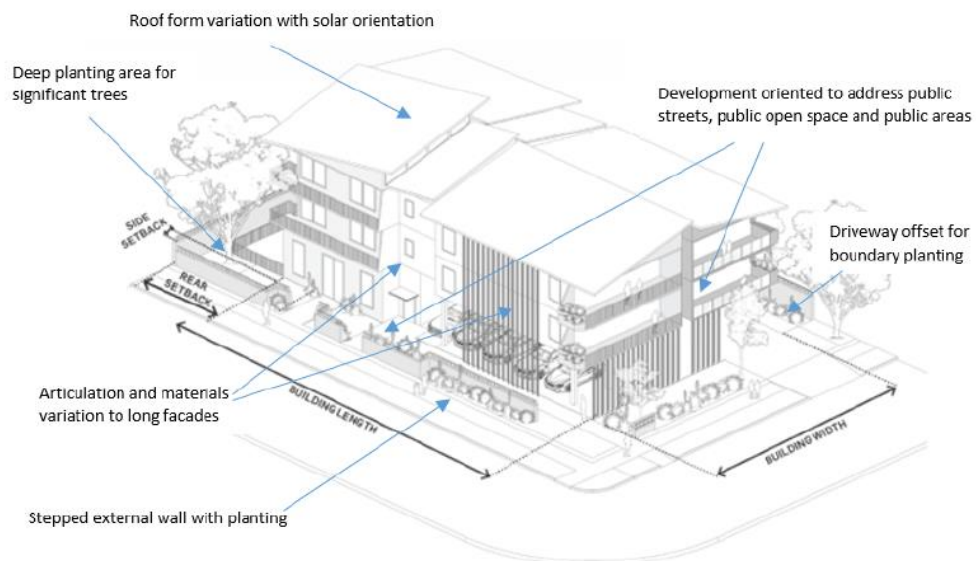
Performance outcomes	Acceptable outcomes
designed to operate safely and efficiently and create a grand avenue character.	(1) a minimum road width of 20m; (2) no direct vehicular access from new uses and lots adjoining the trunk collector; and (3) a left in, right in and left out only intersection to Panorama Drive.
<b>PO55</b> Where development involves nominated esplanade roads treatments adjoining open space, the road design: <ol style="list-style-type: none"> <li>(1) creates a low speed environment;</li> <li>(2) facilitates safe, shared use for vehicles, pedestrians and cyclists;</li> <li>(3) incorporates grassed swales instead of kerb and channel adjacent to the open space; and</li> <li>(4) minimises disturbance to vegetation.</li> </ol>	No acceptable outcome is nominated.
<b>PO56</b> New streets provide sufficient width for on-street parking on both sides.	<b>AO56.1</b> Streets have a minimum width of 18m.
<b>PO57</b> Development facilitates: <ol style="list-style-type: none"> <li>(1) a logical pattern of development;</li> <li>(2) minimal requirement for earthworks and retaining walls;</li> <li>(3) efficient use of land and infrastructure;</li> <li>(4) a mix of affordable housing types;</li> <li>(5) net residential densities are not less than 44 dwellings per hectare;</li> <li>(6) access to community infrastructure and public transport services at an early stage of development; and</li> <li>(7) land for community uses and public services, including open space, education, health, social and emergency services where appropriate.</li> </ol>	No acceptable outcome is nominated.
<b>PO58</b> Development provides for separation and buffering from nearby activities, including primary production, poultry farms and other rural industries, such that amenity and reverse amenity impacts are avoided.	No acceptable outcome is nominated.
<b>PO59</b> Development is designed to provide safe koala movement opportunities and minimise impediments to a koala traversing the landscape.	No acceptable outcome is nominated.
<b>PO60</b> To the extent practical, development minimises the amount of clearing and fragmentation of koala habitat.	No acceptable outcome is nominated.

**Table 6.2.3.3.2—Maximum building height**

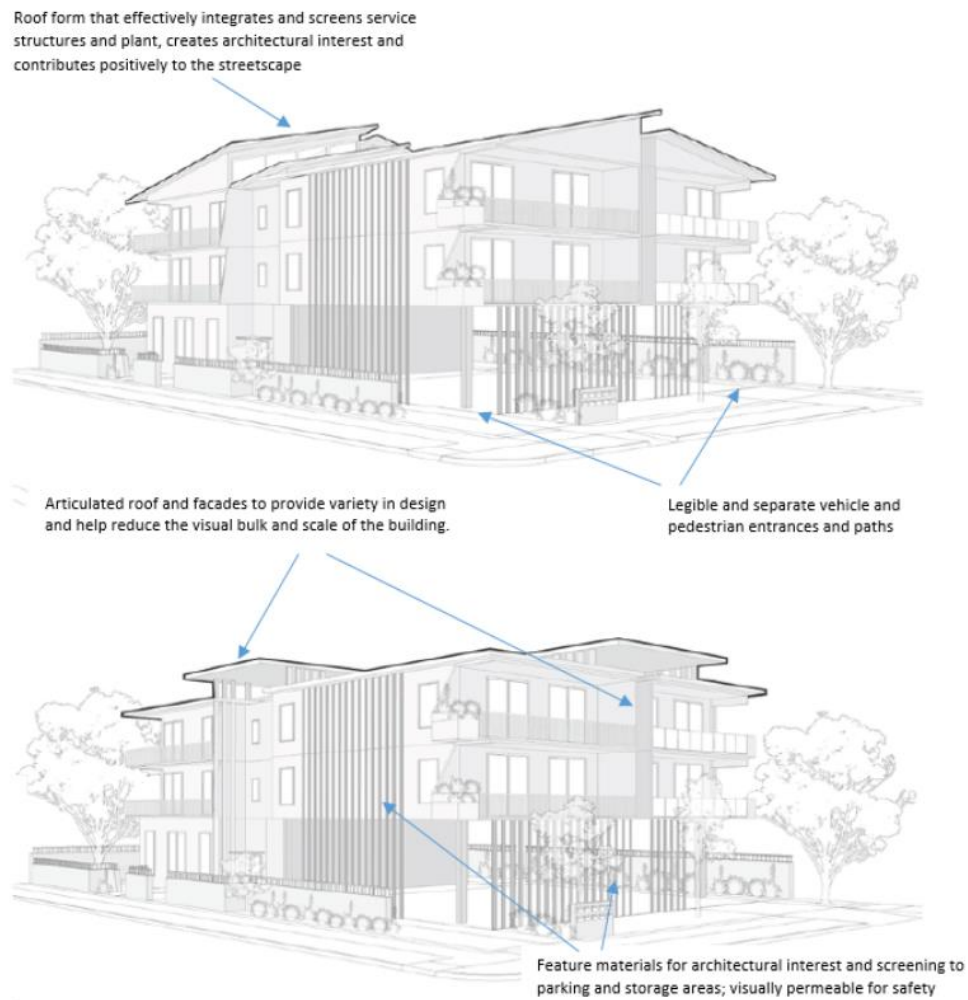
<b>Area</b>		<b>Maximum Building Height (m)</b>
MDR1 MDR3	Parkland living, Capalaba Shore Street East, Cleveland	20.5m
MDR2 MDR4 MDR5	Mount Cotton Road, Capalaba Cleveland Esplanade, Redland Bay	17.5m
MDR7	Eprapah Creek, South East Thornlands	14.5m
MDR8	Kinross and Boundary Road	8.5m
Elsewhere in the zone (including MDR6 South East Thornlands and MDR9 Kinross Road)		11.5m
Elsewhere in the zone, where 2 storey in height.		8.5m



**Figure 6.2.3.3.5 -front boundary setback to balcony and wall**



**Figure 6.2.3.3.6 — building design and streetscape.**



**Figure 6.2.3.3.7 — design, materials and roof form.**

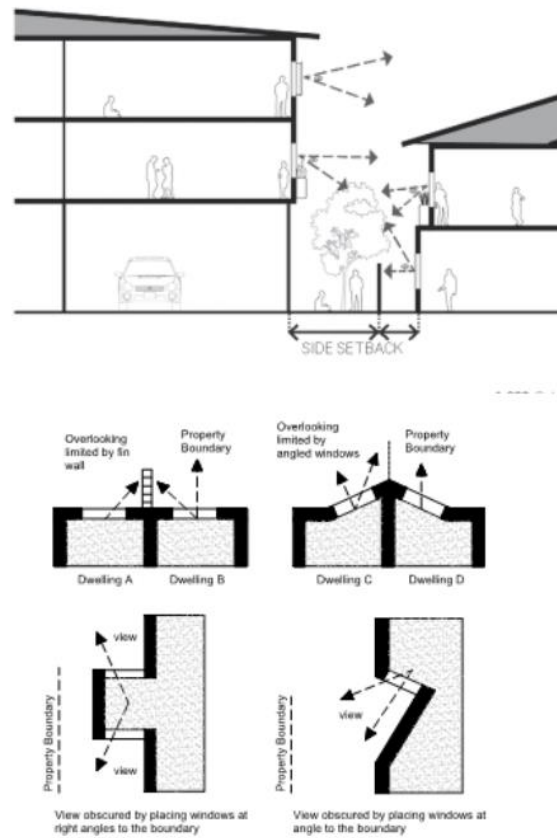


Figure 6.2.3.3.8 — privacy between dwelling units.

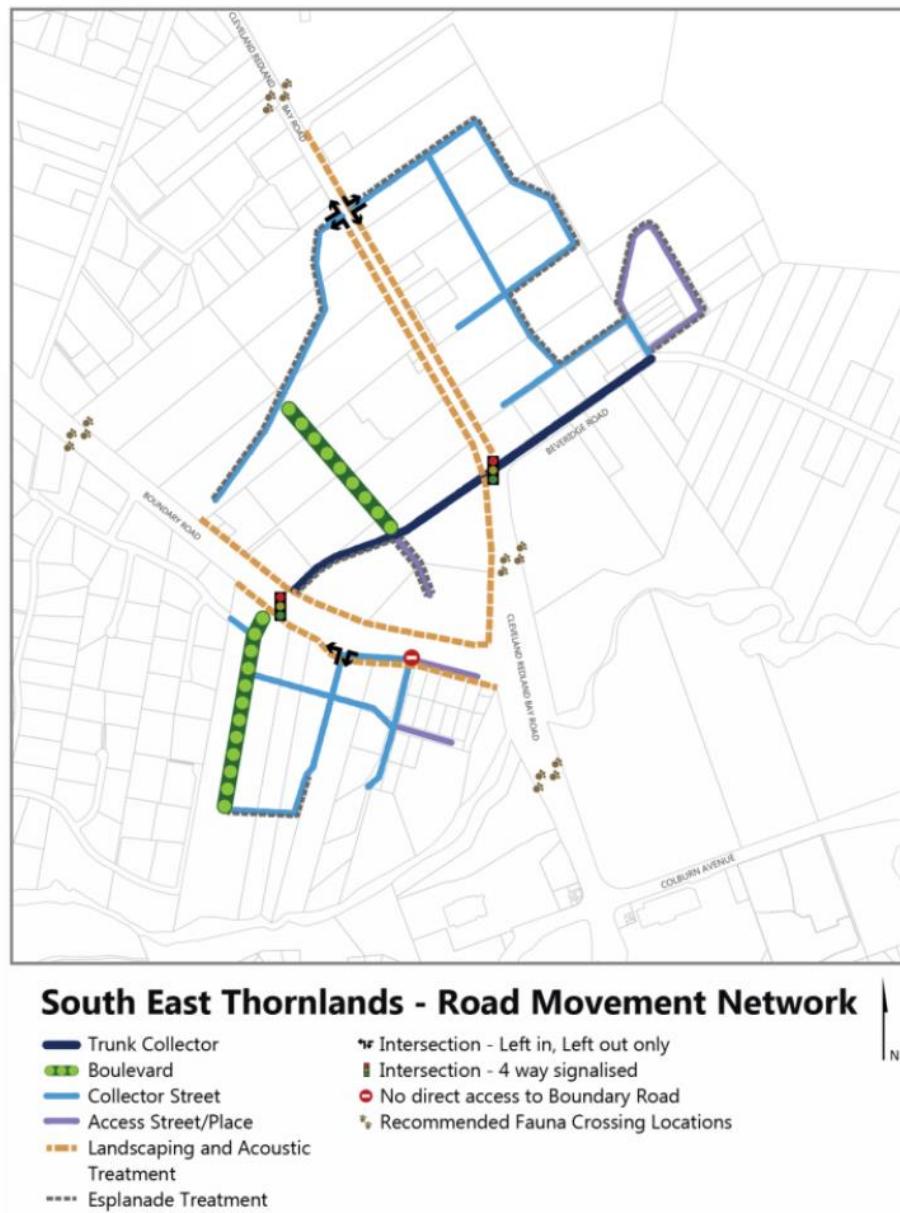
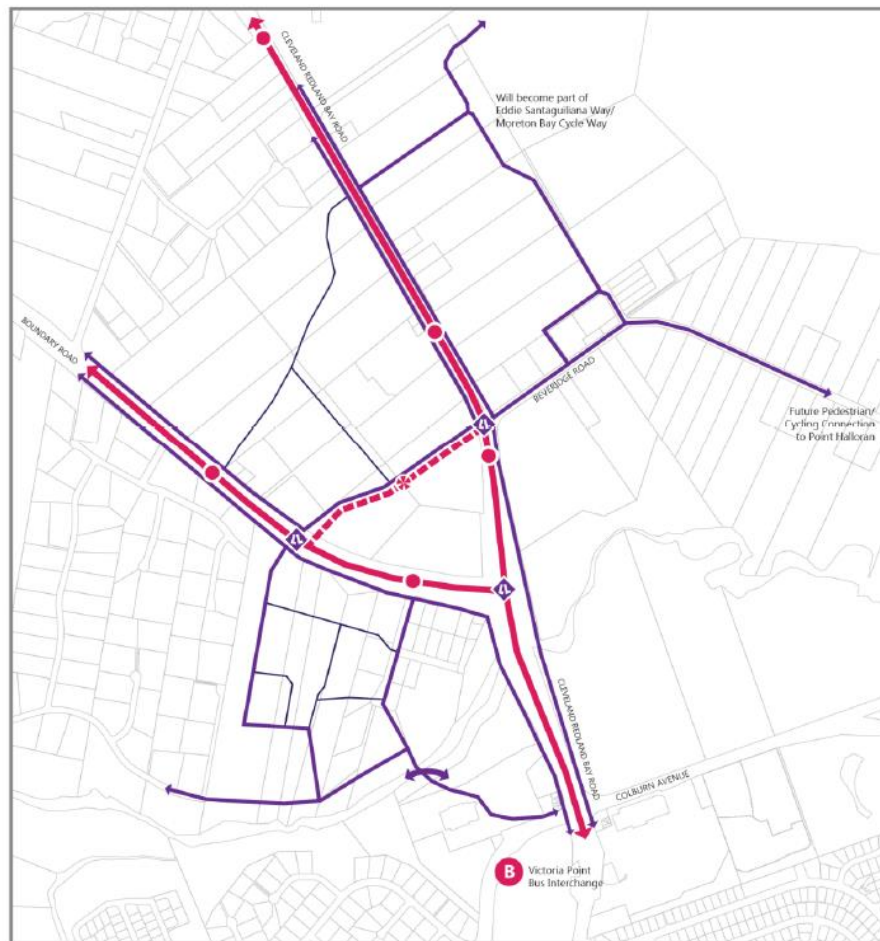


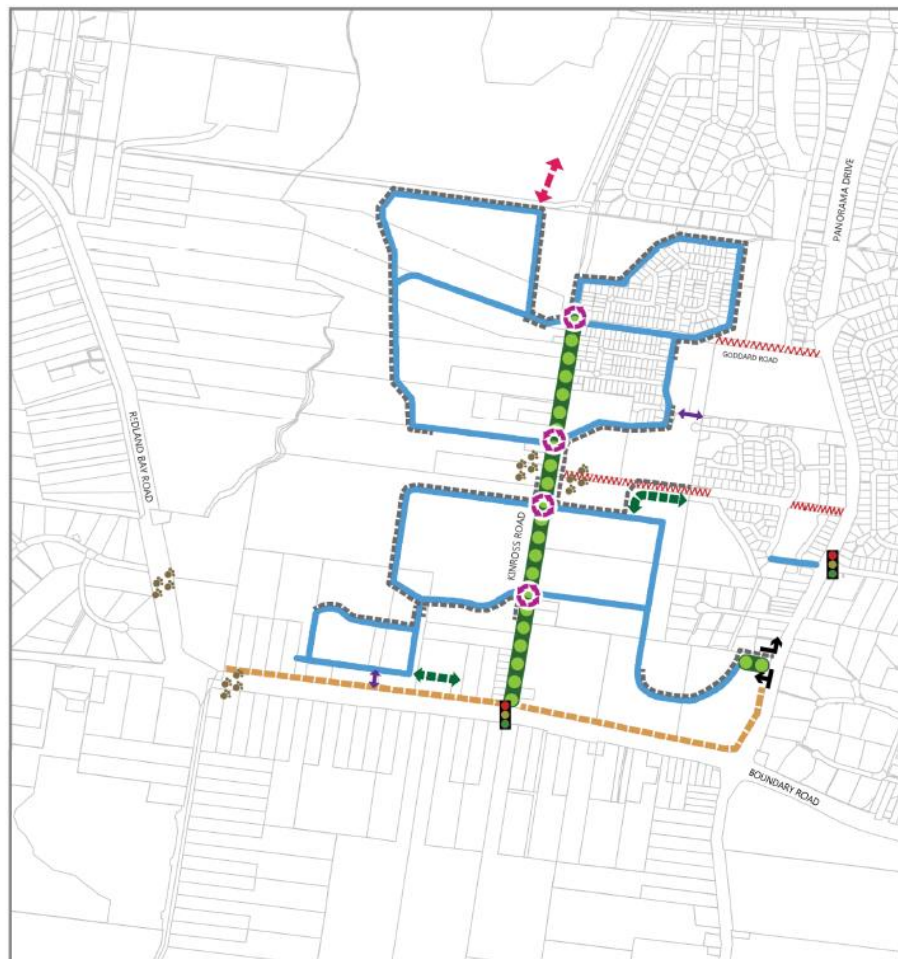
Figure 6.2.3.3.9 —South East Thornlands: road movement network



### South East Thornlands - Pedestrian, Cycle and Public Transport Network

- |   |  |
|---|--|
| ↔ Primary Pedestrian Cycle Link               | ↔ Existing Bus Priority and Line Haul Routes |
| — Secondary Pedestrian Cycle Link             | Ⓑ Bus Station                                |
| ↔ Shared Pedestrian Cycle Bridge              | ● Existing Bus Stops                         |
| ◊ Controlled Pedestrian/Cycle Crossing Points | — Potential Bus Route                        |
|   | * Potential Bus Stop                         |

Figure 6.2.3.3.10 —South East Thornlands: pedestrian, cycle and public transport network



### Kinross Road - Road Movement Network

- |   |   |
|---|---|
| Trunk Collector (Boulevard)                             | Intersection - Left in/Right in/Left out only |
| Collector Street  | Intersection - Signalised                     |
| Landscaping/Acoustic Treatment/ Road Access Restriction | Roundabout                                    |
| Esplanade Treatment                                     | Fauna Crossing                                |
| Proposed Road Closure                                   | Pedestrian/Cycle/Emergency Access             |
|   | Future Northern Public Transport Corridor     |
|   | Access Place/Access Easement                  |

Figure 6.2.3.3.11 —Kinross Road: road movement network





### Kinross Road - Pedestrian, Cycle, Public Transport Network and Parks

- ↔ Primary Pedestrian Cycle Link
- Secondary Pedestrian Cycle Link
- ⚡ Controlled Pedestrian/Cycle Crossing Points
- ↔ Existing Bus Priority Line Haul Routes
- Existing Bus Stops
- - - Potential Bus Route
- \* Potential Bus Stop
- Parkland Area - Community Park
- Parkland Area - Neighbourhood Park

Figure 6.2.3.3.12 —Kinross Road: pedestrian, cycle, public transport and parks network



**City Plan Major Amendment Package (04/20)**  
**Medium Density Residential Code Review**  
**Part 2: Consequential Amendments to the City Plan**  
Prepared by Redland City Council  
November 2020



## Consequential City Plan Amendments

### 5.4 Categories of development and assessment—Material change of use

The following tables identify the categories of development and assessment for development in a zone for making a material change of use.

**Table 5.4.2—Low-medium density residential zone**

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<b>Multiple dwelling</b> <b>Residential care facility</b> <b>Retirement facility</b> <b>Rooming accommodation</b>	<b>Code assessment</b>	
	If building height is 8.5m or less	Low-medium density residential zone code Healthy waters code Infrastructure works code Landscape code Transport, servicing, access and parking code  Editor's Note—Planning Scheme Policy 7: Multiple Dwelling Design Guide provides assistance to applicants in achieving high standard design outcomes for multiple dwellings that meet the assessment criteria in this planning scheme.
	<b>Impact assessment</b>	
Any other use not listed in this table. Any use listed in this table and not meeting the description listed in the categories of development and assessment column. Any other undefined use.		The planning scheme

Table 5.4.3—Medium density residential zone

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<b>Multiple dwelling</b> <b>Residential care facility</b> <b>Retirement facility</b> <b>Rooming accommodation</b> <b>Short term accommodation</b>	<b>Code assessment</b>	
	If building height does not exceed that detailed in Table 5.4.4 Building height	Medium density residential zone code Healthy waters code Infrastructure works code Landscape code Transport, servicing, access and parking code  Editor's Note – Planning Scheme Policy 7: Multiple Dwelling Design Guide provides assistance to applicants in achieving high standard design outcomes for multiple dwellings that meet the assessment criteria in this planning scheme.
<b>Impact assessment</b>		
Any other use not listed in this table. Any use listed in this table and not meeting the description listed in the categories of development and assessment column. Any other undefined use.		The planning scheme

Table 5.4.4—Building height

Area		Maximum Building Height (m)
MDR1 MDR3	Parkland living, Capalaba Shore Street East, Cleveland	20.5m
MDR2 MDR4 MDR5	Mount Cotton Road, Capalaba Cleveland Esplanade, Redland Bay	17.5m
MDR7	Eprapah Creek, South East Thornlands	14.5m
MDR8	Kinross and Boundary Road	8.5m
Elsewhere in the zone (including MDR6 South East Thornlands and MDR9 Kinross Road)		11.5m

## 6.2.2 Low-medium density residential zone code

### 6.2.2.1 Application

This code applies to development:

- (1) within the low-medium density residential zone as identified on the zoning maps contained within Schedule 2 (mapping); and
- (2) identified as requiring assessment against the low-medium density residential zone code by the tables of assessment in Part 5 (tables of assessment).

When using this code, reference should be made to section 5.3.2 and, where applicable, section 5.3.3, in Part 5.

### 6.2.2.2 Purpose

- (1) The purpose of the low-medium density residential zone code is to provide for residential areas with a high level of amenity, characterised by a mix of dwelling types including dwelling houses on a range of lot sizes, dual occupancies and smaller scale multiple dwellings.
- (2) The purpose of the code will be achieved through the following overall outcomes:
  - (a) the low-medium density residential zone consists of dwelling houses, dual occupancies and smaller scale multiple dwellings.
  - (b) retirement and residential care facilities and rooming accommodation may be established at a scale that is consistent with other intended housing in the zone;
  - (c) lot sizes are not reduced below 400m<sup>2</sup> and have a frontage width of no less than 10m, unless the resultant lots are consistent with the density and character of the surrounding established neighbourhood or where a townhouse development has been designed to facilitate freehold titling;
  - (d) sites are of a sufficient size to accommodate well-designed development and all required design elements (e.g. articulation of building elements, landscaping, deep planting and open space;
  - (e) uses which provide a community service function, such as a community use are only established where they are small scale, do not significantly detract from residential amenity, do not compromise the role of any centre and are located on a collector or higher order road;
  - (f) shops, offices and food and drink outlets are not established;
  - (g) individual multiple dwelling development provides a range of dwelling sizes in terms of the number of bedrooms to cater for a range of different households;
  - (h) home-based businesses are undertaken where they do not detract from the residential amenity of the area;
  - (i) buildings are low-rise and set back from property boundaries to maintain an attractive streetscape character, protect the privacy and amenity of adjoining residences, provide for natural light and air circulation and provide for landscaping, including deep planting areas;
  - (j) reconfiguration establishes a range of lot sizes to increase housing diversity and affordability;
  - (k) development incorporates architectural styles and elements that reduce bulk and enhance the visual impact of the built form;
  - (l) development achieves a well-designed, architecturally interesting built form through a mix of articulation of building elements, roof forms, screening, textures, materials and colours;
  - (m) development makes a positive contribution to the streetscape and character of the locality and strengthens site features, such as views, heritage or significant trees;
  - (n) development provides high-quality private and communal open spaces for residents that enhance liveability and meet recreational needs;
  - (o) development provides car parking that is integrated into the site and building and does not negatively impact on the site or adjoining sites or the quality and amenity of the streetscape;
  - (p) development retains (except where not practicable) or establishes significant trees in deep planting areas and avoids alteration to natural drainage lines; and

Note – the retention of significant trees is accepted as not practicable where a significant tree due to its location prevents the ability to facilitate a well-designed, integrated and efficient multiple dwelling design outcome consistent with this code.

- (q) development creates a safe, comfortable and convenient pedestrian environment within and external to the site, and facilitates a high level of accessibility and permeability for pedestrians and cyclists.
- (3) The purpose of the zone will also be achieved through the following additional overall outcomes for particular low-medium density residential precincts:
  - (a) Precinct LMDR1: South East Thornlands:
    - (i) urban development provides for a mix of affordable housing types;
    - (ii) transport networks are coordinated and interconnected to ensure a high level of accessibility for pedestrians, cyclists, public transport and private vehicles;
    - (iii) development does not compromise or constrain the potential for well designed future urban communities; and
    - (iv) development achieves a high standard of amenity by mitigating potential conflicts between new residential areas and existing dwelling houses on land zoned Low Density Residential Precinct LDR2.



**Figure 6.2.2.2.1—Precinct LMDR1: South East Thornlands**

- (b) Precinct LMDR2: Kinross Road:
- (i) urban development provides for a mix of housing types and achieves a minimum net residential density of 15 dwellings per hectare;
  - (ii) transport networks are coordinated and interconnected to ensure a high level of accessibility for pedestrians, cyclists, public transport and private vehicles;
  - (iii) development on land fronting Panorama Drive is designed to:
    - (A) rely on access from the internal street network with no access from Panorama Drive; and
    - (B) facilitate landscaping and acoustic treatment of Panorama Drive;
  - (iv) development maintains significant habitat linkages and assists in the safe movement of koalas;



Editor's note—Applicants should be aware that the provisions of the *Planning Regulation 2017*, Schedules 10 (part 10) and 11 also apply to development in this area.

- (v) development does not compromise or constrain the potential for well designed future urban communities.



**Figure 6.2.2.2.2—Precinct LMDR2: Kinross Road**



### 6.2.2.3 Low–medium density residential zone code – Specific benchmarks for assessment

**Table 6.2.2.3.1—Benchmarks for assessable development**

Performance outcomes	Acceptable outcomes
<b>For development that is accepted subject to requirements and assessable development</b>	
<b>Dual occupancies</b>	
<b>PO1</b> Good residential design promotes the efficient use of a lot, an acceptable amenity to residents, and facilitates off street parking.	<b>AO1.1</b> A Dual occupancy complies with all of the Acceptable Solutions specified in the Queensland Development Code part MP1.3. Note — For the purpose of this AO, a reference to “duplex” in the Queensland Development Code MP1.3 is taken to be “Dual occupancy” as defined by this planning scheme. Note — References to the Queensland Development Code MP1.3 for the purposes of this AO are to be applied as if these provisions applied to a Dual occupancy. Note — The Queensland Development Code MP1.3 indicates that it is only applicable to Class 1 and associated Class 10 buildings. For the purpose of this AO, the class of building is irrelevant, as long as the development meets the definition of “dual occupancy” as defined by this planning scheme. Note — Other zone code provisions will prevail over this acceptable outcome to the extent of any inconsistency.
<b>For assessable development</b> Note – Planning Scheme Policy 7 Multiple Dwelling Design Guide provides assistance to applicants in achieving high standard design outcomes for multiple dwellings that meet the assessment criteria in this planning scheme.	
<b>Non residential uses</b>	
<b>PO2</b> Non-residential uses, only occur where they: <ol style="list-style-type: none"> <li>(1) are for a community care centre or community use;</li> <li>(2) are located on a major road or are designed to be compatible with residential activities as part of a mixed use development;</li> <li>(3) do not unduly detract from internal or local residential amenity;</li> <li>(4) are small scale; and</li> <li>(5) do not impact on the function of any nearby centre.</li> </ol>	No acceptable outcome is nominated.
<b>All residential development – communal and private open space</b>	
<b>PO3</b> Development involving an apartment development with 10 or more dwellings or a townhouse development with 20 or more dwellings provides sufficient communal open space that: <ol style="list-style-type: none"> <li>(1) is readily accessible, usable and safe;</li> <li>(2) provides flexible spaces and recreation facilities suitable for a range of activities;</li> </ol>	<b>AO3.1</b> Communal open space is provided, where development involves: <ol style="list-style-type: none"> <li>(1) an apartment development with 10 or more dwellings;               <ol style="list-style-type: none"> <li>(a) provides a minimum of 15% of the site area or 100m<sup>2</sup> (whichever is greater) as communal open space;</li> <li>(b) has a minimum dimension of 5m; and</li> <li>(c) communal open space can be provided at ground level, on rooftops,</li> </ol> </li> </ol>

Performance outcomes	Acceptable outcomes
<p>(3) is landscaped to provide shade creating a pleasant micro-climate and for visual relief to soften the impact of building and hardstand areas;</p> <p>(4) provides opportunity for casual social interaction;</p> <p>(5) is designed and located to minimise impacts on the amenity of residents of the development and neighbouring properties;</p> <p>(6) is co-located with but separate from deep planting areas (except where not practicable); and</p> <p>(7) minimises impervious ground level areas to improve on-site stormwater filtration.</p>	<p>on podiums, by indoor recreational facilities or a combination of these; and</p> <p>(2) a townhouse with 20 or more dwellings</p> <p>(a) provides a minimum of 5% of the site area or a minimum area of 50m<sup>2</sup> (whichever is greater) as communal open space; and</p> <p>(b) has a minimum dimension of 5m.</p> <p><b>AO3.2</b></p> <p>A communal open space area is designed to:</p> <p>(1) be centrally located to be readily accessible for residents via pedestrian pathways;</p> <p>(2) be co-located with deep planting areas where practicable;</p> <p>(3) ensure that 50% of the principal usable area receives a minimum of two hours of direct sunlight between 9am and 3pm on 21 June;</p> <p>(4) be clearly distinguished from any private open space;</p> <p>(5) be well lit and subject to passive surveillance;</p> <p>(6) provide a range of recreational facilities including, for example;</p> <p>(a) seating for individuals or groups;</p> <p>(b) barbeque areas;</p> <p>(c) play equipment or play areas; and</p> <p>(d) swimming pool, gyms, tennis court, common room or communal gardens;</p> <p>(7) provide a minimum of 15% planted or grassed landscaping, including a planted area with a minimum width of 1.5m where adjoining a neighbouring property;</p> <p>(8) ensure a minimum of 15% of the area is shaded by trees;</p> <p>(9) have a finished surface level with a gradient less than 5 percent;</p> <p>(10) have hard and soft landscape treatments; and</p> <p>(11) be clear of all non-recreational structures, including clothes hoists, driveways, water tanks, car parking and garbage storage.</p> <p>Editor's note: landscaping provided in communal open space is separate from deep planting areas.</p>
<p><b>PO4</b></p> <p>Development provides private open space that:</p>	<p><b>AO4.1</b></p> <p>For a ground floor dwelling, ground floor private open space is designed and located to:</p> <p>(1) predominately face north, east or west;</p>

Performance outcomes	Acceptable outcomes
<ul style="list-style-type: none"> <li>(1) is useable in size and shape to meet the needs of a diversity of potential residents;</li> <li>(2) is functional and easily accessible from living or common areas to promotes outdoor living as an extension of the dwelling;</li> <li>(3) is clearly identified as private open space;</li> <li>(4) provides a high level of privacy for residents and neighbours; and</li> <li>(5) is located to ensure a high level of amenity for occupants.</li> </ul>	<ul style="list-style-type: none"> <li>(2) provide a minimum of 16m<sup>2</sup> if a dwelling in a residential care facility; or</li> <li>(3) provide a minimum area of 25m<sup>2</sup> for all other dwellings;</li> </ul> <p>with:</p> <ul style="list-style-type: none"> <li>a. a minimum dimension of 4m and clear of any utilities such as gas, clothes drying facilities, water tanks or air-conditioning units;</li> <li>b. direct access from living or common areas to extend the living space;</li> <li>c. screening or fencing to clearly identify the area as private open space;</li> <li>d. a high level of privacy for residents and neighbours; and</li> <li>e. a high level of acoustic amenity.</li> </ul> <p><b>AO4.2</b> For dwellings above ground level, private balconies are designed and located to:</p> <ul style="list-style-type: none"> <li>(1) predominately face north, east or west;</li> <li>(2) be orientated with the longer side facing outwards, or open to the sky, to optimise daylight access into adjacent rooms;</li> <li>(3) provide a minimum of 10m<sup>2</sup> if a dwelling in a residential care facility; or</li> <li>(4) for all other dwellings:             <ul style="list-style-type: none"> <li>(a) a minimum area of 10m<sup>2</sup> for a 1 bedroom unit; or</li> <li>(b) a minimum area of 16m<sup>2</sup> for a two or more bedroom unit;</li> </ul> </li> </ul> <p>with:</p> <ul style="list-style-type: none"> <li>a. a minimum dimension of 3m and clear of any air conditioning unit or drying space;</li> <li>b. direct access from living or common areas to extend living areas; and</li> <li>c. a high level of privacy for residents and neighbours.</li> </ul> <p><b>AO4.3</b> Where clothes drying areas are provided on private balconies, they are screened from public view and do not take up more than 10% of the balcony area.</p>
<b>Apartment diversity</b>	
<p><b>PO5</b> Development for an apartment development involving 5 or more dwellings provides a mix</p>	No acceptable solution nominated.

Performance outcomes	Acceptable outcomes
of dwelling sizes, in terms of the number of bedrooms, to accommodate a range of household types.	
<b>Built form</b>	
<b>PO6</b> Development occurs on a site that has an area and street frontage width that is sufficient to: <ol style="list-style-type: none"> <li>(1) accommodate the scale and form of well-designed and articulated buildings;</li> <li>(2) allow buildings to be oriented to the street;</li> <li>(3) provide for communal and private open spaces at ground level;</li> <li>(4) provide safe and convenient vehicle access to the site;</li> <li>(5) accommodate on-site parking for residents and visitors and vehicle movements for waste and delivery vehicles manoeuvring;</li> <li>(6) deliver substantial landscaping including deep planting areas to retain or establish significant trees; and</li> <li>(7) provide adequate building setbacks to adjoining properties to maintain residential amenity and privacy.</li> </ol>	<b>AO6.1</b> Development has a minimum site area of 800m <sup>2</sup> and street frontage width of 20m.
<b>PO7</b> Development provides for interaction with the street and public spaces by: <ol style="list-style-type: none"> <li>(1) providing dwellings or habitable rooms at ground level; and</li> <li>(2) ensuring ground level dwellings or habitable rooms adjoining a street or public space have direct and safe pedestrian access to the street or public space wherever possible.</li> </ol>	No acceptable solution nominated.  Figure 6.2.2.3.4 illustrates.
<b>PO8</b> Site cover: <ol style="list-style-type: none"> <li>(1) ensures development occurs at a house-compatible scale and in a form that is consistent with the low-medium density character of the locality;</li> <li>(2) mitigates the bulk and scale of development;</li> <li>(3) provides natural light, sunlight and breeze to living and open space areas;</li> <li>(4) provides for privacy between dwelling units for residents and neighbouring properties;</li> <li>(5) supports residential amenity for residents and neighbouring properties</li> <li>(6) provides usable communal and private open space for residents; and</li> </ol>	<b>AO8.1</b> Site cover does not exceed 50%.

Performance outcomes	Acceptable outcomes
(7) allows for substantial open space and landscaping, including deep planting areas to retain or establish significant trees.	
<b>PO9</b> Buildings are low rise and of a house-compatible scale.	<b>AO9.1</b> Building height does not exceed 8.5m
<b>PO10</b> Front boundary setbacks (other than basements) that: <ol style="list-style-type: none"> <li>(1) create an attractive, consistent and cohesive streetscape;</li> <li>(2) result in development not being visually dominant or overbearing with respect to the streetscape;</li> <li>(3) assist in achieving visual privacy to ground floor dwellings from the street;</li> <li>(4) support the location of balconies for casual surveillance of the street and articulation of the building facade;</li> <li>(5) provide for landscaping to soften and screen the built form, including deep planting areas to retain or establish significant vegetation;</li> <li>(6) provide for usable open space for the residents;</li> <li>(7) provide for visitor car parking for apartment development; and</li> <li>(8) where tandem car parking spaces are proposed in front of townhouse garages, they are contained wholly within the property boundary.</li> </ol> Editor's note –The provision of tandem car parking spaces is not supported in all locations. Refer to Table 9.3.5.3.2 – Minimum on-site vehicle parking requirements in the Transport, servicing, access and parking code for further information.	<b>AO10.1</b> Buildings are set back 6m from street frontages.
<b>PO11</b>	<b>AO11.1</b>

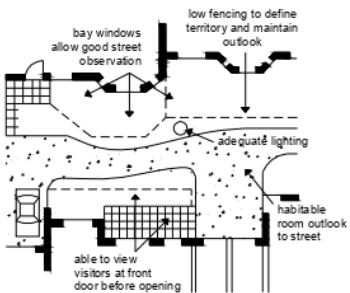
Performance outcomes	Acceptable outcomes
<p>Side and rear boundary setbacks:</p> <ol style="list-style-type: none"> <li>(1) minimise the impacts of development on the amenity and privacy of existing and future adjoining residents;</li> <li>(2) does not prejudice the intended future development of adjoining sites;</li> <li>(3) contribute to the pattern of the streetscape consistent with the intended neighbourhood character;</li> <li>(4) support the separation of buildings to provide visual and acoustic privacy;</li> <li>(5) maintain sufficient levels of natural light, and air circulation for residents of the development and adjoining sites;</li> <li>(6) ensure daylight penetrates all sides of the proposed building;</li> <li>(7) provide for communal and private open space areas;</li> <li>(8) provide space for service functions, including clothes drying areas if needed;</li> <li>(9) support the introduction of landscaping to complement building massing, screen buildings and support the privacy of existing and future adjoining residents; and</li> <li>(10) provide for deep planting areas, to retain and protect significant native trees (except where not practicable) and vegetation, or establish large subtropical shade trees.</li> </ol> <p>Note – the retention of a significant tree is accepted as not practicable where a significant tree due to its location prevents the ability to facilitate a well-designed, integrated and efficient multiple dwelling design outcome consistent with this code.</p>	<p>The side boundary setback:</p> <ol style="list-style-type: none"> <li>(1) provides that a built to boundary wall do not exceed 4.5m in height and 9m in length along any one external boundary; and</li> <li>(2) otherwise, buildings are set back a minimum of: <ol style="list-style-type: none"> <li>(a) 1.5m for a wall up to 4.5m high;</li> <li>(b) 2m for a wall up to 8.5m high; and</li> </ol> </li> <li>(3) for apartment development on a lot 800m<sup>2</sup> to 1000m<sup>2</sup>, is a minimum of 3m to a balcony or the building wall; or</li> <li>(4) for apartment development on a lot greater than 1000m<sup>2</sup>, is a minimum of 4m to a balcony or the building wall.</li> </ol> <p>Note—Where a multiple dwelling in the form of attached or terrace houses is proposed, side setbacks would apply only to boundaries shared with adjoining sites and not to "internal" lot boundaries within the development site.</p> <p><b>AO11.2</b></p> <p>The rear boundary setback is:</p> <ol style="list-style-type: none"> <li>(1) for a townhouse development a minimum of 3m; or</li> <li>(2) for apartment development on a lot 800m<sup>2</sup> to 1000m<sup>2</sup>, a minimum of 5m to a balcony or the building wall; or</li> <li>(3) for apartment development on a lot greater than 1000m<sup>2</sup>, a minimum of 6m to a balcony or the building wall.</li> </ol>
<p><b>PO12</b></p> <p>Buildings are designed to:</p> <ol style="list-style-type: none"> <li>(1) contribute to an attractive streetscape and intended character of the local area;</li> <li>(2) be orientated to the street;</li> <li>(3) incorporate balconies that address street frontages and public spaces;</li> <li>(4) provide modulation and articulation in the building façade and elevations horizontal and vertical profiles;</li> <li>(5) provide projections and recesses in the facade and elevations that reflect changes of internal functions of buildings, including circulation;</li> <li>(6) include variation in building materials, contrasting colours, textures and finishes that emphasise architectural features;</li> </ol>	<p>No acceptable outcome is nominated.</p> <p>Figures 6.2.2.3.4 and 6.2.2.3.5 illustrates.</p>

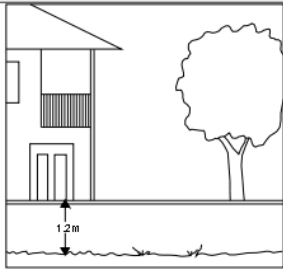
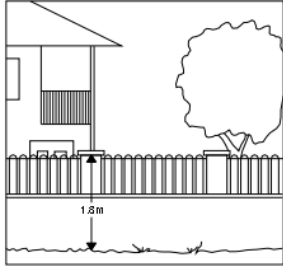
Performance outcomes	Acceptable outcomes
(7) use similarly proportioned roof forms, doors, windows and balconies to complement the local character; (8) break up the appearance of large buildings through roof form, materials, projections and recesses that reflect the existing streetscape scale; and (9) articulate building entrances and openings.	
<b>PO13</b> Development ensures that: (1) corner sites address both street frontages; and (2) key corners are given prominence by changes in articulation, materials, colour/artwork and roof expression.	No acceptable outcome is nominated.  Figures 6.2.2.3.4 and 6.2.2.3.5 illustrates.
<b>PO14</b> Development for services and related structures: (1) are accessible for maintenance; (2) are integrated to blend into the overall development design; and (3) are designed and orientated to not visually dominate the street frontage.	<b>AO14.1</b> Services and related structures (such as electricity transformers, fire hydrant and booster assemblies) where located in the front boundary setback: (1) extend for no more than 5m or 10% of the street frontage (whichever is lesser); (2) are orientated towards internal driveways or footpaths; and (3) are located, screened with similar materials to the building or landscaped to not be visually obtrusive when viewed from the street.  Figure 6.2.2.3.5 illustrates.
<b>PO15</b> Multiple dwelling building walls are designed to: (1) be visually interesting through the provision of articulation on the side and rear walls; (2) avoid highly reflective finishes; (3) break up multiple dwelling development to reduce the scale and bulk of the buildings; and (4) support dual-orientation dwellings to provide for natural cross ventilation.	<b>AO15.1</b> The maximum length of a building wall in any direction is 30m, with a change in the building line every 15m on side and rear walls of plus or minus 1.5m for a length not less than 5m.  Figures 6.2.2.3.4 and 6.2.2.3.5 illustrates.  Editor's note—full building separation provides a minimum of 6m.
<b>PO16</b> Design elements promote a subtropical and climate responsive design character through: (1) the use of deep balconies, decks and eaves; (2) orientating habitable room windows, private open space (balconies and terraces) to the north where possible; (3) maximising dwellings with a northern aspect;	No acceptable outcome is nominated Editor's note—Applicants should have regard to Subtropical Design in South East Queensland A Handbook for Planners Developers and Decision Makers (2010 Centre for Subtropical Design QUT).

Performance outcomes	Acceptable outcomes
(4) maximising dual orientation of habitable rooms to provide for natural cross ventilation; (5) integration of buildings within landscape planting and deep planting areas to create a pleasant micro-climate; (6) screening habitable rooms from the western sun, using building and landscape elements.	
<b>PO17</b> The design of roof form, rooftops and building caps: (1) provides an interesting and attractive roof-scape that enhances the architectural distinction of the building and makes a positive contribution to the local character; (2) is articulated to reduce the bulk and scale of a building when viewed from the street (3) considers the ability for discreet placement and optimum orientation of solar panels; (4) maximises solar access for dwellings during winter and provides shade in summer; and (5) incorporates variety in design; and (6) effectively integrates or screens service structures, plant and equipment and provides for the future inclusion of additional plant and equipment; and (7) avoids highly reflective finishes.	<b>AO17.1</b> Roof form is designed to: (1) include interesting forms created through pitches, gables, skillions or other features; (2) be articulated to break down the roof and building bulk and scale; (3) provide opportunity for stormwater collection, solar energy and communal open space; (4) be angled to the north and east to maximise solar access in winter; and (5) incorporate hoods and overhangs to shade walls and windows from the summer sun.  Figures 6.2.2.3.4 and 6.2.2.3.5 illustrates.
	<b>AO17.2</b> Rooftop service structures, plant and equipment are: (1) integrated into the building design to be an architectural feature; or (2) discreet or effectively screened; and (3) designed to enable future inclusion of plant and equipment such as telecommunications facilities in an unobtrusive manner.
	<b>AO17.3</b> Where rooftops are used for communal open space: (1) service structures, plant and equipment are visually and acoustically screened; and (2) landscaping is provided to provide shade and visual relief.



Performance outcomes	Acceptable outcomes
<b>PO18</b> Parking facilities for apartment development: <ol style="list-style-type: none"> <li>(1) are contained within a basement level or within the building footprint where located at ground level;</li> <li>(2) are designed to not dominate the streetscape or the building form when viewed from the street, other public spaces and adjoining properties;</li> <li>(3) provide storage for residents; and</li> <li>(1) mitigate amenity impacts on adjoining residents.</li> </ol>	<b>AO18.1</b> Parking facilities for residents (excludes visitor car parking): <ol style="list-style-type: none"> <li>(1) are located in a basement level; or</li> <li>(2) within the building footprint at ground level where;               <ol style="list-style-type: none"> <li>(a) landscaped and screened from view from the street, other public spaces and adjoining properties;</li> <li>(b) integrated into the building façade through architectural elements; and</li> </ol> </li> <li>(3) provide storage for residents.</li> </ol>
	<b>AO18.2</b> Visitor car parking (excludes resident parking) are located: <ol style="list-style-type: none"> <li>(1) in a basement level; or</li> <li>(2) at ground level within the building footprint where landscaped or screened from view from the street, other public spaces and adjoining properties; or</li> <li>(3) in the front setback where adjoining the driveway and landscaped or screened from view from the street.</li> </ol>
<b>PO19</b> Parking facilities for townhouse development are located so they do not dominate the streetscape or the building form when viewed from the street.	<b>AO19.1</b> Vehicle parking structures are located behind the front building alignment.
<b>PO20</b> Driveways and internal access ways are located and designed to: <ol style="list-style-type: none"> <li>(1) integrate into the overall building design;</li> <li>(2) define the public and private space;</li> <li>(3) support active street frontages and enhance the streetscape character;</li> <li>(4) incorporate high quality pavement materials, textures and colours to contribute to an attractive and interesting streetscape;</li> <li>(5) minimise visual impact of long driveways through changing alignments and landscaping;</li> <li>(6) be located on secondary/rear frontages, where available;</li> <li>(7) limit the number and width of driveway crossovers to the minimum required;</li> <li>(8) minimise the extent of internal access ways;</li> <li>(9) mitigate impacts on neighbouring properties;</li> <li>(10) maximise the availability of on-street parking;</li> </ol>	<b>AO20.1</b> Driveways and internal access ways are located and designed: <ol style="list-style-type: none"> <li>(1) to incorporate high quality pavement materials, textures and colours that are consistent with the overall building design;</li> <li>(2) to be limited to one crossover per street frontage;</li> <li>(3) to provide the minimum width required;</li> <li>(4) to be offset from the side boundary by a minimum of 1m to allow for landscaping; and</li> <li>(5) to minimise and soften visual impacts through               <ol style="list-style-type: none"> <li>a. offset alignment of the driveway and landscaping to screen the view of the driveway from the street;</li> <li>b. a change in alignment within 20m from the street frontage; and</li> </ol> </li> </ol>

Performance outcomes	Acceptable outcomes
(11) support the retention or establishment of street trees; and (12) allow for refuse collection and street infrastructure.	c. soft landscaping along the driveway and at the end of the straight alignment.  Figure 6.2.2.3.5 illustrates.
<b>PO21</b> Development provides front fences or walls along street frontages, or public spaces, that create an attractive streetscape by: <ol style="list-style-type: none"> <li>(1) incorporating a mixture of building materials that complement the design of buildings;</li> <li>(2) providing visual interest and a softening of the visual impact where significant in length;</li> <li>(3) highlighting the entrance to the property.</li> </ol>	<b>AO21.1</b> Fences or walls along a street front or public space are designed to incorporate a mixture of building materials that complement the design of the building.  <b>AO21.2</b> Where a fence or wall along street frontages or public spaces exceeds 10m in length, indentations, material variation or soft landscaping (including planter boxes) are incorporated.  Figure 6.2.2.3.5 illustrates.
<b>PO22</b> Development is designed to discourage crime and anti-social behaviour by: <ol style="list-style-type: none"> <li>(1) maximising opportunities for casual surveillance of the street, public places, communal open space (where provided) pedestrian and cycle paths, including the primary pedestrian entrance and car parking areas;</li> <li>(2) ensuring spaces are well lit;</li> <li>(3) minimising potential concealment and entrapment opportunities;</li> <li>(4) providing direct movements with clear unobscured sight lines; and</li> <li>(5) having fencing and walls along a street frontage or public space incorporate visually permeable materials and treatments.</li> </ol>	<b>AO22.1</b> Buildings are designed to have balconies, windows and building openings overlooking streets and other public spaces. Figures 6.2.2.3.1 and 6.2.2.3.4 illustrates.  <b>Figure 6.2.2.3.1—Overlooking</b>  <b>AO22.2</b> Fences or walls along a street frontage or public space have a maximum height of: <ol style="list-style-type: none"> <li>(1) 1.2m where solid; or</li> <li>(2) 1.8m where that portion of the fence above 1.2m high is at least 50% transparent.</li> </ol> Figures 6.2.2.3.2 and 6.2.2.3.3 illustrate.

Performance outcomes	Acceptable outcomes
	 <p><b>Figure 6.2.2.3.2—Fencing (1)</b></p>  <p><b>Figure 6.2.2.3.3—Fencing (2)</b></p>
<p><b>PO23</b></p> <p>On elevated or steeply sloping sites:</p> <ol style="list-style-type: none"> <li>(1) development is sympathetic to the natural landform through the use of terraced or split level building forms that minimise ground level disturbance outside the building footprints; and</li> <li>(2) the understoreys of buildings are screened to maintain the quality of view when viewed from below.</li> </ol>	<p>No acceptable outcome is nominated.</p>
<b>Amenity</b>	
<p><b>PO24</b></p> <p>Privacy between dwelling units on the site and adjoining sites is achieved by effective building design and the location of windows and outdoor open spaces to prevent overlooking into habitable rooms or private open space areas, or through the use of screening devices. Where screening devices are used, they are integrated with the building design.</p>	<p><b>AO24.1</b></p> <p>Where habitable room windows are directly adjacent to habitable rooms of adjoining dwellings and are within a distance of 9m and within an angle of 45 degrees, privacy is protected by:</p> <ol style="list-style-type: none"> <li>(1) sill heights being a minimum of 1.5m above floor level; or</li> <li>(2) providing fixed translucent screens, such as frosted or textured glazing, for any part of the window below 1.5m above floor level; or</li> <li>(3) providing fixed external screens.</li> </ol> <p>Figure 6.2.2.3.6 illustrates</p> <p><b>AO24.2</b></p> <p>Outlook from windows, balconies, stairs, landings, terraces and decks and other private areas, is screened where a direct view is available into the private open space</p>

Performance outcomes	Acceptable outcomes
	<p>of another dwelling. Screening is achieved by:</p> <ol style="list-style-type: none"> <li>(1) fixed translucent screens, such as frosted or textured glazing, for any part of the window below 1.5m above floor level; or</li> <li>(2) fixed external screens; or</li> <li>(3) planting that will achieve a minimum of 2m in height at maturity.</li> </ol> <p>Figure 6.2.2.3.6 illustrates.</p> <p><b>AO24.3</b></p> <p>Where incorporating screening devices, they are:</p> <ol style="list-style-type: none"> <li>(1) solid translucent screens or perforated panels or trellises that have a maximum of 25 % openings, with a maximum opening dimension of 50mm and are permanently fixed and durable; and</li> <li>(2) offset a minimum of 300mm from the wall of the building.</li> </ol> <p>Figure 6.2.2.3.6 illustrates.</p>
<p><b>PO25</b></p> <p>Development provides side and rear fencing that protects the privacy and amenity of adjoining properties.</p>	<p><b>AO25.1</b></p> <p>Side and rear boundary fences are a minimum of 1.8m in height where adjoining a residential use.</p> <p>Figure 6.2.2.3.6 illustrates.</p>
<p><b>PO26</b></p> <p>Development is designed to facilitate the retention and establishment of significant trees and street trees (except where not practicable) that:</p> <ol style="list-style-type: none"> <li>(1) complement and soften the scale and bulk of the built form;</li> <li>(2) support an attractive streetscape;</li> <li>(3) enhance the amenity of residents; and</li> <li>(4) provide natural shade to improve the micro-climate.</li> </ol> <p>Note – the retention of a significant tree is accepted as not practicable where a significant tree due to its location prevents the ability to facilitate a well-designed, integrated and efficient multiple dwelling design outcome consistent with this code.</p>	<p>No acceptable outcome is provided.</p>
<p><b>PO27</b></p> <p>On-site landscaping is provided to:</p> <ol style="list-style-type: none"> <li>(1) contribute to an attractive streetscape</li> <li>(2) enhance the appearance of the development;</li> <li>(3) complement any native vegetation within the site;</li> <li>(4) provide for the retention or establishment of significant trees in deep planting areas</li> </ol>	<p><b>AO27.1</b></p> <p>A minimum of 20% of the site is planted or grassed landscaping (rather than hardstand), including 10% of the site for deep planting areas.</p> <p>Editor's note-landscaping that is not deep planting areas can be located in communal open space areas.</p> <p><b>AO27.2</b></p>

Performance outcomes	Acceptable outcomes
(5) provide privacy between on-site dwellings and adjoining properties; (6) provide natural shade to mitigate heat island effects; (7) soften and break up the extent of driveways and internal access ways; and (8) screen unsightly components.	A 2m wide planted landscaped area is provided along the length of any public road frontage.  <b>AO27.3</b> Development provides: (1) a minimum 1m wide planted landscaped area on a side boundary where a driveway, or a ground level open parking area, is located adjacent the boundary; and (2) an extended landscaped area of a minimum of 1.5m for every 5m of driveway length.
<b>PO28</b> Deep planting areas are provided that: (1) are located to retain or establish significant trees to soften the built form; (2) are co-located with communal open space, street trees or deep planting areas on adjoining properties; (3) are accessible to provide informal recreation spaces for residents; (4) are of sufficient size and dimension to support the retention or establishment of significant trees that at maturity complement the scale and height of the built form; (5) are open to the sky with access to light and rainfall; (6) are maintained exclusively for landscaping, with no underground development or infrastructure; (7) reduce urban heat island effects by improving the micro-climate; and (8) provide water quality and quantity benefits from the natural filtration of rainfall into the ground.	<b>AO28.1</b> Deep planting areas are located: (1) within boundary setbacks to soften the built form as viewed from the street and adjoining properties; (2) to retain significant trees; and (3) to co-locate with communal open space, street trees or deep planting areas on adjoining properties.  <b>AO28.2</b> Deep planting areas are: (1) a minimum of 10% of the site; (2) a minimum unobstructed dimension of 4m in any direction; and (3) completely open to the sky.  Editor's note-the deep planting area acceptable outcome for a minimum of 10% of a site is part of the overall minimum 20% landscaping for a site rather than in addition.  <b>AO28.3</b> Deep planting areas are exclusively for landscaping and do not contain: (1) driveways, manoeuvring or hardstand areas and pedestrian paths; (2) surface structure and infrastructure such as water tanks or utilities; and (3) sub-surface structures or infrastructure such as basement car parking and water supply or wastewater infrastructure.
<b>PO29</b> Development minimises impacts on surrounding residential amenity and provides a high level of on-site amenity for occupants, having regard to noise, odour, vibration, air or light emissions.	No acceptable outcome is nominated.
<b>PO30</b> Siting and design achieves a high level of amenity for occupants by minimising impacts	No acceptable outcome is nominated.

Performance outcomes	Acceptable outcomes
from noise generating areas, such as streets, driveways, car parking areas, service areas, private and communal open space areas and mechanical equipment.	
<b>PO31</b> Development minimises the extent of shadows on useable private open space or public spaces, and provides adequate sunlight to habitable rooms on the site and adjoining land.	<b>AO31.1</b> Solar access to habitable rooms and private open space of dwellings: (1) is not less than 3 hours between 9am and 3pm on June 21; or (2) where existing overshadowing by building and fences is greater than this, sunlight is not further reduced by 20%.
<b>PO32</b> Waste and recycling container storage areas: (1) for apartment development are located within the building footprint; (2) provide an accessible location for residents and waste collection; (3) are not be visible from street and other public spaces; (4) mitigate adverse amenity impacts in terms of odour, noise and visual impacts on residents on-site and residents on adjoining properties.	<b>AO32.1</b> Waste and recycling container storage areas are: (1) located within the building footprint for an apartment development; (2) co-located in car parking areas, in a basement or at ground level; (3) separated from open space areas on-site and on adjoining properties; (4) screened or enclosed; (5) integrated into the building design, using similar material and finishes; and (6) well ventilated.
<b>PO33</b> Development site layout and design enhances and complements the character of the surrounding neighbourhood and responds to the topography, natural values and development constraints by: (1) integrating into the surrounding residential neighbourhood; (2) providing an attractive and interesting streetscape; (3) taking advantage of the site's natural features like views, vistas, existing vegetation and landmarks; (4) minimising and mitigating impacts on ecological corridors and native vegetation; and (5) minimising alteration to natural topography and drainage lines.  Editor's note-this performance outcome can be met through submission of a design concept that demonstrates the design process and includes: (1) site and neighbourhood analysis; (2) building design criteria/principles informed by an opportunities and constraints analysis; and (3) outline how the layout and design responds to the site, streetscape, surrounding neighbourhood and, natural values constraints.	No acceptable outcome is nominated.  Editor's note—Applicants will also need to have regard to any relevant overlays applicable to the development site.

Performance outcomes	Acceptable outcomes
<b>Reconfiguration</b>	
<b>PO34</b> Lots less than 400m <sup>2</sup> and with a frontage width less than 10m are not created.	<b>AO34.1</b> Reconfiguration achieves a minimum lot size of 400m <sup>2</sup> and a minimum frontage width of 10m.
<b>PO35</b> Reconfiguration of a townhouse development to establish freehold lots only occurs where: <ol style="list-style-type: none"> <li>(1) the townhouse development is designed to be freehold titled by ensuring:               <ol style="list-style-type: none"> <li>(a) the townhouse development remains in compliance with the development approvals following reconfiguration;</li> <li>(b) each townhouse remaining a self-contained residence following reconfiguration;</li> <li>(c) that dependant activities of the development are not separated by freehold titling;</li> </ol> </li> <li>(2) the lots are created following construction of the townhouses;</li> <li>(3) equitable sharing and ongoing maintenance of any shared facilities or infrastructure is established.</li> </ol> Editor's note- material change of use and reconfiguration applications may be submitted together to allow concurrent assessment.	No acceptable outcome is nominated.
<b>Precinct LMDR1: South East Thornlands</b>	
<b>PO36</b> Development facilitates the establishment of a safe, permeable, legible and functional movement network that is generally in accordance with Figures 6.2.2.3.7 road movement network and 6.2.2.3.8 pedestrian, cycle and public transport network.	<b>AO36.1</b> Roads, intersections, paths and public transport stops and associated treatments are established in accordance with Figures 6.2.2.3.7 road movement network and 6.2.2.3.8 pedestrian, cycle and public transport network.
<b>PO37</b> Where development involves or adjoins nominated boulevard roads, the road design: <ol style="list-style-type: none"> <li>(1) creates a grand avenue character, being 50m wide for the central boulevard and 25m wide for the southern boulevard;</li> <li>(2) incorporates very wide landscaped medians that are of a sufficient width to support fauna movement; and</li> <li>(3) wide shoulders and verges which accommodate separated pedestrian and cyclist paths and dense landscaping.</li> </ol>	<b>AO37.1</b> Total width of the boulevard is: <ol style="list-style-type: none"> <li>(1) central boulevard - 50m; and</li> <li>(2) southern boulevard - 25m.</li> </ol>
<b>PO38</b>	<b>AO38.1</b>

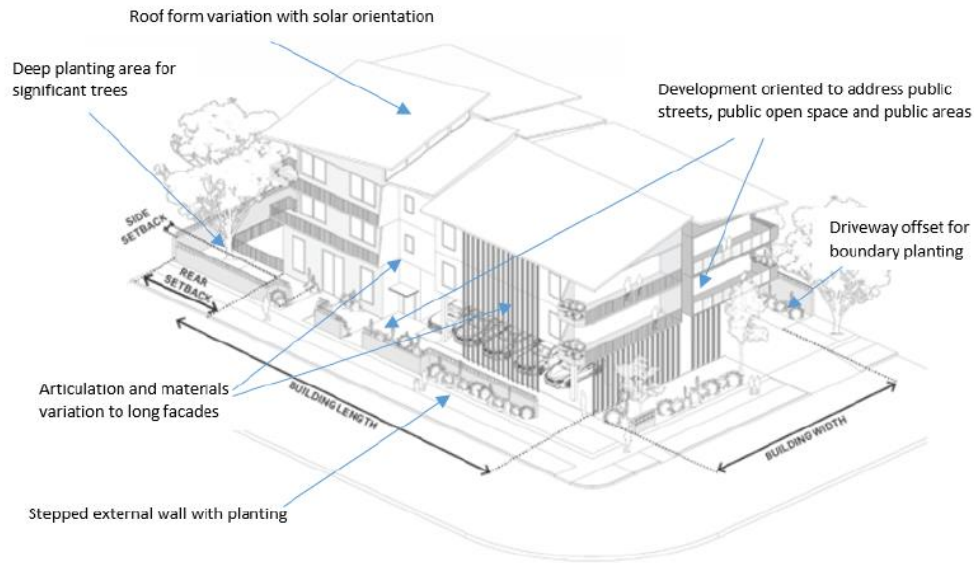
Performance outcomes	Acceptable outcomes
Development is set back from Cleveland Redland Bay Road and Boundary Road by a distance sufficient to accommodate substantial landscaping to retain a heavily vegetated character.	In addition to any widening of the road reserve required by the Queensland Government, development provides a 15m wide strip either side of Cleveland Redland Bay Road and Boundary Road which is densely vegetated by trees and shrubs.
<b>PO39</b> Development adjoining Cleveland Redland Bay Road and Boundary Road attenuates noise to a level that achieves a high level of residential amenity. Any acoustic walls: (1) are screened by landscaping; and (2) incorporate breaks to allow for pedestrian and cyclist permeability.	No acceptable outcome is nominated.
<b>PO40</b> Development facilitates: (1) a logical pattern of development; (2) efficient use of land and infrastructure; (3) a mix of affordable housing types; (4) access to community infrastructure and public transport services at an early stage of development; and (5) land for community uses and public services, including open space, education, health, social and emergency services where appropriate.	No acceptable outcome is nominated.
<b>PO41</b> Development provides for separation and buffering from nearby activities, including primary production, poultry farms and other rural industries, such that amenity and reverse amenity impacts are avoided.	No acceptable outcome is nominated.
<b>PO42</b> Dual occupancies and multiple dwellings are not established on lots that directly adjoin land within the Low Density Residential Precinct LDR2.	No acceptable outcome is nominated.
<b>PO43</b> Lots that directly adjoin land within the Low Density Residential Precinct LDR2 achieve a minimum site area of 1200m <sup>2</sup> and a minimum frontage width of 25m.	No acceptable outcome is nominated.
<b>Precinct LMDR2: Kinross Road</b>	
<b>PO44</b> Development does not create any additional vehicular access points to Panorama Drive. New lots are provided with access from internal roads.	<b>AO44.1</b> No new access points from lots are provided to Panorama Drive.
<b>PO45</b>	<b>AO45.1</b>



Performance outcomes	Acceptable outcomes
Development does not create any additional vehicular access points to Kinross Road for a distance of 835m from the intersection of Kinross Road and Boundary Road. New lots are provided with access from internal roads.	No new access points from lots are provided to Kinross Road for a distance of 835m from the intersection of Kinross Road and Boundary Road.
<b>PO46</b> Development facilitates the establishment of a safe, permeable, legible and functional movement network that is generally in accordance with Figures 6.2.2.3.9 road movement network and 6.2.2.3.10 pedestrian, cycle, public transport and parks network.	<b>AO46.1</b> Roads, road closures, intersections, paths, fauna crossings, public transport stops and associated treatments are established in accordance with Figures 6.2.2.3.9 road movement network and 6.2.2.3.10 pedestrian, cycle, public transport and parks network.
<b>PO47</b> Development adjoining Panorama Drive is set back by a sufficient distance to provide for acoustic treatments and substantial landscaping.	No acceptable outcome is nominated.
<b>PO48</b> Development adjoining Panorama Drive attenuates noise to a level that achieves a high level of residential amenity. Any acoustic walls: <ol style="list-style-type: none"> <li>(1) are screened by landscaping; and</li> <li>(2) incorporate breaks to allow for pedestrian and cyclist permeability,</li> </ol>	No acceptable outcome is nominated.
<b>PO49</b> Development adjoining Panorama Drive provides landscaping to create a heavily vegetated, high visual quality environment.	No acceptable outcome is nominated.
<b>PO50</b> Kinross Road extending from the intersection at Boundary Road to Goddard Road is designed to operate safely and efficiently and create a grand avenue character.	<b>AO50.1</b> Kinross Road is designed as a boulevard style trunk collector having a reserve width of 32m, including: <ol style="list-style-type: none"> <li>(1) a 6.5m landscaped verge on both sides of the road incorporating native canopy shade trees, utility services and shared pedestrian/bicycle concrete pathways;</li> <li>(2) a 1.5m on-road cycle lane on both sides of the road using differently textured materials;</li> <li>(3) one vehicular lane and breakdown lane, minimum dimension of 5m on both sides of the road; and</li> <li>(4) a 6m central median incorporating native canopy trees and water sensitive urban design features.</li> </ol>
<b>PO51</b> The nominated trunk collector / boulevard providing access to Panorama Drive is designed to operate safely and efficiently and create a grand avenue character.	<b>AO51.1</b> The road is designed as a boulevard style trunk collector, having: <ol style="list-style-type: none"> <li>(1) a minimum road width of 20m;</li> </ol>

Performance outcomes	Acceptable outcomes
	(2) no direct vehicular access from new uses and lots adjoining the trunk collector; and (3) a left in, right in and left out only intersection to Panorama Drive.
<b>PO52</b> Where development involves nominated esplanade roads treatments adjoining open space, the road design: <ul style="list-style-type: none"> <li>(1) creates a low speed environment;</li> <li>(2) facilitates safe, shared use for vehicles, pedestrians and cyclists;</li> <li>(3) incorporates grassed swales instead of kerb and channel adjacent to the open space; and</li> <li>(4) minimises disturbance to vegetation.</li> </ul>	No acceptable outcome is nominated.
<b>PO53</b> To encourage funnelling of fauna to the fauna crossing at Kinross Road, fauna exclusion fencing is provided to lots and roads adjoining the east west open space corridor on the western side of Kinross Road (in the Low medium density residential zoned parts of 68-70 Kinross Road - land no. 130759, lot 2 RP156850, and 64-66 Kinross Road - land no. 130879, lot 15 RP73640).	No acceptable outcome is nominated.
<b>PO54</b> Development facilitates: <ul style="list-style-type: none"> <li>(1) a logical pattern of development;</li> <li>(2) minimal requirement for earthworks and retaining walls;</li> <li>(3) efficient use of land and infrastructure;</li> <li>(4) a mix of affordable housing types;</li> <li>(5) net residential densities are not less than 15 dwellings per hectare;</li> <li>(6) access to community infrastructure and public transport services at an early stage of development; and</li> <li>(7) land for community uses and public services, including open space, education, health, social and emergency services where appropriate.</li> </ul>	No acceptable outcome is nominated.
<b>PO55</b> Development provides for separation and buffering from nearby activities, including primary production, poultry farms and other rural industries, such that amenity and reverse amenity impacts are avoided.	No acceptable outcome is nominated.
<b>PO56</b> Development is designed to provide safe koala movement opportunities and minimise impediments to a koala traversing the landscape.	No acceptable outcome is nominated.
<b>PO57</b>	

Performance outcomes	Acceptable outcomes
To the extent practical, development minimises the amount of clearing and fragmentation of koala habitat.	No acceptable outcome is nominated.



**Figure 6.2.2.3.4 —building design and streetscape.**

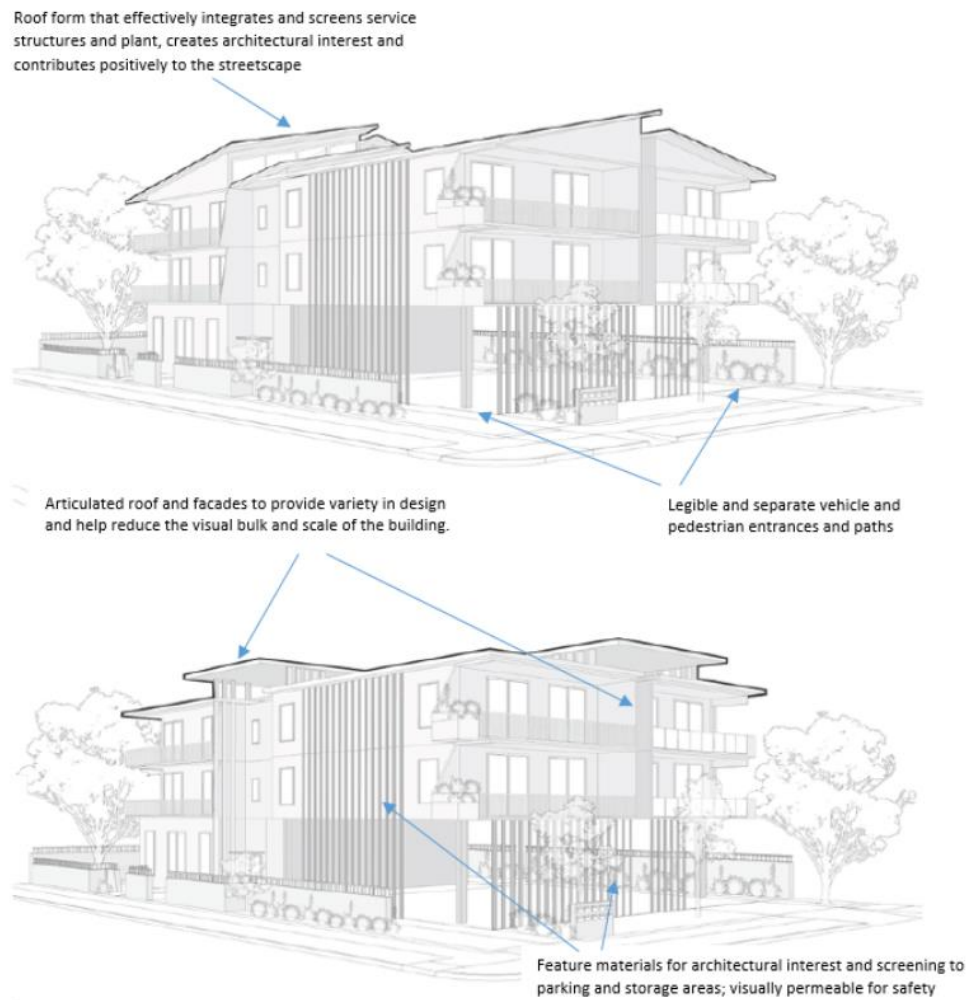


Figure 6.2.2.3.5 — design, materials and roof form.

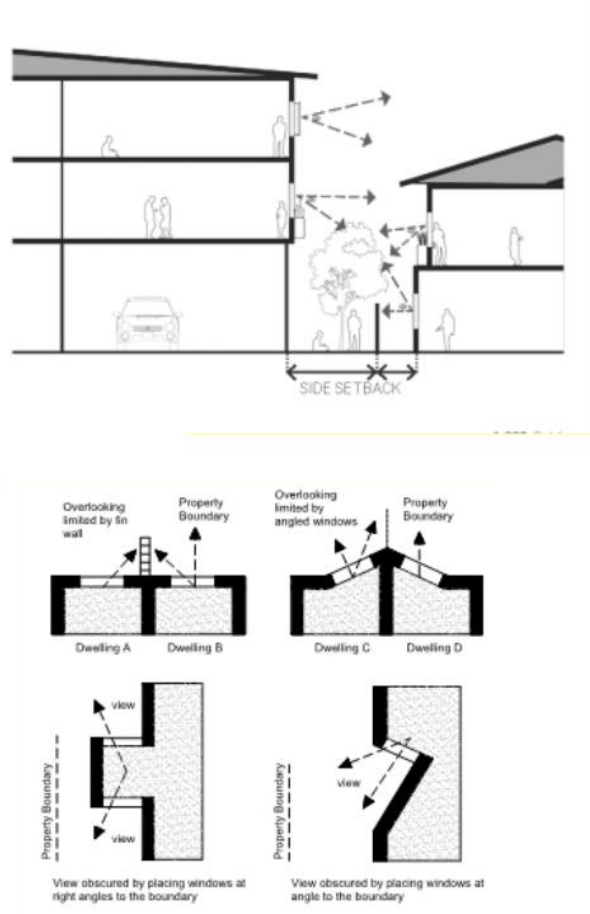


Figure 6.2.2.3.6 —privacy between dwelling units.

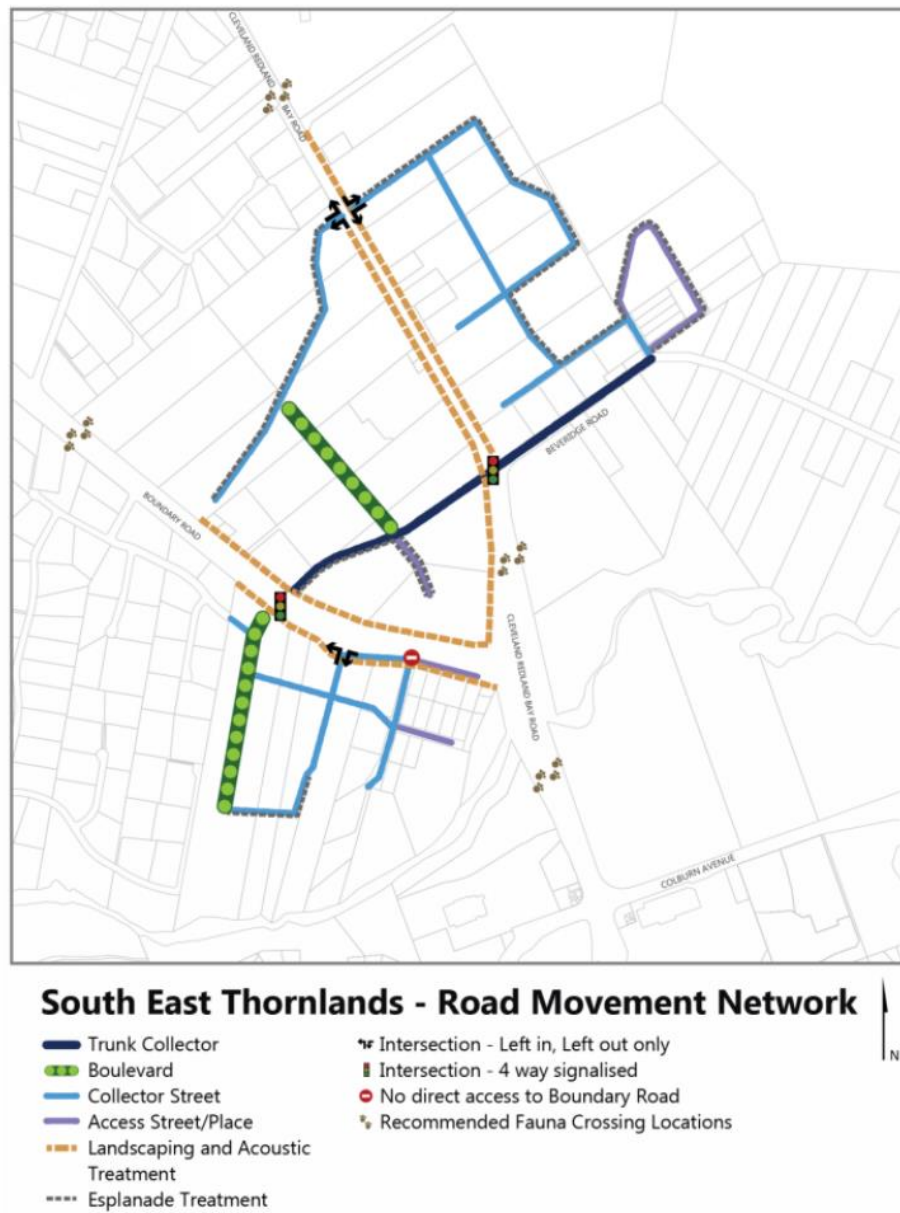
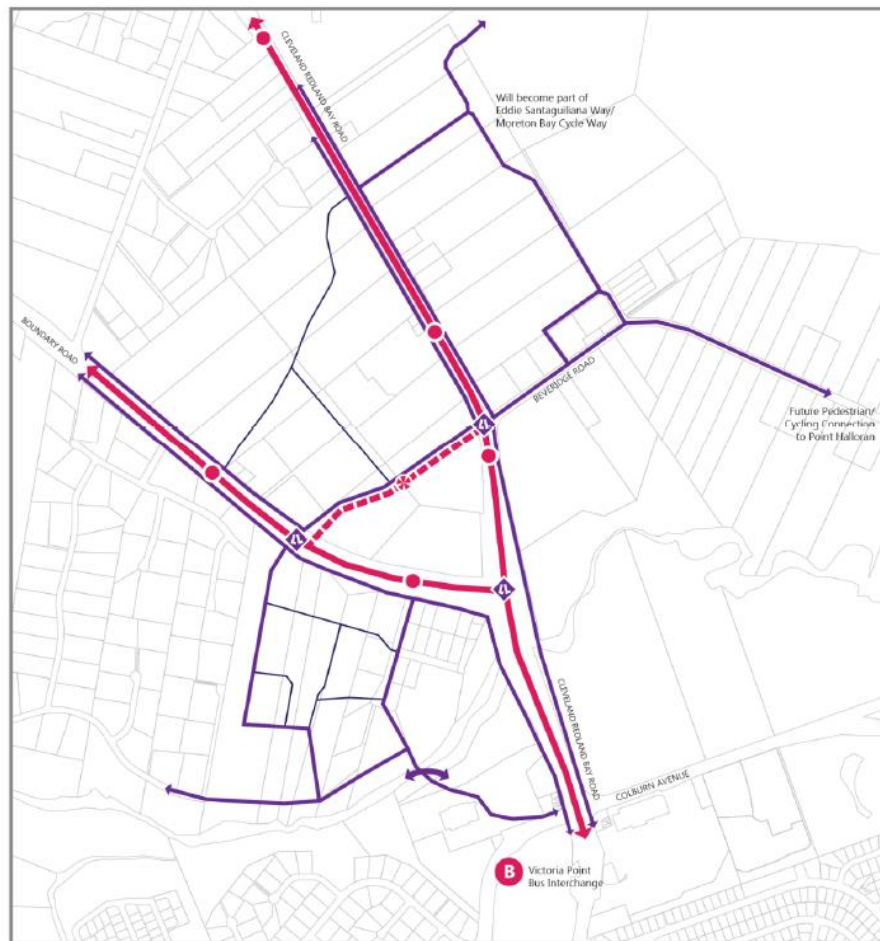


Figure 6.2.2.3.7 —South East Thornlands: road movement network



### South East Thornlands - Pedestrian, Cycle and Public Transport Network

- |   |  |
|---|--|
| ↔ Primary Pedestrian Cycle Link               | ↔ Existing Bus Priority and Line Haul Routes |
| — Secondary Pedestrian Cycle Link             | Ⓑ Bus Station                                |
| ↔ Shared Pedestrian Cycle Bridge              | ● Existing Bus Stops                         |
| ◊ Controlled Pedestrian/Cycle Crossing Points | --- Potential Bus Route                      |
|   | * Potential Bus Stop                         |



Figure 6.2.2.3.8 —South East Thornlands: pedestrian, cycle and public transport network





### Kinross Road - Road Movement Network

- |   |   |
|---|---|
| Trunk Collector (Boulevard)                             | Intersection - Left in/Right in/Left out only |
| Collector Street  | Intersection - Signalised                     |
| Landscaping/Acoustic Treatment/ Road Access Restriction | Roundabout                                    |
| Esplanade Treatment                                     | Fauna Crossing                                |
| Proposed Road Closure                                   | Pedestrian/Cycle/Emergency Access             |
|   | Future Northern Public Transport Corridor     |
|   | Access Place/Access Easement                  |

Figure 6.2.2.3.9 —Kinross Road: road movement network



### Kinross Road - Pedestrian, Cycle, Public Transport Network and Parks

- ↔ Primary Pedestrian Cycle Link
- Secondary Pedestrian Cycle Link
- ⚡ Controlled Pedestrian/Cycle Crossing Points
- ↔ Existing Bus Priority Line Haul Routes
- Existing Bus Stops
- - - Potential Bus Route
- \* Potential Bus Stop
- Parkland Area - Community Park
- Parkland Area - Neighbourhood Park

Figure 6.2.3.10 —Kinross Road: pedestrian, cycle, public transport and parks network

## 6.2.5 Tourist accommodation zone code

### 6.2.5.1 Application

This code applies to development:

- (1) within the tourist accommodation zone as identified on the zoning maps contained within Schedule 2 (mapping); and
- (2) identified as requiring assessment against the tourist accommodation zone code by the tables of assessment in Part 5 (tables of assessment).

When using this code, reference should be made to section 5.3.2 and, where applicable, section 5.3.3, in Part 5.

### 6.2.5.2 Application

- (1) The purpose of the tourist accommodation zone code is to provide for short-term accommodation supported by community uses and small-scale services and facilities on North Stradbroke Island.
- (2) The purpose of the code will be achieved through the following overall outcomes:
  - (a) the tourist accommodation zone predominantly consists of multiple dwellings, short term accommodation and tourist resorts and related support facilities for Point Lookout's holiday population;
  - (b) non-residential or non-accommodation uses occur where they are small in scale, provide services primarily for tourists and do not compromise the role of the island's centres. Such uses are provided as part of a mixed use development with tourist accommodation;
  - (c) in order to retain larger land parcels for development, further subdivision of land within this zone does not occur;
  - (d) buildings are set back from property boundaries to maintain an attractive streetscape character and protect the privacy and amenity of adjoining dwellings;
  - (e) development incorporates architectural styles and elements that reduce the visual impact of the built form;
  - (f) development design is supported by a contextual site analysis, and is of an appropriate height that maintains views to ridgelines and other prominent local features, and uses a site layout that best provides for equitable access to light and breezes for occupants and neighbours;
  - (g) development achieves a well-designed, architecturally interesting built form through a mix of articulation of building elements, roof forms, screening, textures, materials and colours;
  - (h) development makes a positive contribution to the streetscape and character of the locality and strengthens site features, such as views, heritage or significant trees;
  - (i) development provides high-quality private and communal open spaces for residents that enhance liveability and meet recreational needs;
  - (j) development provides car parking that is integrated into the site and building and does not negatively impact on the site or adjoining sites or the quality and amenity of the streetscape;
  - (k) development creates a safe, comfortable and convenient pedestrian environment within and external to the site and facilitates a high level of accessibility and permeability for pedestrians and cyclists; and
  - (l) development retains (except where not practicable) or establishes significant trees in deep planting areas and avoids alteration to natural drainage lines.

Note – the retention of significant tree is accepted as not practicable where a significant tree due to its location prevents the ability to facilitate a well-designed, integrated and efficient multiple dwelling design outcome consistent with this code.

### 6.2.5.3 Tourist accommodation zone code – Specific benchmarks for assessment

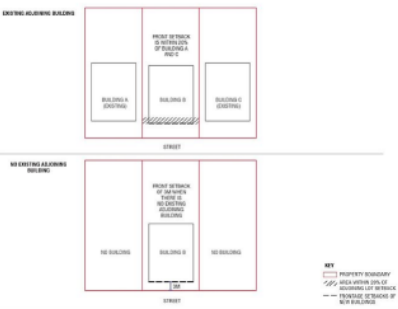
**Table 0.1—Benchmarks for assessable development**

Performance outcomes	Acceptable outcomes
<b>For development that is accepted subject to requirements and assessable development</b>	
<b>Dual occupancies</b>	
<b>PO1</b> Good residential design promotes the efficient use of a lot, an acceptable amenity to residents, and facilitates off street parking.	<b>AO1.1</b> A Dual occupancy complies with all the Acceptable Solutions specified in the Queensland Development Code part MP1.3. Note — For the purpose of this AO, a reference to "duplex" in the Queensland Development Code MP1.3 is taken to be "Dual occupancy" as defined by this planning scheme. Note — References to the Queensland Development Code MP1.3 for the purposes of this AO are to be applied as if these provisions applied to a Dual occupancy. Note — The Queensland Development Code MP1.3 indicates that it is only applicable to Class 1 and associated Class 10 buildings. For the purpose of this AO, the class of building is irrelevant, as long as the development meets the definition of "dual occupancy" as defined by this planning scheme. Note — Other zone code provisions will prevail over this acceptable outcome to the extent of any inconsistency.
<b>For assessable development</b> Planning Scheme Policy 7 Multiple Dwelling Design Guide provides assistance to applicants in achieving high standard design outcomes for multiple dwellings that meet the assessment criteria in this planning scheme. The design principles of the policy are also relevant for other accommodation oriented development in the zone of a similar scale.	
<b>Non residential/accommodation uses</b>	
<b>PO2</b> Non-residential or non-accommodation uses, only occur where they: <ol style="list-style-type: none"> <li>(1) are small in scale;</li> <li>(2) are integrated with tourist accommodation activities as part of a mixed use development;</li> <li>(3) do not unduly detract from residential amenity;</li> <li>(4) provide services primarily for tourists; and</li> <li>(5) do not impact on the function of the island's centres.</li> </ol>	No acceptable outcome is nominated.
<b>All residential and accommodation uses</b>	
<b>PO3</b> Land is predominantly used for tourist accommodation. Development supports and does not undermine this intention.	No acceptable outcome is nominated.
<b>PO4</b> Multiple dwellings intended for permanent residential use are designed to minimise potential conflicts with tourist accommodation and related uses.	No acceptable outcome is nominated.

Performance outcomes	Acceptable outcomes
<p><b>PO5</b></p> <p>Developments involving more than 20 dwellings provide sufficient communal open space to:</p> <ol style="list-style-type: none"> <li>(1) is readily accessible, usable and safe;</li> <li>(2) provides flexible spaces and recreation facilities suitable for a range of activities;</li> <li>(3) is landscaped to provide shade, creating a pleasant micro-climate and for visual relief to soften the impact of building and hardstand areas;</li> <li>(4) provides opportunity for casual social interaction;</li> <li>(5) is designed and located to minimise impacts on the amenity of residents of the development and neighbouring properties;</li> <li>(6) is co-located with but separate from deep planting areas (except where not practicable); and</li> <li>(7) minimises impervious ground level areas to improve on-site stormwater filtration.</li> </ol>	<p><b>AO5.1</b></p> <p>Where development involves more than 20 dwellings a minimum of 15% of the site area is provided as communal open space, with a minimum dimension of 5m and a minimum area of 50m<sup>2</sup>.</p> <p>Note—Communal open space can be provided on rooftops, on podiums, at ground level, by indoor recreation facilities or a combination of these.</p> <p><b>AO5.2</b></p> <p>A communal open space area is designed to:</p> <ol style="list-style-type: none"> <li>(1) be centrally located to be readily accessible for residents via pedestrian pathways;</li> <li>(2) be co-located with deep planting areas where practicable;</li> <li>(3) ensure that 50% of the principal usable area receives a minimum of two hours of direct sunlight between 9am and 3pm on 21 June;</li> <li>(4) be clearly distinguished from any private open space;</li> <li>(5) be well lit and subject to passive surveillance;</li> <li>(6) provide a range of recreational facilities including, for example;             <ol style="list-style-type: none"> <li>(a) seating for individuals or groups;</li> <li>(b) barbeque areas;</li> <li>(c) play equipment or play areas; and</li> <li>(d) swimming pool, gyms, tennis court, common room or communal gardens;</li> </ol> </li> <li>(7) provide a minimum of 15% planted or grassed landscaping, including a planted area with a minimum width of 1.5m where adjoining a neighbouring property;</li> <li>(8) ensure a minimum of 15% of the area is shaded by trees;</li> <li>(9) have a finished surface level with a gradient less than 5 percent;</li> <li>(10) have hard and soft landscape treatments; and</li> <li>(11) be clear of all non-recreational structures, including clothes hoists, driveways, water tanks, car parking and garbage storage.</li> </ol> <p>Editor's note: landscaping provided in communal open space is separate from deep planting areas.</p>
<p><b>PO6</b></p> <p>Development provides private open space that:</p>	<p><b>AO6.1</b></p> <p>For a ground floor dwelling, ground floor private open space is designed and located to:</p>

Performance outcomes	Acceptable outcomes
<ul style="list-style-type: none"> <li>(1) is useable in size and shape to meet the needs of a diversity of potential residents;</li> <li>(2) is functional and easily accessible from living or common areas to promotes outdoor living as an extension of the dwelling;</li> <li>(3) is clearly identified as private open space;</li> <li>(4) provides a high level of privacy for residents and neighbours; and</li> <li>(5) is located and designed to enhance the liveability of residents.</li> </ul>	<ul style="list-style-type: none"> <li>(1) predominately face north, east or west;</li> <li>(2) provide a minimum area of 16m<sup>2</sup> if a dwelling in a residential care facility; or</li> <li>(3) provide a minimum area of 25m<sup>2</sup> for all other dwellings;</li> </ul> <p>with:</p> <ul style="list-style-type: none"> <li>a. a minimum dimension of 4m and clear of any utilities such as gas, clothes drying facilities, water tanks or air-conditioning units;</li> <li>b. direct access from living or common areas to extend the living space;</li> <li>c. screening or fencing to clearly identify the area as private open space;</li> <li>d. a high level of privacy for residents and neighbours; and</li> <li>e. a high level of acoustic amenity.</li> </ul>
	<p><b>AO6.2</b></p> <p>For dwellings above ground level, private balconies are designed and located to:</p> <ul style="list-style-type: none"> <li>(1) predominately face north, east or west;</li> <li>(2) be orientated with the longer side facing outwards, or open to the sky, to optimise daylight access into adjacent rooms;</li> <li>(3) provide a minimum of 10m<sup>2</sup> if a dwelling in a residential care facility; or</li> <li>(4) for all other dwellings:               <ul style="list-style-type: none"> <li>(c) a minimum area of 10m<sup>2</sup> for a 1 bedroom unit; or</li> <li>(d) a minimum area of 16m<sup>2</sup> for a two or more bedroom unit;</li> </ul> </li> </ul> <p>with:</p> <ul style="list-style-type: none"> <li>a. a minimum dimension of 3m and clear of any air conditioning unit or drying space;</li> <li>b. direct access from living or common areas to extend living areas; and</li> <li>c. a high level of privacy for residents and neighbours.</li> </ul>
	<p><b>AO6.3</b></p> <p>Where clothes drying areas are provided on private balconies they are screened from public view and do not take up more than 10% of the balcony area.</p>
<b>Reconfiguration</b>	
<b>PO7</b>	<b>AO7.1</b>

Performance outcomes	Acceptable outcomes
Existing lot sizes are maintained or increased to facilitate integrated tourist uses.	Reconfiguration does not result in a smaller lot size.
<b>Built form</b>	
<b>PO8</b> Buildings are generally two to three storeys, and retain views to vegetated ridgelines.	<b>AO8.1</b> Building height is a maximum of 11.5m.
<b>PO9</b> Development occurs on a site that has an area and street frontage width that is sufficient to: <ol style="list-style-type: none"> <li>(1) accommodate the scale and form of well-designed and articulated multiple dwelling building;</li> <li>(2) allow buildings to be oriented to the street;</li> <li>(3) provide for communal and private open spaces at ground level;</li> <li>(4) provide safe and convenient vehicle access to the site;</li> <li>(5) accommodate on-site parking for residents and visitors, and waste and delivery vehicles manoeuvring;</li> <li>(6) deliver substantial landscaping including deep planting areas to retain or establish significant trees; and</li> <li>(7) provide adequate building setbacks to adjoining properties to maintain residential amenity and privacy.</li> </ol>	<b>AO9.1</b> Development has a minimum site area and street frontage width of: <ol style="list-style-type: none"> <li>(1) 800m<sup>2</sup> and 20m, for a building 3 storeys or less in height; or</li> <li>(2) 1,000m<sup>2</sup> and 20m, for a building 4 storeys or greater in height.</li> </ol>
<b>PO10</b> Site cover: <ol style="list-style-type: none"> <li>(1) is consistent with the intended medium density character of the area and immediate streetscape</li> <li>(2) mitigates the bulk and scale of development;</li> <li>(3) provides natural light, sunlight and breeze to living and open space areas;</li> <li>(4) provides for privacy between dwelling units for residents and neighbouring properties;</li> <li>(5) supports residential amenity for residents and neighbouring properties</li> <li>(6) provides usable open space for residents; and</li> <li>(7) allows for substantial landscaping, including deep planting areas to retain or establish significant trees.</li> </ol>	<b>AO10.1</b> Site cover does not exceed 50%.

Performance outcomes	Acceptable outcomes
<p><b>PO11</b> Front boundary setbacks (other than basements):</p> <ol style="list-style-type: none"> <li>(1) create an attractive, consistent and cohesive streetscape;</li> <li>(2) result in development not being visually dominant or overbearing with respect to the streetscape;</li> <li>(3) assist in achieving visual privacy to ground floor dwellings from the street;</li> <li>(4) support the location of balconies for casual surveillance of the street and articulation of the building facade;</li> <li>(5) provide for landscaping to soften and screen the built form, including deep planting areas to retain or establish significant vegetation;</li> <li>(6) provide for usable open space for the residents;</li> <li>(7) provide for visitor car parking for apartment development; and</li> <li>(8) where tandem car parking spaces are proposed in front of townhouse garages, they are contained wholly within the property boundary.</li> </ol> <p>Editor's note –The provision of tandem car parking spaces is not supported in all locations. Refer to Table 9.3.5.3.2 – Minimum on-site vehicle parking requirements in the Transport, servicing, access and parking code for further information.</p>	<p><b>AO11.1</b> Buildings are set back from street frontages:</p> <ol style="list-style-type: none"> <li>(1) within 20% of the average front setback of adjoining buildings; or</li> <li>(2) where there are no adjoining buildings;             <ol style="list-style-type: none"> <li>(a) 3m to the building wall and 5.5m for garage doors for townhouse development; or</li> <li>(b) 4m to balconies, eaves, awning or the like and 6m to building walls for apartment development and tourist accommodation.</li> </ol> </li> </ol> <p>Figures 6.2.5.3.1 and 6.2.5.3.5 illustrates.</p>  <p><b>Figure 6.2.5.3.1—Setbacks</b></p>
<p><b>PO12</b> Side and rear boundary setbacks:</p> <ol style="list-style-type: none"> <li>(1) minimise the impacts of development on the amenity and privacy of existing and future adjoining residents;</li> <li>(2) does not prejudice the intended future development of adjoining sites;</li> </ol>	<p><b>AO12.1</b> At the side boundary:</p> <ol style="list-style-type: none"> <li>(1) a built to boundary wall does not exceed 4.5m in height and 9m in length along any one boundary; and</li> <li>(2) otherwise, buildings are set back a minimum of:             <ol style="list-style-type: none"> <li>(a) 1.5m for a wall up to 4.5m high;</li> </ol> </li> </ol>

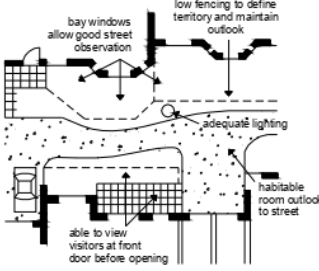
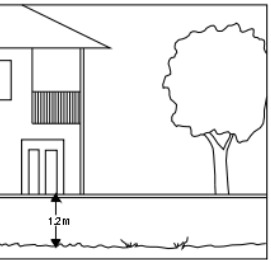
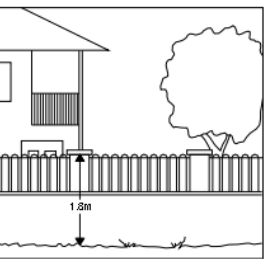


Performance outcomes	Acceptable outcomes
<p>(3) contribute to the pattern of the streetscape consistent with the intended neighbourhood character;</p> <p>(4) support the separation of buildings to provide visual and acoustic privacy;</p> <p>(5) maintain sufficient levels of natural light, and air circulation for residents of the development and adjoining sites;</p> <p>(6) ensure daylight penetrates all sides of the proposed building;</p> <p>(7) provide for communal and private open space areas;;</p> <p>(8) provide space for service functions, including clothes drying areas if needed;</p> <p>(9) support the introduction of landscaping to complement building massing, screen buildings and support the privacy of existing and future adjoining residents; and</p> <p>(10) provide for deep planting areas, to retain and protect significant native trees (except where not practicable) and vegetation, or establish large subtropical shade trees.</p> <p>Note – the retention of significant tree is accepted as not practicable where a significant tree due to its location prevents the ability to facilitate a well-designed, integrated and efficient multiple dwelling design outcome consistent with this code.</p>	<p>(b) 2m for a wall up to 8.5m high; and</p> <p>(c) 2m plus 0.5m for every 3m or part thereof by which the building exceeds 8.5m.</p> <p>Note—Where a multiple dwelling in the form of attached or terrace houses is proposed, side setbacks would apply only to boundaries shared with adjoining sites and not to "internal" lot boundaries within the development site.</p> <p><b>AO12.2</b></p> <p>The rear boundary setback is a minimum of 5m.</p>
<p><b>PO13</b></p> <p>Basements are designed to ensure:</p> <p>(1) located outside of deep planting areas;</p> <p>(2) designed to provide natural ventilation for basement car parking that is integrated into the building façade and landscape design; and</p> <p>(3) designed to have a strong relationship between the street and the proposed building and ground level open space.</p>	<p>No acceptable outcome is nominated.</p>
<p><b>PO14</b></p> <p>Buildings are designed to:</p> <p>(1) contribute to an attractive streetscape and intended character of the local area;</p> <p>(2) be orientated to the street;</p> <p>(3) incorporate balconies that address street frontages and public spaces;</p> <p>(4) provide modulation and articulation in the building façade and elevations' horizontal and vertical profiles;</p> <p>(5) provide projections and recesses in the facade and elevations that reflect changes of internal functions of buildings, including circulation;</p>	<p>No acceptable outcome is nominated.</p> <p>Figures 6.2.5.3.6 and 6.2.5.3.7 illustrates.</p>

Performance outcomes	Acceptable outcomes
<p>(6) include variation in building materials, contrasting colours, textures and finishes that emphasise architectural features;</p> <p>(7) use similarly proportioned roof forms, doors, windows and balconies to complement the local character;</p> <p>(8) break up the appearance of large buildings through roof form, materials, articulation, projections and recesses that reflect the existing streetscape scale; and</p> <p>(9) articulate building entrances and openings.</p>	
<p><b>PO15</b></p> <p>Development for services and related structures:</p> <p>(1) are accessible for maintenance;</p> <p>(2) are integrated to blend into the overall development design; and</p> <p>(3) are designed and orientated to not visually dominate the street frontage.</p>	<p><b>AO15.1</b></p> <p>Services and related structures (such as electricity transformers, fire hydrant and booster assemblies) where located in the front boundary setback:</p> <p>(1) extend for no more than 5m or 10% of the street frontage (whichever is lesser);</p> <p>(2) are orientated towards internal driveways or footpaths; and</p> <p>(3) are located, screened with similar materials to the building or landscaped to not be visually obtrusive when viewed from the street.</p>
<p><b>PO16</b></p> <p>Multiple dwelling building walls are designed to:</p> <p>(1) be visually interesting through the provision of articulation on the side and rear walls;</p> <p>(2) avoid highly reflective finishes;</p> <p>(3) break up multiple dwelling development and reduce the scale and bulk of the buildings; and</p> <p>(4) support dual-orientation dwellings to provide for natural cross ventilation.</p>	<p><b>AO16.1</b></p> <p>The maximum length of a building wall in any direction is 30m, with a change in the building line every 15m on side and rear walls of plus or minus 1.5m for a length not less than 5m.</p> <p>Figures 6.2.5.3.6 and 6.2.5.3.7 illustrates.</p> <p>Editor's note—full building separation provides a minimum of 6m.</p>
<p><b>PO17</b></p> <p>Design elements promote a subtropical and climate responsive design character through:</p> <p>(1) the use of deep balconies decks and eaves;</p> <p>(2) orientating habitable room windows, private open space (balconies and terraces) to the north where possible;</p> <p>(3) maximising dwellings with a northern aspect;</p> <p>(4) maximising dual orientation of habitable rooms to provide for natural cross ventilation;</p> <p>(5) integration of buildings with landscape planting and deep planting areas to create a pleasant micro-climate;</p>	<p>No acceptable outcome is nominated</p> <p>Editor's note—Applicants should have regard to Subtropical Design in South East Queensland A Handbook for Planners Developers and Decision Makers (2010 Centre for Subtropical Design QUT).</p>

Performance outcomes	Acceptable outcomes
<p>(6) screening habitable rooms from the western sun, using building and landscape elements; and</p> <p>(7) integration of buildings within landscape planting.</p>	
<p><b>PO18</b></p> <p>The design of roof form, rooftops and building caps of apartments:</p> <p>(1) provides an interesting and attractive roof-scape that enhances the architectural distinction of the building and makes a positive contribution to the local character;</p> <p>(2) is articulated to reduce the bulk and scale of a building when viewed from the street</p> <p>(3) considers the ability for discreet placement and optimum orientation of solar panels;</p> <p>(4) maximises solar access for dwellings during winter and provides shade in summer; and</p> <p>(5) incorporates variety in design; and</p> <p>(6) effectively integrates or screens service structures, plant and equipment and provides for the future inclusion of additional plant and equipment; and</p> <p>(7) avoids highly reflective finishes.</p>	<p><b>AO18.1</b></p> <p>Roof form, rooftops and building caps are designed to:</p> <p>(1) include interesting forms created through pitches, gables, skillions or other features;</p> <p>(2) be articulated to break down the roof and building bulk and scale;</p> <p>(3) provide opportunity for stormwater collection, solar energy and communal open space;</p> <p>(4) be angled to the north and east to maximise solar access in winter; and</p> <p>(5) incorporate hoods and overhangs to shade walls and windows from the summer sun.</p> <p>Figure 6.2.5.3.6 and 6.2.5.3.7 illustrates.</p>
<p><b>PO19</b></p> <p>Development establishes an active interface with adjoining pedestrian spaces by providing physical connections between buildings and between buildings and public places to encourage pedestrian movement.</p>	<p>No acceptable outcome is nominated.</p>
<p><b>PO20</b></p> <p>Parking facilities for apartment development:</p> <p>(1) are contained within a basement level or within the building footprint where located at ground level;</p> <p>(2) are designed to not dominate the streetscape or the building form when viewed from the street, other public spaces and adjoining properties;</p> <p>(3) mitigate amenity impacts on adjoining residents.</p>	<p><b>AO20.1</b></p> <p>Parking facilities for residents (excludes visitor car parking):</p> <p>(1) are located in a basement level; or</p> <p>(2) within the building footprint at ground level where;</p> <p style="padding-left: 40px;">(a) landscaped and screened from view from the street, other public spaces and adjoining properties;</p> <p style="padding-left: 40px;">(b) integrated into the building façade through architectural elements; and</p> <p>(3) provide storage for residents.</p> <p><b>AO20.2</b></p> <p>Visitor car parking (excludes resident parking) are located:</p> <p>(1) in a basement level; or</p> <p>(2) at ground level within the building footprint where landscaped or screened</p>

Performance outcomes	Acceptable outcomes
	<p>from view from the street, other public spaces and adjoining properties; or</p> <p>(3) in the front setback where adjoining the driveway and landscaped or screened from view from the street.</p>
<p><b>PO21</b></p> <p>Parking facilities for townhouse development are located so that they do not dominate the streetscape or the building form when viewed from the street.</p>	<p><b>AO21.1</b></p> <p>Vehicle parking structures are located behind the front building alignment.</p>
<p><b>PO22</b></p> <p>Driveways and internal access ways are located and designed to:</p> <ol style="list-style-type: none"> <li>(1) integrate into the overall building design;</li> <li>(2) define the public and private space;</li> <li>(3) support active street frontages and enhance the streetscape character;</li> <li>(4) incorporate high quality pavement materials, textures and colours to contribute to an attractive and interesting streetscape;</li> <li>(5) minimise visual impact of long driveways through changing alignments and landscaping;</li> <li>(6) be located on secondary/rear frontages, where available;</li> <li>(7) limit the number and width of driveway crossovers to the minimum required;</li> <li>(8) minimise the extent of internal access ways;</li> <li>(9) mitigate impacts on neighbouring properties;</li> <li>(10) maximise the availability of on-street parking;</li> <li>(11) support the retention or establishment of street trees; and</li> <li>(12) allow for refuse collection and street infrastructure.</li> </ol>	<p><b>AO22.1</b></p> <p>Driveways and internal access ways are located and designed:</p> <ol style="list-style-type: none"> <li>(1) to incorporate high quality pavement materials, textures and colours that are consistent with the overall building design;</li> <li>(2) to be limited to one crossover per street frontage;</li> <li>(3) to provide the minimum width required;</li> <li>(4) to be offset from the side boundary by a minimum of 1m to allow for landscaping; and</li> <li>(5) to minimise and soften visual impacts through <ol style="list-style-type: none"> <li>a. offset alignment of the driveway and landscaping to screen the view of the driveway from the street;</li> <li>b. a change in alignment within 20m from the street frontage; and</li> <li>c. soft landscaping along the driveway and at the end of the straight alignment.</li> </ol> </li> </ol> <p>Figure 6.2.5.3.6 illustrates.</p>
<p><b>PO23</b></p> <p>Development provides front fences or walls along street frontages, or public spaces, that create an attractive streetscape by:</p> <ol style="list-style-type: none"> <li>(1) incorporating a mixture of building materials that complement the design of buildings</li> <li>(2) providing visual interest and a softening of the visual impact where significant in length</li> <li>(3) highlighting the entrance to the property</li> </ol>	<p><b>AO23.1</b></p> <p>Fences or walls along a street front or public space are designed to incorporate a mixture of building materials that complement the design of the building.</p> <p><b>AO23.2</b></p> <p>Where a fence or wall along street frontages or public spaces exceeds 10m in length, indentations, material variation or soft landscaping (including planter boxes) are incorporated.</p> <p>Figure 6.2.5.3.6 illustrates.</p>
<b>PO24</b>	<b>AO24.1</b>

Performance outcomes	Acceptable outcomes
<p>Development is designed to discourage crime and anti-social behaviour by:</p> <ol style="list-style-type: none"> <li>(1) maximising opportunities for casual surveillance of the street, public places, communal open space (where provided), pedestrian and cycle paths, including the primary pedestrian entrance and car parking areas;</li> <li>(2) ensuring spaces are well lit;</li> <li>(3) minimising potential concealment and entrapment opportunities; and</li> <li>(4) providing direct movements with clear unobscured sight lines, and</li> <li>(5) having fencing and walls along a street frontage or public space incorporate visually permeable materials and treatments.</li> </ol>	<p>Buildings are designed to have balconies, windows and building openings overlooking streets and other public spaces.</p> <p>Figures 6.2.5.3.2 and 6.2.5.3.5 illustrates.</p>  <p><b>Figure 6.2.5.3.2—Overlooking</b></p> <p><b>AO24.2</b></p> <p>Fences or walls along a street frontage or public space have a maximum height of:</p> <ol style="list-style-type: none"> <li>(1) 1.2m where solid; or</li> <li>(2) 1.8m where that portion of the fence above 1.2m high is at least 50% transparent.</li> </ol> <p>Figures 6.2.5.3.3 and 6.2.5.3.4 illustrate.</p>  <p><b>Figure 6.2.5.3.3—Fencing (1)</b></p>  <p><b>Figure 6.2.5.3.4—Fencing (2)</b></p>
<p><b>PO25</b></p> <p>On elevated or steeply sloping sites:</p> <ol style="list-style-type: none"> <li>(1) development is sympathetic to the natural landform through the use of terraced or split level building forms that minimise ground level disturbance outside the building footprints; and</li> </ol>	<p>No acceptable outcome is nominated.</p>

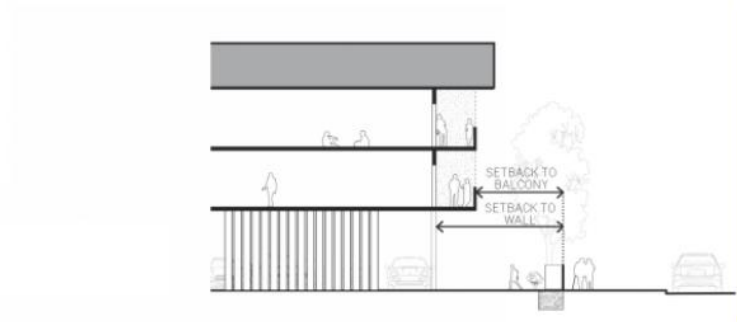
Performance outcomes	Acceptable outcomes
(2) the understoreys of buildings are screened to maintain the quality of view when viewed from below.	
<b>Amenity</b>	
<b>PO26</b> Privacy between dwelling units on the site and adjoining sites is achieved by effective building design and the location of windows and outdoor open spaces to prevent overlooking into habitable rooms or private open space areas or through the use of screening devices. Where screening devices are used, they are integrated with the building design.	<b>AO26.1</b> Where habitable room windows are directly adjacent to habitable rooms of adjoining dwellings and are within a distance of 9m and within an angle of 45 degrees, privacy is protected by: <ol style="list-style-type: none"> <li>(1) sill heights being a minimum of 1.5m above floor level; or</li> <li>(2) providing fixed translucent screens, such as frosted or textured glazing, for any part of the window below 1.5m above floor level; or</li> <li>(3) providing fixed external screens.</li> </ol> Figure 6.2.5.3.8 illustrates.
	<b>AO26.2</b> Outlook from windows, balconies, stairs, landings, terraces and decks and other private areas, is screened where a direct view is available into the private open space of another dwelling. Screening is achieved by: <ol style="list-style-type: none"> <li>(1) fixed translucent screens, such as frosted or textured glazing, for any part of the window below 1.5m above floor level; or</li> <li>(2) fixed external screens; or</li> <li>(3) landscape planting that will achieve a minimum of 2m in height at maturity.</li> </ol> Figure 6.2.5.3.8 illustrates.
	<b>AO26.3</b> Where incorporating screening devices, they are: <ol style="list-style-type: none"> <li>(1) solid translucent screens or perforated panels or trellises that have a maximum of 25% openings, with a maximum opening dimension of 50mm and that are permanently fixed and durable; and</li> <li>(2) offset a minimum of 300mm from the wall of the building.</li> </ol>
<b>PO27</b> Development provides side and rear fencing that protects the privacy and amenity of adjoining properties.	<b>AO27.1</b> Side and rear boundary fences are a minimum of 1.8m in height where adjoining a residential use.
<b>PO28</b> Development is designed to facilitate the retention and establishment of significant	No acceptable outcome is provided.

Performance outcomes	Acceptable outcomes
<p>trees and street trees (except where not practicable) that:</p> <ol style="list-style-type: none"> <li>(1) complement and soften the scale and bulk of the built form;</li> <li>(2) support an attractive streetscape;</li> <li>(3) enhance the amenity of residents; and</li> <li>(4) provide natural shade to improve the micro-climate.</li> </ol> <p>Note – the retention of a significant tree is accepted as not practicable where a significant tree due to its location prevents the ability to facilitate a well-designed, integrated and efficient multiple dwelling design outcome consistent with this code.</p>	
<p><b>PO29</b></p> <p>On-site landscaping is provided to:</p> <ol style="list-style-type: none"> <li>(1) contribute to an attractive streetscape;</li> <li>(2) enhance the appearance of the development;</li> <li>(3) complement, and where possible retain and add to, any native vegetation within the site;</li> <li>(4) provide for the retention of establishment of significant trees in deep planting areas;</li> <li>(5) create green roofs, walls or other sustainable building elements;</li> <li>(6) provide privacy between on-site dwellings and adjoining properties; and</li> <li>(7) screen unsightly components.</li> </ol>	<p><b>AO29.1</b></p> <p>A minimum of 20% of the site is planted or vegetated landscaping (rather than hardstand), including 10% of the site for deep planting areas.</p> <p>Editor's note-landscaping that is not deep planting areas can be located in communal open space areas.</p> <p><b>AO29.2</b></p> <p>A 2m wide landscaped area is provided along the length of any public road frontage.</p> <p><b>AO29.3</b></p> <p>Development provides:</p> <ol style="list-style-type: none"> <li>(1) a minimum 1m wide planted landscaped area on a side boundary where a driveway, or a ground level open parking area, is located adjacent the boundary; and</li> <li>(2) an extended landscaped area of a minimum of 1.5m for every 5m of driveway length.</li> </ol>
<p><b>PO30</b></p> <p>Deep planting areas are provided that:</p> <ol style="list-style-type: none"> <li>(1) are located to retain or establish significant trees to soften the built form;</li> <li>(2) are co-located with communal open space, street trees or deep planting areas on adjoining properties;</li> <li>(3) are accessible to provide informal recreation spaces for residents;</li> <li>(4) are of sufficient size and dimension to support the retention or establishment of significant trees that at maturity complement the scale and height of the built form;</li> <li>(5) are open to the sky with access to light and rainfall;</li> <li>(6) are maintained exclusively for landscaping, with no underground development or infrastructure;</li> </ol>	<p><b>AO30.1</b></p> <p>Deep planting areas are located:</p> <ol style="list-style-type: none"> <li>(1) within boundary setbacks to soften the built form as viewed from the street and adjoining properties;</li> <li>(2) to retain significant trees; and</li> <li>(3) to co-locate with communal open space, street trees or deep planting areas on adjoining properties.</li> </ol> <p><b>AO30.2</b></p> <p>Deep planting areas are:</p> <ol style="list-style-type: none"> <li>(1) a minimum of 10% of the site;</li> <li>(2) a minimum unobstructed dimension of 4m in any direction; and</li> <li>(3) completely open to the sky.</li> </ol> <p>Editor's note-the deep planting area acceptable outcome for a minimum of 10% of a site is part of the overall minimum 20% landscaping for a site rather than in addition.</p>

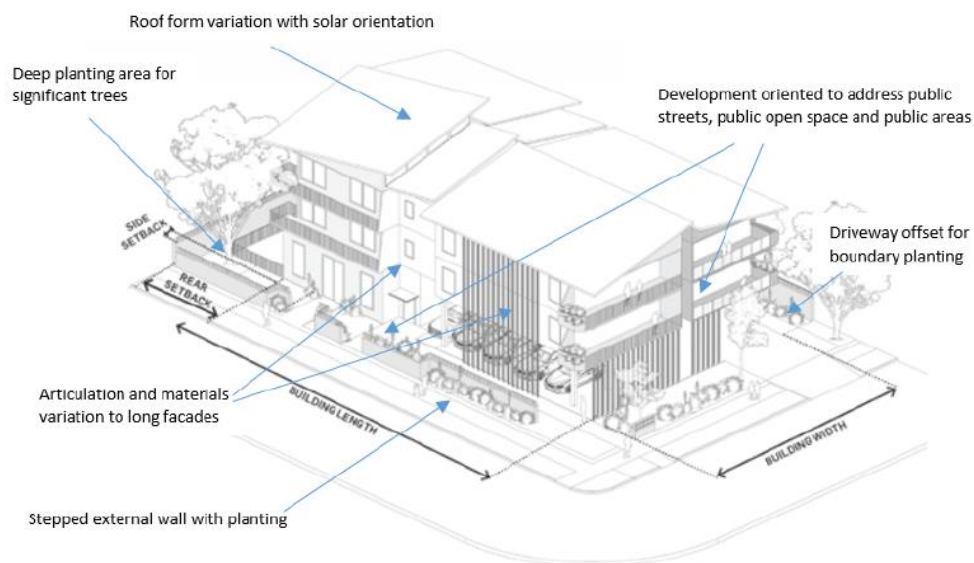
Performance outcomes	Acceptable outcomes
<p>(7) reduce urban heat island effects by improving the micro-climate; and</p> <p>(8) provide water quality and quantity benefits from the natural filtration of rainfall into the ground.</p>	<p><b>AO30.3</b></p> <p>Deep planting areas are exclusively for landscaping and do not contain:</p> <ol style="list-style-type: none"> <li>(1) driveways, manoeuvring or hardstand areas and pedestrian paths;</li> <li>(2) surface structures and infrastructure such as water tanks or utilities; and</li> <li>(3) sub-surface structures or infrastructure such as basement car parking and water supply or wastewater infrastructure.</li> </ol>
<p><b>PO31</b></p> <p>Development minimises impacts on surrounding residential amenity and provides a high level of on-site amenity for occupants, having regard to noise, odour, vibration, air or light emissions.</p>	No acceptable outcome is nominated.
<p><b>PO32</b></p> <p>Siting and design achieves a high level of amenity for occupants by minimising impacts from noise generating areas, such as streets, driveways, car parking areas, service areas, private and communal open space areas and mechanical equipment.</p>	No acceptable outcome is nominated.
<p><b>PO33</b></p> <p>Development minimises the extent of shadows on useable private open space or public spaces and provides adequate sunlight to habitable rooms on the site and adjoining.</p>	<p><b>AO33.1</b></p> <p>Solar access to habitable rooms and private open space of dwellings:</p> <ol style="list-style-type: none"> <li>(1) is not less than 3 hours between 9am and 3pm on June 21; or</li> <li>(2) where existing overshadowing by building and fences is greater than this, sunlight is not further reduced by 20%.</li> </ol>
<p><b>PO34</b></p> <p>Waste and recycling container storage areas:</p> <ol style="list-style-type: none"> <li>(1) for apartment development are located within the building footprint;</li> <li>(2) provide an accessible location for residents and waste collection;</li> <li>(3) are not be visible from street and other public spaces;</li> <li>(4) mitigate adverse amenity impacts in terms of odour, noise and visual impacts on residents on-site and residents of adjoining properties.</li> </ol>	<p><b>AO34.1</b></p> <p>Waste and recycling container storage areas are:</p> <ol style="list-style-type: none"> <li>(1) located within the building footprint for an apartment development;</li> <li>(2) co-located in car parking areas, in a basement or at ground level;</li> <li>(3) separated from open space areas on-site and on adjoining properties;</li> <li>(4) screened or enclosed;</li> <li>(5) integrated into the building design, using similar material and finishes; and</li> <li>(6) well ventilated.</li> </ol>
<p><b>PO35</b></p> <p>Development site layout and design enhances and complements the character of the surrounding neighbourhood and responds to the topography, natural values and development constraints by:</p>	<p>No acceptable outcome is nominated.</p> <p>Editor's note—Applicants will also need to have regard to any relevant overlays applicable to the development site.</p>



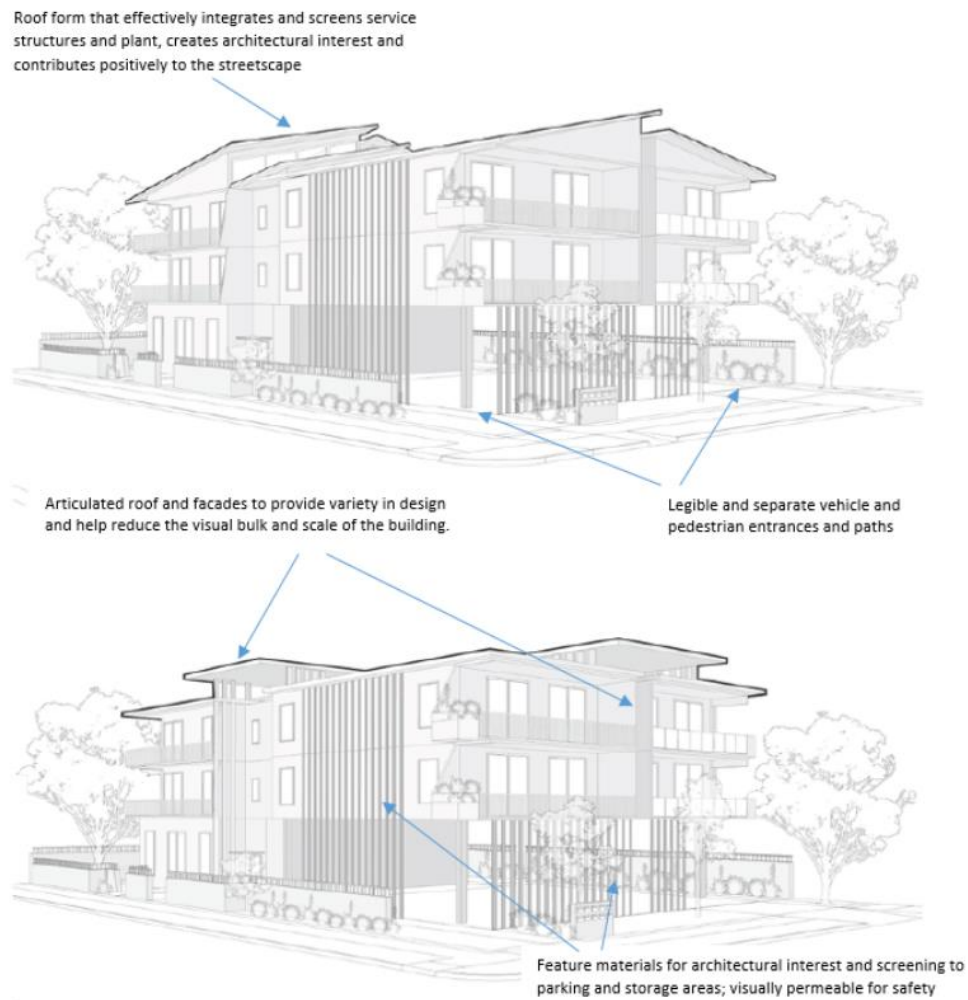
Performance outcomes	Acceptable outcomes
<p>(1) integrating into the surrounding residential neighbourhood;</p> <p>(2) providing an attractive and interesting streetscape;</p> <p>(3) taking advantage of the site's natural features like views, vistas, existing vegetation and landmarks;</p> <p>(4) minimising and mitigating impacts on ecological corridors and native vegetation; and</p> <p>(5) minimising alteration to natural topography and drainage lines.</p> <p>Editor's note-this performance outcome can be met through submission of a design concept that demonstrates the design process and includes:</p> <p>(1) site and neighbourhood analysis;</p> <p>(2) building design criteria/principles informed by an opportunities and constraints analysis; and</p> <p>(3) an outline of how the layout and design responds to the site, streetscape, surrounding neighbourhood and natural values constraints.</p>	



**Figure 6.2.5.3.5 -front boundary setback to balcony and wall**



**Figure 6.2.5.3.6 —building design and streetscape.**



**Figure 6.2.5.3.7 — design, materials and roof form.**

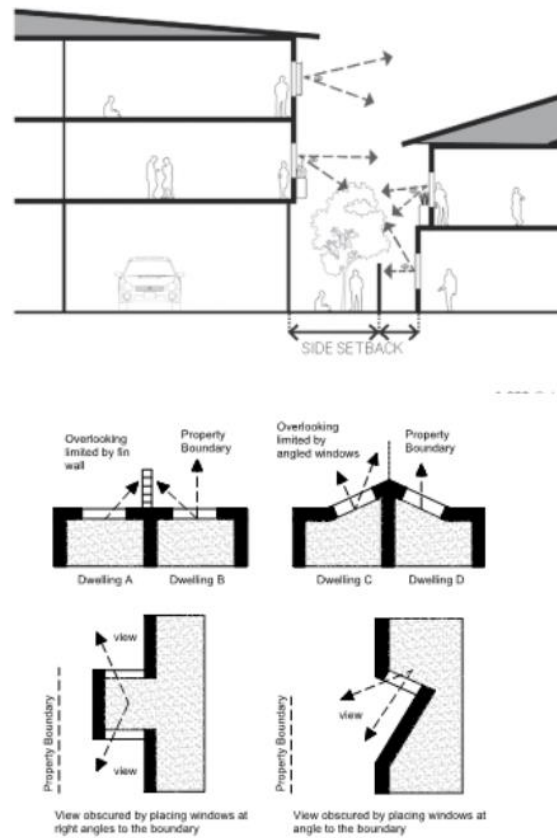


Figure 6.2.5.3.8 —privacy between dwelling units.

### 9.3.4 Reconfiguring a lot code

#### 9.3.4.3 Reconfiguring a lot code – Specific benchmarks for assessment

##### SC1.1 Table 9.3.4.3.1 – Benchmarks for assessable development

Reconfiguration for a townhouse	
<p><b>PO52</b></p> <p>Reconfiguration of a townhouse development to establish freehold lots only occurs where:</p> <ol style="list-style-type: none"> <li>(1) the townhouse development is designed to be freehold titled by ensuring:               <ol style="list-style-type: none"> <li>(a) the townhouse development remains in compliance with the development approvals following reconfiguration;</li> <li>(b) each townhouse remains a self-contained residence following reconfiguration;</li> <li>(c) that dependant activities of the development are not separated by freehold titling;</li> </ol> </li> <li>(2) the lots are created following construction of the townhouses;</li> <li>(3) equitable sharing and ongoing maintenance of any shared facilities or infrastructure is established like waste collection, water meters.</li> </ol> <p>Editor's note- material change of use and reconfiguration applications should be submitted together to allow concurrent assessment.</p>	<p>No acceptable outcome is nominated.</p>

## SC1.2 Administrative definitions

**Table SC1.2.1 Additional administrative terms and their definition**

Column 1 Administrative term	Column 2 Definition
Articulation	The treatment of a building form or façade that creates or contributes to visual character and an active frontage. Articulation may include: <ul style="list-style-type: none"> <li>- vertical and horizontal detail and/or projections</li> <li>- variations in colours, materials, patterns and textures</li> <li>- architectural elements such as openings, entry statements, directional signage, exposure of fittings, distinction between levels of a building, awnings, planters, balconies and stepping of built form</li> </ul>
Apartment Development (Multiple Dwelling)	The use of a premises for three or more dwelling units in a building that: <ul style="list-style-type: none"> <li>- is two or more storeys in height</li> <li>- has a common foyer entrance</li> <li>- has communal facilities including outdoor spaces, car parking and waste storage areas</li> </ul>
Building envelope	The three-dimensional extent of where a building and associated structure may be built on a site after consideration of assessment criteria for building height, front, side and rear boundary set-backs, any height transitions and other assessment criteria.
Building footprint	The two-dimensional extent of built development, including balconies, covered private outdoor living areas and enclosed spaces but excluding the part of a building or structure that is: <ul style="list-style-type: none"> <li>- an eave or a roof; or</li> <li>- a sunhood or the like attached to the wall of a building or structure to provide shade or shelter to the wall.</li> </ul>
Deep Planting Areas	Areas open to the sky for the retention of existing native trees or the introduction of native trees that at maturity will complement the scale and height of the built form that: <ul style="list-style-type: none"> <li>- are in soil profile of sufficient supporting volume for the native trees to be retained or established;</li> <li>- are used exclusively for native trees and other landscaping;</li> <li>- do not contain driveways, manoeuvring or hardstand areas or surface structures like water tanks and utilities; and</li> <li>- do not contain sub-surface structures or infrastructure, like basement car parking or wastewater infrastructure.</li> </ul>
Townhouse Development (Multiple Dwelling)	The use of a premises for three or more dwelling units that: <ul style="list-style-type: none"> <li>- does not have a dwelling above or below it</li> <li>- has individual dwelling unit entrances</li> <li>- has individual car parking and waste storage areas</li> </ul>

## Schedule 6 Planning scheme policies

The table below lists all the planning scheme policies applicable to the planning scheme area.

### SC6.1 Planning scheme policy index

Table SC6.1.1— Planning scheme policy index

Planning scheme policy title
Planning Scheme Policy 1 - Environmental significance
Planning Scheme Policy 2 – Infrastructure works
Planning Scheme Policy 3 – Flood and storm tide hazard
Planning Scheme Policy 4 – Landslide hazard
Planning Scheme Policy 5 – Structure plans
Planning Scheme Policy 6 – Environmental emissions

Planning Scheme Policy 7 – Multiple dwelling design
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### SC6.8 Planning Scheme Policy 7 - Multiple dwelling design

To access Planning Scheme Policy 7- Multiple dwelling design, [click here](#).

#### **SC6.8 PLANNING SCHEME POLICY 7 – MULTIPLE DWELLING DESIGN**



# **PLANNING SCHEME POLICY - 7**

## **MULTIPLE DWELLING DESIGN GUIDE**







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# INTRODUCTION

The aim of Planning Scheme Policy 7: Multiple Dwelling Design Guide (the guide) is to achieve high standard design outcomes for multiple dwellings within Redland City.

The Redland City Plan (RCP) encourages housing diversity and affordability for residents through a choice of housing product and location. This guide intends to help to provide a vibrant, safe and attractive built environment in a landscape setting to address the housing needs of changing demographics into the future. This guide provides design advice across a range of housing products.

## Relationship with the planning scheme

This guide will be used as a reference document to guide good design outcomes to support the criteria for assessable development contained within the Redland City Plan (RCP). The RCP Strategic Framework identifies the various characteristics which make up a series of residential and separate centres zones which provide opportunities for development of various lot sizes, a range of densities and resulting diversity in housing design. The guide principally applies to development of multiple dwellings in the Low medium density residential (LMDR), Medium density residential (MDR) and Tourist accommodation Zones.

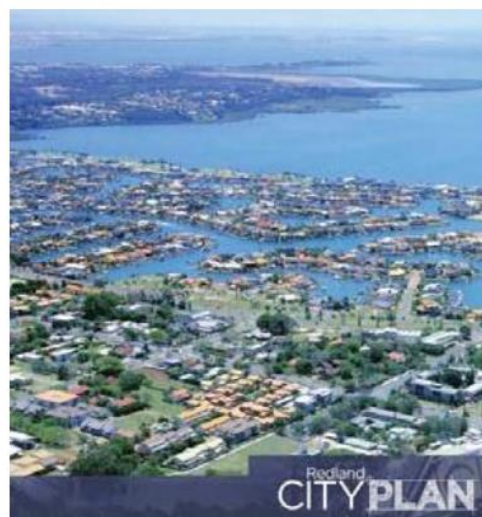
## Definitions

The terms used in the guide are defined in schedule 3, columns 1 and 2 of the *Planning Regulation 2017*.

For clarification a Multiple Dwelling is defined as a residential use of premises involving 3 or more dwellings, whether attached or detached, for separate households.

The guide:

- Explains the relationship to the statutory approval process;
- Provides residential design guidance consisting of a set of principles that are aligned with the Redland City Plan, supplemented by images, diagrams and explanatory text; and
- Outlines information that will ensure a well-made proposal when preparing and submitting a development application for approval.





# DEVELOPMENT APPLICATIONS AND THE ASSESSMENT PROCESS

## PRE-LODGEMENT PROCEDURES

RCC has a pre-lodgement procedure. This guide provides a resource for pre-lodgement discussions. The guide advocates meeting early in the design and planning process to focus on how to achieve the best design outcome for each development site. This is the key to an efficient assessment process.

It is recommended that consideration is given to the provision of information such as a Concept Design Proposal for the pre-lodgement meeting.

Design is a process, not just an end result.

A Concept Design Proposal is intended to explain the analysis, the design evolution and principles on which a development proposal is based.

This should be a combination of diagrams, illustrations, photographs and information. This is usually information which will have been collated by the designer through the design process and therefore should not be onerous.

An initial Concept Design Proposal can be submitted for a pre-lodgement meeting. This would enable the assessment manager to provide an informed initial response to the main issues raised by the proposal.



## WHAT IS A CONCEPT DESIGN PROPOSAL?

The Planning Act sets out the mandatory supporting information for Development Applications.

This guide recommends that consideration is given to the provision of additional information such as a Concept Design Proposal principally based on diagrams, illustrations and photographs.

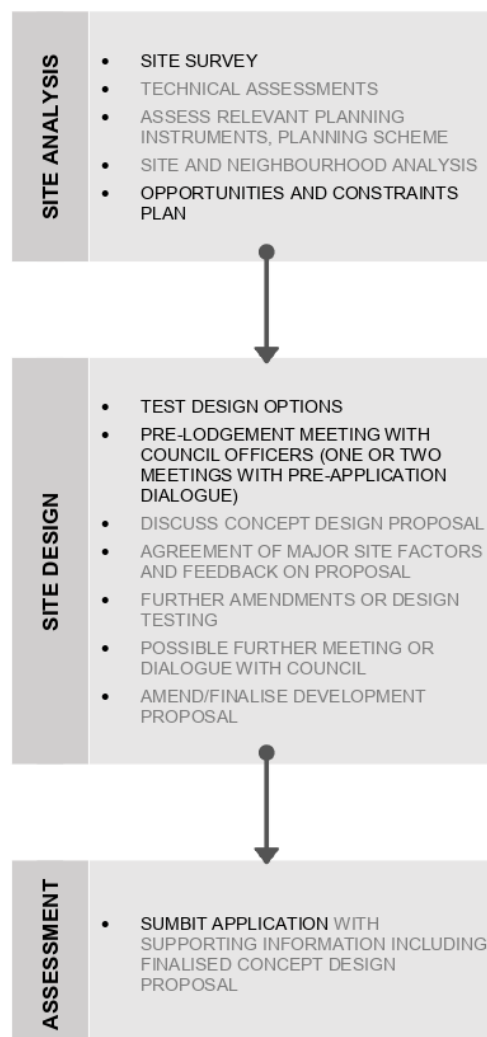
It is recommended that a Concept Design Proposal consists of three parts:

1. A site and neighbourhood analysis.
2. Opportunities and constraints analysis and initial design parameters –  
A summary of the analysis, highlighting the main elements that will inform the initial design parameters.
3. Design testing and response –  
Presentation of the development proposal, outlining how it responds to the site and surrounding area, how various design concepts have been tested, and giving an explanation of the design rationale in the context of the RCP.

## HOW DOES A CONCEPT DESIGN PROPOSAL ADD VALUE TO MY APPLICATION AND DEVELOPMENT?

A Concept Design Proposal is a non-mandatory document but a well prepared one may reduce the need for officers to ask for further information during the application process as it can clearly present the rationale for why design decisions have been made. It can also help to avoid costly amendments to the proposal at later stages and facilitate an expedited assessment process. Furthermore, it can be used as a useful tool for engagement and explanation to residents who may otherwise raise concerns and submissions.

## DESIGN PROCESS



# THE DESIGN PRINCIPLES

## SUBTROPICAL DESIGN

### CONTEXT

South East Queensland is Australia's only sub-tropical metropolitan region. Residents of Redland City enjoy the character and lifestyle provided by its bayside location, parklands and urban and rural settings. As a result, the multiple dwellings within the Redlands should have climatically responsive designs, creating attractive streetscapes within safe and liveable environments.

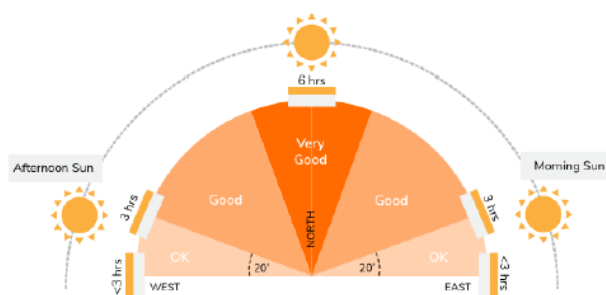
Development in Redlands takes full advantage of the subtropical climate and prevailing coastal breezes through creative and responsive design and orientation. Good sub-tropical design practices and solutions can minimise energy use and environmental impacts.

In the RCP subtropical and climatically responsive design character is described as the use of deep verandahs, decks, and eaves and the integration of buildings within landscape planting.

Trees are a valuable urban asset and a key component of the landscape setting within Redlands, contributing to the visual amenity plus providing environmental benefits. These need to be planned and managed alongside other urban infrastructure.

Materials commonly used in vernacular styles are corrugated metal sheeting and timber weatherboards. Many more contemporary designs and residential building forms have incorporated timber and lightweight materials which complement traditional materials.

### OUR CLIMATE



The hours of sunlight that can be expected in mid winter are directly related to the orientation of the façade. This diagram shows the optimal orientation for habitable rooms and balconies.



## THE TRADITIONAL CHARACTER OF THE REDLANDS

The Design Principles have evolved to guide a contemporary response to the local climate, and promote traditional built form characteristics in the Redlands as displayed in the examples on this page.

Typical traditional characteristics of Redlands streetscape and residential design are:

- Mature street trees
- Buildings orientated to the street
- Dwellings with direct pedestrian access to the street
- Lightweight materials
- Climate responsive design
- Indoor/Outdoor living
- Pitched roof form
- Modulation of facades
- Articulation of entrances and openings.



● Addresses both street frontages ● Multiple roof pitches and varying heights ● Projections and recesses in façade ● Outdoor living – wrap around covered balcony



● First floor projection ● Operable windows maximise natural ventilation and prevailing bay breezes ● Chamfer board wall cladding



● Direct pedestrian access to the street ● Pitched roof with articulated entrance ● Parking under house or behind building frontage ● House set back from road frontage with landscaping/trees contributing to streetscape



● Bull nose roof on verandah ● Timber picket fence ● Light with materials, timber frame and corrugated iron ● Articulated entrance with timber arbour ● Landscape strip along frontage

## FORM AND SCALE

Good design achieves a scale, bulk and height appropriate to the existing or desired future character of the street and surrounding buildings.

An appropriate built form for a site should have regard to building alignments, proportions, building type and articulation.

## BUILDING ENVELOPES

A building envelope is a three dimensional volume that defines the outermost part of a site that the building can occupy.

Building envelopes set the appropriate scale of future development in terms of bulk and height relative to the streetscape, public and private open spaces, and block sizes in a particular location.

Built form provisions are set out in the RCP. Each of the residential zone codes in the Planning Scheme sets out the related Performance Outcomes and Acceptable Outcomes particularly relating to:

- site cover
- building height
- building setbacks.

In addition, the context and characteristics of each site will influence the building envelope.

The Planning Scheme Policies within the City Plan provide additional information and guidance on local planning matters, including technical standards for Infrastructure Works (PSP2). This includes guidance on Landscaping and Waste Management.

The design guide therefore provides supplementary advice to those City Plan code requirements and Planning Scheme Policies.

## THE 7 DESIGN PRINCIPLES

The 7 design principles set out in this Design Guide contain the elements, in particular climatic responsive designs and the creation of attractive streetscapes and liveable and safe environments, which contribute to the Redlands' identity.

The design principles are directly related to Performance Outcomes in the relevant zones in the RCP.

These principles are applicable to all forms of multiple dwellings. Examples are provided for a range of residential lot sizes/configurations and a variety of built forms.

The Design Principles relate to:

1. Street Presence/Built Form/Articulation
2. Solar Penetration
3. Natural Ventilation
4. Open Space
5. Landscaping
6. Access and Parking
7. Servicing.

# 1 – STREET PRESENCE / BUILT FORM / ARTICULATION

## INTRODUCTION

Streetscapes are defined by a combination of public elements (carriageways, kerbs and footpaths) and private elements (street setbacks, fences and building facade). These elements should work together to create attractive streets and public spaces.

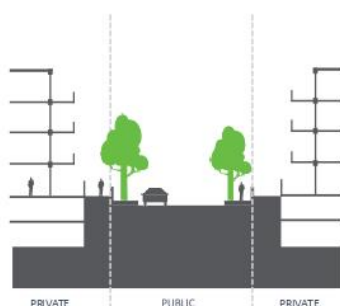
The interaction of the private and public spaces adjoining a building at ground level is critical to delivering successful streetscapes.

Good building façades provide visual interest along the street while respecting, complementing and adding to the character of the local area.

The roof is an important element in the overall composition and design of a building. Good roof design adds to the positive character of an area as an important part of the skyline, while providing for solar power and screened plant/equipment.

## DESIGN CONSIDERATIONS

- Break up the appearance of large buildings by incorporating design elements such as a varied roof form, projections and recesses that reflect the existing streetscape rhythm and scale.
- Articulate elements of buildings to complement the character of the street by using similarly proportioned roof forms, doors, windows or verandahs.
- Make entrances visible and obvious from the street or public thoroughfare.
- Give prominence to key corners through a change in articulation, materials or colour, roof expression or changes in height.
- Develop a colour and materials palette to ensure the look and feel of elements such as letterboxes, fences, balustrades, screens and pergolas integrate with the overall appearance of the building.
- Use a palette of textures, materials, detail and colour that are proportional and arranged in patterns.
- Consider public art or treatments to exterior blank walls.
- Avoid lengths of unarticulated blank walls and monotonous building materials and colour.
- Provide good interaction with streets and public spaces by locating habitable rooms at ground floor level. Upper levels contain terraces and balconies to support passive surveillance.
- Allow for casual surveillance of main pedestrian entrances and communal open space without compromising privacy of dwellings.



Streetscapes are defined by a combination of public elements (carriageways, kerbs, verges and footpaths) and private elements (street setbacks, fences and building facades).



A mixed use building that creates a street presence, with an open aspect which invites access to the commercial floor whilst the residential units have a layered articulation with a palette of materials.



Units address the street with direct pedestrian access which balances openness with privacy.



## 01 STREET LIFE

For townhouse and low rise multiple dwellings, entrances and gardens should be oriented towards streets and public spaces, preferably with direct pedestrian access.

Balconies should face onto and overlook streets and public spaces. Balconies, and appropriate fence height and transparency, allow passive surveillance of the street and a safer neighbourhood.

The repetition of a simple design can often create a rhythm to the streetscape; however, variation of materials, colours and articulation of external elements can avoid monotony and contribute to the architectural vibrancy of a locality.

Pedestrian and vehicular entrances should be separate. Vehicular access, particularly for servicing, and garages should not dominate the streetscape. Higher density housing forms should ideally be developed with vehicle access to the rear where possible, or at least screened from the street to achieve high quality streetscapes.



Buildings address the street. Entrances at both ground floor and above are clearly visible.



This apartment block contributes to the streetscape with projecting balconies and also provides direct pedestrian access for each of the ground floor units.

## 02 CORNERS COUNT

Careful attention to the design of key corners can make a significant contribution to the character of area. The colour and design can create a distinct façade for both front and side elevations on a key corner.

The continuity of the simple materials and colour palette, together with the design of townhouses can flow around the corner.

The use of bold design features adds prominence to the corner.

Key corners may extend to street edges, with taller, more vertical facade treatments.



The continuity of the simple materials and colour palette, together with the design of the townhouse flows around the corner.

### 03 FRONT DOORS AND OPENINGS

Pedestrian entries should be positively reinforced, integrated and transparent. Front entries of buildings should be expressed as feature elements of the building and be obvious without the need for signage. Entrances should have a high degree of passive surveillance and definition.

### 04 FAÇADE DETAILS

Building articulation such as balconies and variation in depth of window reveals provide visual interest to the façade.

Visual interest can be enhanced with a variety of balustrading expressions with solid, glazed, angled, or curved treatments.

Contrasting materials and colours on facades create visual interest, a vertical emphasis and visually reduce the bulk of taller buildings.

### 05 CASUAL SURVEILLANCE

The orientation of living areas and active frontages towards streets and public places increases the level of casual surveillance. This requires a balance between building and landscape design in order to provide adequate levels of privacy while ensuring casual surveillance of public spaces.



Front doors addressing the street.



Balconies can still add outdoor living space and visual feathering at key corners, with a textured and articulated façade to a west facing elevation.



Building articulation, casual surveillance and direct entry to the street, all contribute to the streetscape.



Pedestrian entrance with good visibility and definition.

## 06 ROOFS

Larger buildings should have a distinct roof that:

- breaks down the scale of the building
- relates to the street
- maximises solar access during winter and provides shade during summer.



Articulated roofs throughout the design.

## 07 FENCING AND WALLS

Front fences and walls along street frontages should use visually permeable materials and treatments.

Where fencing is used, ensure a mixture of building materials should be used which complement the design of the buildings. Vegetation screening and planter boxes can also be incorporated into the design to soften the visual impacts of large fence lines.



Pitched roof form and articulation breaks down the scale of an apartment building.



Railings with landscaping provide transparency to the street; the raised aspect provides an amount of privacy.



Fencing materials allow for casual surveillance whilst also maintaining privacy for residents.



## 2 – SOLAR PENETRATION

### INTRODUCTION

Solar and daylight access reduces reliance on artificial lighting and heating, as well as improving energy efficiency and residential amenity. The aim is to maximise solar access and natural light to habitable rooms, primary windows and private open space.

In South East Queensland, sun entry is desirable from mid-April to mid-October. A moveable shade device might, for example, be used on north-facing openings to exclude sun entry from mid-October to mid-April.

Good solar penetration into a building can reduce the need for artificial lighting. Good orientation and exposure to natural light through the use of glass and windows optimises light while minimising heat load.

The use of light wells, atria and skylights to allow the penetration of natural light to common areas of buildings is important in creating attractive and welcoming spaces, especially where access to natural daylight is restricted or difficult to achieve for privacy or other reasons.

### DESIGN CONSIDERATIONS

- Maximise northern aspect dwellings.
- Orientate all habitable room windows, private secluded open space and balconies and courtyards to the north whenever possible.
- Locate living areas to the north and service areas to the south and west where possible.
- Minimise the number of single aspect south facing apartments.
- Consider shallow apartment layouts, two-storey and mezzanine level apartments, which maximise daylight penetration.
- Design common corridors and lift lobbies with natural light.
- Use appropriate building setbacks and separation distances that ensure daylight penetrates all sides of a building.
- Design generous floor to ceiling heights, along with permeable façades that allow natural light to penetrate further into buildings.



Common corridors and stairwell designed to be naturally lit.



North facing balconies and living areas maximise natural light.

## 01 ORIENTATION

The hours of sunlight that can be expected in mid-winter are directly related to the orientation of the facade. The diagram above, under the sub-tropical design section, shows the optimal orientation for habitable rooms and balconies.

Lot and block layout design should facilitate good housing orientation, optimising solar access to inner courtyards during cooler months and the shading potential during the summer months.



Variation in vertical and horizontal screening.

## 02 WINDOWS AND ROOFS

Solar access to apartments can be maximised by angling roofs to the north and east. Hoods and overhangs shade walls and windows from the summer sun.



Dwellings with east facing aspects can also benefit from angled roofs, overhanging eaves and screens.

## 03 LOUVRES AND SCREENS

Screens and louvres are effective elements to assist in sun protection, adjustable screens allow for solar penetration in winter months and block sun during summer months.

Vertical blinds and window hoods are effective for sun management and add aesthetic interest and depth to the facade.



Variation in building depth, hoods, projections and screening provides solar access and effective shading.



This apartment block has a north eastern aspect. The artistic screening provides a distinct identity and gives vertical emphasis to break up the long façade.

## 3 – NATURAL VENTILATION

### INTRODUCTION

Natural ventilation responds to the local climate and reduces the need for mechanical ventilation and air conditioning - increasing energy efficiency, environmental performance and ongoing savings on household energy bills.

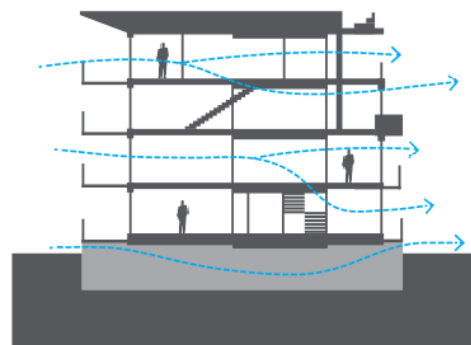
The subtropical climate encourages structures which can be adjusted to suit the weather.

Incorporating operable elements into the building design and layout, such as windows, doors and movable façades and walls, provides occupants greater control over the internal environment while allowing interaction with life and activity on the street.

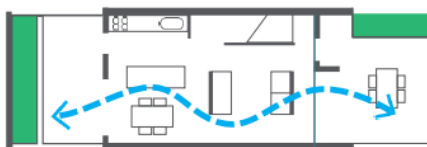
The constant movement of fresh air through buildings and spaces increases indoor health while saving on capital and ongoing costs for mechanically ventilated spaces.

### DESIGN CONSTRUCTION

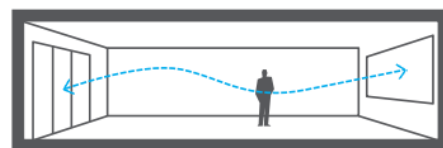
- Habitable rooms with dual orientation are encouraged, to facilitate good cross-ventilation.
- Consider shallow apartment layouts, two storey and mezzanine level apartments.
- Minimise the number of single aspect south facing apartments.
- Design common corridors and lift lobbies with natural light.



Habitable rooms with dual orientation are encouraged to facilitate good cross ventilation.



Cross ventilation in a dwelling.



Higher density apartment blocks may have a narrow floor plan to maximise north facing apartments and cross ventilation.



## 01 CROSS VENTILATION

Habitable rooms with dual orientation are encouraged to facilitate good cross-ventilation. For multiple dwellings, such as apartment blocks, a narrow floor plan can maximise north facing apartments and allow cross ventilation. Dual aspect apartments, with doors and windows that can be opened, maximise natural ventilation.



Dual aspects apartments with doors and windows that can be opened maximise natural ventilation opportunities. Common lift areas have natural light.

## 02 WINDOWS AND ROOFS

Operable windows and openings in façades, oriented towards cooling breezes providing cross-ventilation, allow the passage of daylight and air while reducing unwanted heat transfer.

The placement of these needs to be considered in the context of building setbacks, privacy and adjoining structures.



Shallow apartment block with narrow floor plan maximises cross ventilation.

## 03 LOUVRES AND SCREENS

Screens and louvres help layer façades, providing variety and detail. These elements also allow the flow of breezes through buildings. Larger operable elements such as moveable screens, doors and windows operate to control light, air and privacy and allow seamless transition between indoor and outdoor spaces.



Elevated eaves creates shading and captures cooling breeze plus breeze filtered through screens at entrance and circulation points between the dwelling units.

## 4 – OPEN SPACE

### INTRODUCTION

Private open spaces are outdoor spaces, including gardens, courtyards, terraces and balconies. Because of the important indoor-outdoor connections in a sub-tropical climate, the design, orientation and usability of these spaces are critical. Versatile outdoor living space in multi-residential buildings is vital in a sub-tropical climate, as found in South-East Queensland.

Communal open space allows for casual social interaction for larger multiple dwelling developments. It provides opportunities for internal recreation, landscape and visual relief, and for deep planting to help create pleasant micro climates within large development sites. Communal space also provides opportunities to retain larger trees on development sites.

### DESIGN CONSIDERATIONS

- All dwelling units which have access at ground level should have ground floor private terraces/garden areas.
- Orientation of private open spaces and balconies should predominately be north or east, in order to improve access to warmth and light during the cooler months.



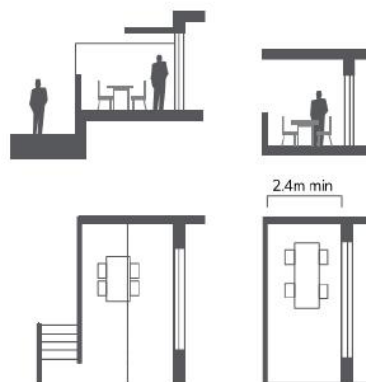
These units benefit from two balconies. The depth of each balcony is sized to suit its function.

- Primary open space and balconies should be oriented with the longer side facing outwards, or be open to the sky to optimise daylight access into adjacent rooms.
- Noisy locations may necessitate different solutions such as enclosed *wintergardens*, balconies with movable walls, bay windows or Juliet balconies.
- Communal open space should be positioned in an accessible location - which can be on roof tops, on podiums or at ground, with passive surveillance. Important design considerations include safety, amenity and durability.

### 01 PRIVATE SPACE AND BALCONIES

Maximum privacy of internal spaces and outdoor areas is highly desirable. Direct overlooking and overshadowing, particularly in the case of two storey buildings, of neighbouring buildings and their private outdoor spaces can be minimised by considering building layout and location, design of windows and balconies, screening devices and landscaping.

Appropriate building and landscape measures such as sensitive window location and avoidance of verandahs on adjoining dwellings facing each other, use of privacy screens, and shade devices and screen planting should be utilised to improve visual privacy.

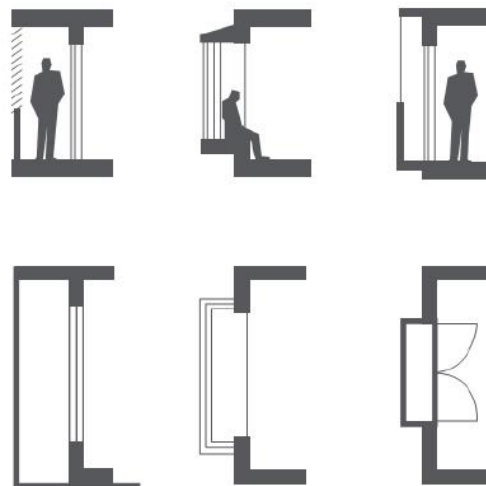


At ground floor, private terraces may be appropriate. The depth of balconies should allow for table and seating to be accommodated.



To achieve privacy the following should be considered:

- Staggering windows to avoid direct outlook to neighbours' private open space, bedrooms and living rooms.
- Avoiding decks and balconies of adjoining properties facing each other across side boundaries. If they do overlook, privacy measures such as sliding panels, louvres or battening should be added.
- In dwellings two storeys and above, having sill heights of at least 1.5 metres above floor level or fixed translucent glazing in any part of the window below 1.5 metres.



Noisy locations may necessitate different solutions such as enclosed wintergardens, balconies with openable walls, bay windows or Juliet balconies.

Balconies are essential to all multi-storey residential development. As a key expression of the built form, they serve a public function as part of the visual expression of a building. They provide opportunities to articulate the façade, helping break up long lengths of wall planes, and can assist in providing shade to façades to reduce heat load.

Most importantly, balconies create private outdoor space for recreation and enjoyment, plus they provide access to natural light, air, views and landscape features. Balconies also provide opportunity for interaction and surveillance of the street and public spaces, and so provide a public expression of the internal function of buildings.

Balconies can vary in shape and size but they need to be of sufficient depth to be useable.

Air conditioning units and other plant equipment should be located on roofs, in basements, or fully integrated into the building design so as to not detract from private open space.



Balconies enhance the amenity and indoor/outdoor lifestyle of residents. Building articulation such as balconies and deeper window-reveals provide visual interest to the façade.



Balconies provide open living areas, sun and breeze is filtered naturally by street trees.

## 02 COMMUNAL OPEN SPACE

Facilities should be provided within communal open spaces and common spaces for a range of age groups. These may incorporate some of the following elements:

- seating for individuals or groups
- barbecue areas
- play equipment or play areas
- swimming pools, gyms, tennis courts or common rooms.

Pedestrian connectivity to key locations is essential to achieving integration with the existing urban fabric. Pedestrian routes need to be safe, well lit and with passive surveillance.



Communal open space with good passive surveillance from surrounding dwellings.



Public open space with facilities in a central and visible position.



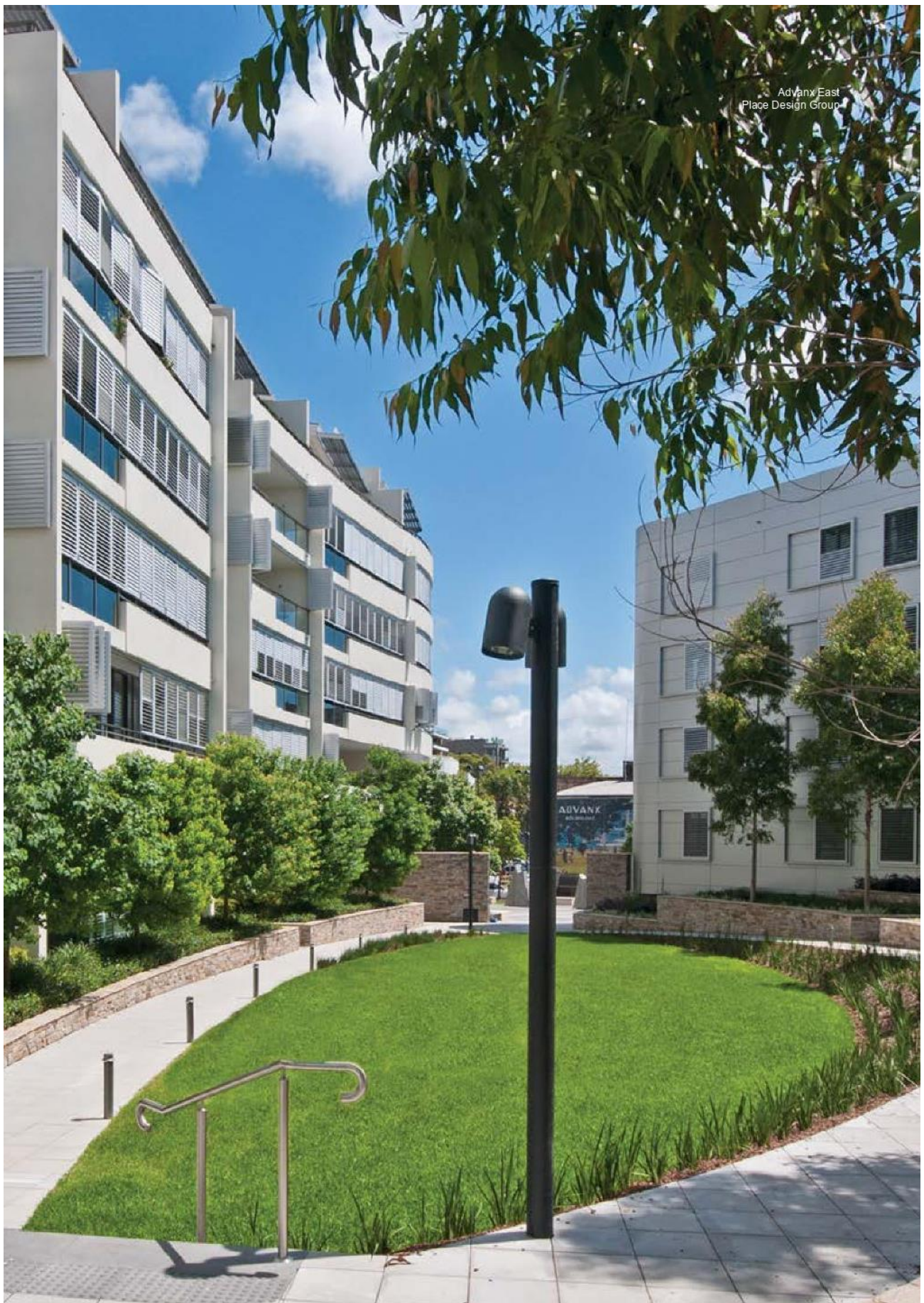
Communal open space raised above a drainage area. Whilst this is not central, a well-lit footpath route runs past the barbecue area, which allows for passive surveillance.



Communal open space in a central and visible position.









## 5 – LANDSCAPING

### INTRODUCTION

Landscaping is a key characteristic of Redland City. Appropriate landscaping reinforces the sense of being in a landscape setting.

'Hard landscapes' is a term used to describe the construction materials used, while 'soft landscapes' refer to ecological components such as grass, shrubs and trees. Both hard and soft landscape design contributes to the building setting.

Landscaped gardens can reflect the sub-tropical environment in which the buildings will stand. The South East Queensland sub-tropical environment is home to a vast array of lush foliage and vibrant plant life.

The street interface is critical both in terms of contribution to the landscaping and in providing safe useable areas through 'crime prevention through environmental design (CPTED)' principles.

Further detail is provided in *Planning Scheme Policy 2 Infrastructure Works*.

### DESIGN CONSIDERATIONS

- Coordinate the design between professional disciplines to ensure the building design and service locations complement the landscape and public domain.
- Retain existing trees/significant vegetation and incorporate them into the design where possible.
- Design street trees and additional planting of appropriate species to form part of the external interface with the public realm.
- Take advantage of existing site conditions such as changes in level and views in designing landscape areas.
- Allow for establishment of deep rooted trees and mature perimeter planting by providing adequate space between site boundaries and building, car park, basement structure and along common driveways.
- Incorporate landscaping, particularly canopy trees, into the design of developments to provide an outlook, privacy, shade and contribution to character, and positive amenity outcomes.
- Ensure tree species and size respond to orientation.
- Avoid narrow landscaping strips on boundaries which are unable to accommodate significant plants due to their restricted dimensions.
- Consider permeable ground surfaces that allow rainwater to penetrate the soil to support the healthy growth of trees, protect tree root zones, and treat/reduce storm water run-off.
- Co-locate outdoor building services to maximise the opportunity for substantial landscaping.
- Where appropriate, incorporate opportunities for planting on structures in building designs. Design solutions may include green walls or green roofs, particularly where roofs are visible from the public domain.



Varied hard and soft landscaping with mature planting within the site add character and provide shade.



Existing trees retained on frontage contribute to cooler pathways for breezes entering dwellings.

## 01 EXISTING STREET TREES

Existing street trees are a critical part of the urban landscape character of Redland City. Priority will be given to the retention of these trees. They contribute to the visual amenity, provide shade and can filter cooling breezes.

## 02 USE NATIVE SPECIES

The preference is to use local native species in landscaping, to also provide habitat and food resources for local fauna species.

## 03 PLANTING FOR SHADE

Vegetation provides shade, reducing the urban heat island effect and aiding cooling our public spaces. It contributes significant visual amenity and interaction with the natural environment, which has been proven to calm anxiety and contribute to overall health. Large shade trees and landscaping promote cool pathways for breezes entering buildings and contribute to the energy efficiency of buildings especially on western elevations.

## 04 DEEP PLANTING

Deep planting within the development should be provided at both the front and rear. This assists with privacy and separation of buildings. Semi and underground basements need to be setback from front and rear boundaries to allow the growth of canopy trees over time.

Similarly, planting adjacent any retaining walls will assist in softening the visual impact of these walls.



Poinciana are a notable part of the character of the Redlands.



Deep planting in front setback assists with shade and cooling environment for the apartments.



Extensive landscaped areas both facing the frontage plus within the site.



## 6 – ACCESS AND PARKING

### INTRODUCTION

Managing the location of car parking is important for a positive impact on streetscape character, pedestrian access and amenity. The location, type and design of vehicle access points can have significant impact on the streetscape, the site layout and the building façade design.

High quality materials should be used for hard surfaces, particularly for main accesses and key spaces, to maximise the lifespan of the materials and minimise maintenance costs. Materials can be used to indicate different functions and activities – for example paving slabs to pedestrian areas and blocks/sets to shared surfaces and carriageways.

- Use varied materials for access roads to punctuate and visually shorten their length.
- Change in surface materials can also act as a traffic calming device.
- Design bicycle storage and visitor car parks to be practical, safe and easily accessible from the main public thoroughfare.
- Ensure visitor parking is legible and identifiable from the vehicular entrance.

### DESIGN CONSIDERATIONS

- For apartments, design at grade and semi-basement car parks to be sleeved (hidden) behind ground floor units.
- When designing car parking basement areas, provide adequate ground level site boundary setbacks to allow substantial landscaping such as canopy trees with deeproots.
- Avoid providing hard standing areas (including for visitors) for parking forward of the building line.



Shared surface clearly delineated by materials and markings.

### 01 ACTIVE TRANSPORT

A key way to influence behaviour is to integrate active transport facilities, such as cycle centres and 'end of trip facilities' into the fabric of our towns and its buildings. Their addition contributes to active, healthy lifestyles and can improve occupant productivity - while reducing carbon emissions and traffic congestion.

Bicycle or other personal mobility device parking should be secure and easy to access from common areas, for example near entry/exit points of a site to make it convenient for users.



Parking integrated into the building design. Varied materials for access road punctuates and visually shortens the length of the access road. Change in materials can act as traffic calming.

## 02 ACCESS AND DRIVEWAYS

In general access-ways should not visually dominate the form of development.

Access driveways should have limited views by placement of building, staggered road alignment, planting and landscape treatment and varied materials. These elements can also visually shorten the length of the access road.

A change in materials and the use of consistent materials for pedestrian and vehicular spaces can act as a traffic calming device.

For apartments, the impact of vehicle access points can be minimised by locating them on secondary/rear frontages.



Shared access with garages set back beneath housing helps to reduce the footprint of car parking at ground level and visual impact.

## 03 ONSITE PARKING

For apartments, basement and semi basements are the preferred treatment for car parking areas. These should be contained within the building line to enable deep planting areas to occur in setback areas. Natural ventilation must be provided to basement and sub-basement car parking areas.

Ventilation grills or screening devices for car parking openings should be integrated into the façade and landscape design.



For apartments, the impact of vehicle access points can be minimised by locating them on secondary/rear frontages.



At grade car parking is behind the building line and does not dominate the streetscape.



Staggered building alignment and landscaping reduces the visual impact of the internal road.



## 7 – SERVICING

### INTRODUCTION

Multiple dwellings have intensive servicing requirements (energy, boosters, pumps, waste, water, telecommunications, basement ventilation, etc.). Servicing requirements need to be considered as an integral part of the initial design to produce effective outcomes.

Waste areas and services should be screened to ensure they do not dominate the streetscape. Common waste collection facilities should be located in areas easily accessible by both residents and municipal waste collection vehicles. Storage areas can be co-located in garages, allocated car parking areas or incorporated into the building design.

Early liaison with RedWaste will assist in achieving site-specific solutions for waste collection in order to limit the need for HRV's to enter the site. Service and vehicle entries are best located off secondary side streets.

For larger developments where a waste collection vehicle needs to access internal streets or basement car parking, use the smallest waste vehicle possible to reduce heights and space required for turning paths.

Further detail on waste collection is provided in *Planning Scheme Policy 2 Infrastructure Works*.



Waste storage and services are screened and use similar materials to the fencing to help blend with overall design.

### DESIGN CONSIDERATIONS

- Screen waste collection, loading and servicing areas.
- For larger developments, where a waste collection vehicle needs to access internal streets or basement car parking, design for the smallest waste vehicle possible, to reduce heights and space required for turning paths.
- Minimise visual impact of services, including location of ventilation duct outlets from basement car parks, electrical substations and detention tanks.
- Integrate lift wells and other building services into the overall design.
- Design services and plant to be easily accessible for maintenance but to blend in with the overall design.

### 01 REFUSE STORAGE

Waste storage and services should be screened with similar or complementary materials to the overall design.

Storage areas should be well ventilated. Their design and location should be visually consistent with the finishes and materials of the rest of the development.

Screened enclosures are preferably not within the front building setback



Services and plant discreetly housed near mail boxes.





Services and plant need to be easily accessible for maintenance but can be designed to blend in with overall design and simple palette



The service boxes visually blend with the colour palette and the landscaping will mature to soften the appearance of the services.



Plant and services screened but still allows for easy access for maintenance and inspection. Services screened to blend in with overall design and simple palette of colours of building.



Service boxes integrated into the colour palette of the scheme.



Multiple services screened within the design.



Refuse storage located within the site and with screening and good ventilation.

# TYPOLOGIES

## EXAMPLES OF SITE SOLUTIONS

The following are examples of site configurations for multiple dwellings within Redland City Council.

These examples provide illustrations of how elements from the Design Principles can be incorporated to address the particular constraints that each format of site commonly raises. These are not intended as templates for each configuration as each site should respond to its context.

### 1. MULTIPLE DWELLINGS ON A NARROW LOT – LOT SIZE 20m x >50m (MDR ZONE)

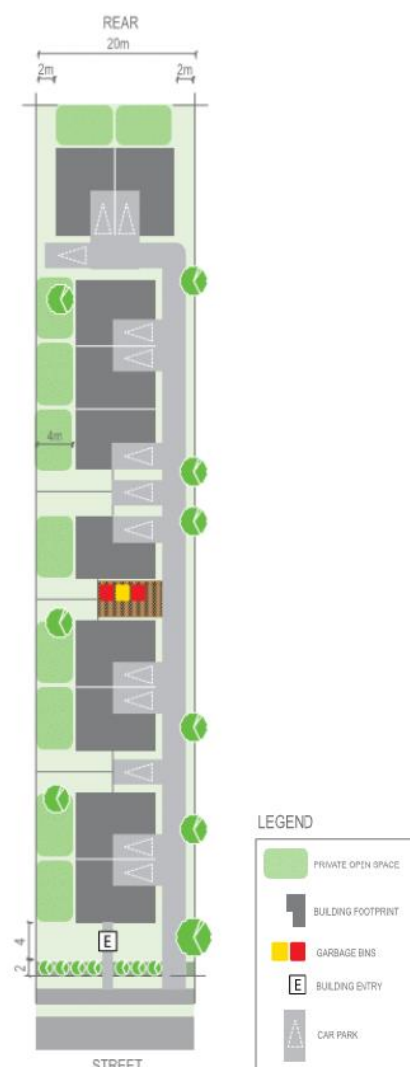


Figure 1: The access road has been positioned to the west of the buildings so that the private side alfresco/courtyards and living spaces for the units can benefit from natural light and ventilation from the north and east.



Figure 2: Building façade articulation, varied skillion roof form and mixed material fencing provide interest to the street. The complementary material and colour palette of the built structures are softened by vegetated landscaping. The street interface could be improved by lower fencing, or increased transparency in the fencing.



Figure 3: Landscape scheme softens the appearance of the gun barrel access plus the placement of the end units act as a visual stop point.

## 2. MULTIPLE DWELLINGS ON LOT SIZE 40m x 40m (MDR ZONE)

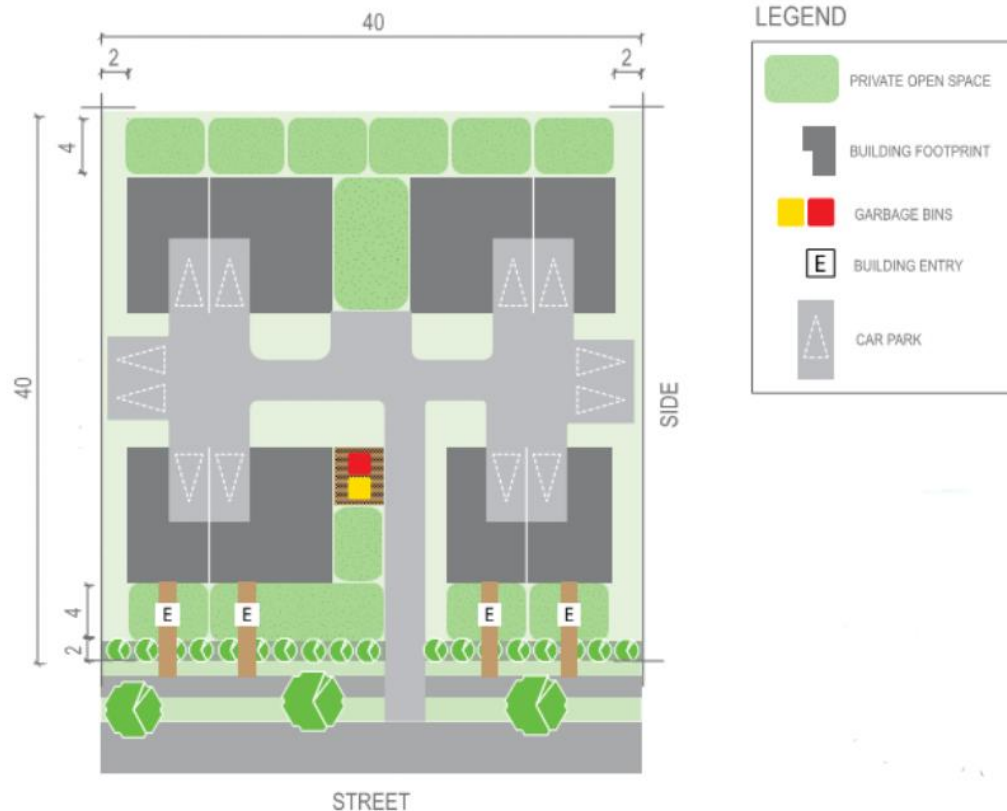


Figure 4: Varied depth of façade and articulation of roof line together with the cohesive palette of brick, render and light weight cladding creates an interesting streetscape.



Figure 5: Each frontage unit has direct pedestrian access to the street. Combination of timber fencing and metal railing allows for privacy to courtyards plus transparency for access.



Figure 6: Parking, bin storage and services are discretely located behind the building to improve the visual appearance of the development from the street.



### 3. LARGER MULTIPLE DWELLING DEVELOPMENT (20 UNITS) WITH COMMUNAL OPEN SPACE AREA (LMDR ZONE)



Figure 8: Entrance to site has a strong landscape setting. The varied paving materials throughout the site define the shared surface and encourage a low speed traffic environment.



Figure 7: The site is arranged in a rectangular format, the house patterns display a variety of projections and articulation, and the garages are generally recessed so as not to dominate the street.



Figure 9: Communal open space offers privacy but also benefits from passive surveillance. There are three areas of communal space in this development to cater for differing settings.

#### 4. MULTIPLE DWELLINGS – MID RISE APARTMENT BLOCK SIX-STOREYS (MDR ZONE)

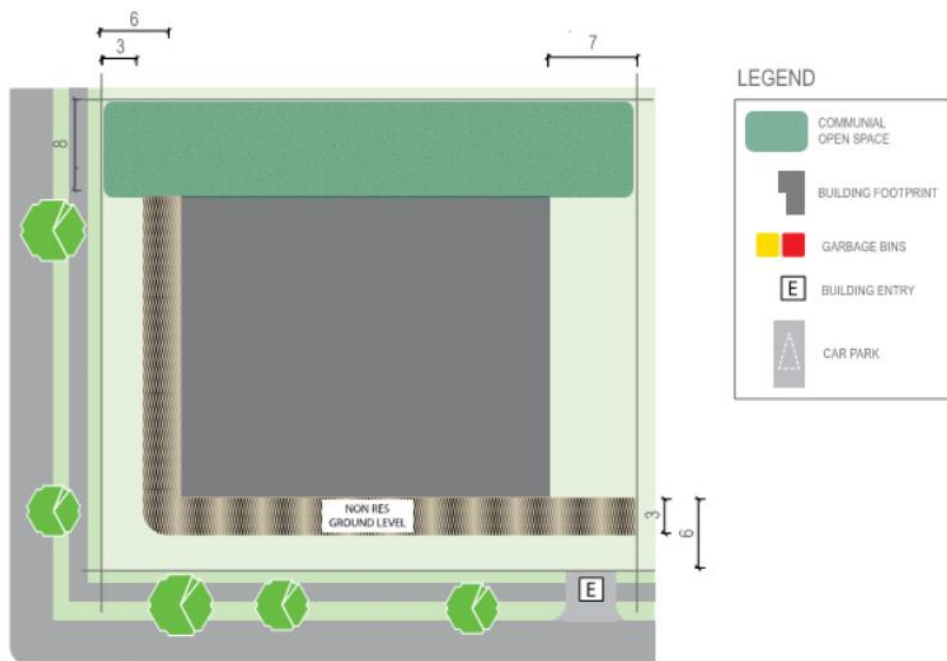


Figure 10: Design includes lattice operable screens, prominent vertical columns, composite timber cladding to the walls and exposed eaves. All units have private open space that achieves natural light. Each unit has dual aspect to promote cross ventilation.



Figure 12: Both the ground floor residential and commercial spaces activate the streetscape. The frontages are articulated and the variation of materials, colour and textures create an attractive façade.



Figure 11: Vehicular access is provided off the secondary road frontage. Car parking is mostly within the basement, with visitor parking in undercroft. Services are screened and incorporated into the overall design.



## REFERENCES AND RESOURCES

Council of Mayors (SEQ) Revision 2 – May 2012,  
Model Planning Scheme code, Queensland

Council of Mayors (SEQ) 2011, Next Generation  
Planning, Queensland

## CONTACT US

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Information on applying for planning and building  
permits, including checklists and forms, is  
available at [www.redland.qld.gov.au](http://www.redland.qld.gov.au)

## DISCLAIMER

1. This guide has been prepared to help improve the quality, design and sustainability of residential development.
2. The examples/illustrations used in this brochure are sourced from inside and outside of the Redland City Council municipal area for the purpose of illustration only.
3. A development application copying or recreating any design from the examples/illustrations in this brochure does not guarantee approval of the application. Each proposal is assessed on an individual basis.







### 14.3 ARTIFICIAL WATER BODIES, BUFFER WIDTHS AND RECONFIGURING A LOT IN THE RECREATION AND OPEN SPACE ZONE

**Objective Reference:** A5514205

**Authorising Officer:** Louise Rusan, General Manager Community & Customer Services

**Responsible Officer:** David Jeanes, Group Manager City Planning and Assessment

**Report Author:** Dean Butcher, Strategic Planner

**Attachments:** 1. Minutes of General Meeting (21 April 2021) [↓](#)

#### PURPOSE

To examine the need for potential amendments to City Plan in regard to:

1. Assessment benchmarks for artificial water bodies and buffers to waterways (for the purpose of flood protection).
2. The categories of development (levels of assessment) for reconfiguring a lot located within the Recreation and Open Space Zone.

#### BACKGROUND

On 21 April 2021, Council resolved to require Council officers to undertake the following:

1. To prepare a report to Council by the end of July 2021 which:
  - a) Provides options and recommendations related to assessment benchmarks in the City Plan for artificial waterbodies and buffers to waterways (for the purposes of flood protection).
  - b) Evaluates the pros and cons of making reconfiguring a lot impact assessable where all land within the Recreation and Open Space zone is not proposed to be contained within a single lot.
2. To prepare a major amendment as part of the next general amendment package, pursuant to Part 4 of the Minister's Guideline's and Rules under the *Planning Act 2016*, if required, incorporating the proposed changes to City Plan as supported by Council.

This report contains an assessment of matters outlined in the resolution and accordingly, has been broken into two parts: 1a and 1b.

#### ISSUES

##### **Part 1a: Options and recommendations related to assessment benchmarks in the City Plan for artificial waterbodies and buffers to waterways (for the purposes of flood protection).**

The background information included in the Notice of Motion (NoM) that led to above resolution, provided at Attachment 1, asserts the following:

- A. Subsidence is occurring on a number of lots that have been previously filled.
- B. Riparian buffers need to be increased to 200m each side of creek lines and freshwater bodies – larger areas have higher habitat values.

- C. Old farm dams with significant ecological values are being removed unnecessarily:
- Ecological reports which support the removal of old farm dams downplay their importance in providing habitat for wildlife.
- D. Council should not allow development in flood risk areas or ensure flood risks are appropriately mitigated. Furthermore, Council should update its flood risk mapping.
- E. New development is causing flooding (due to changed flow patterns), seepage and water quality issues (e.g. through sedimentation).
- F. Establishing wide corridors near core areas, free from edge effects, will enable native species to survive.

In the ensuing sections of this report, each of the abovementioned matters will be considered and addressed with regard to the existing provisions in City Plan.

A. Subsidence is occurring on a number of lots that have been previously filled

Put simply, subsidence refers to a process whereby land sinks to a lower level. In this context, background information supporting the NoM makes reference to subsidence that had occurred in a residential area previously subject to backfilling.

While City Plan allows for up to 750mm of filling to occur as accepted development in a residential zone<sup>1</sup> (i.e. it does not require a planning approval), any filling proposed to be undertaken as part of a reconfiguration or within an area mapped by the following overlays is code assessable:

- Flood or Storm Tide Hazard Overlay (Flood Prone Area sub-category only); or
- Coastal Protection (Erosion Prone Area) Overlay; or
- Waterway Corridors and Wetlands Overlay (WCWO); or
- Environmental Significance Overlay (ESO).

In such cases, the impacts of filling are considered through a planning application, which is assessed against the Healthy Waters and Infrastructure Works codes. These codes contain provisions which, amongst other things seek to ensure filling uses appropriate material and is compacted to the required specification (e.g. by being undertaken in accordance with Australian Standard AS3798 – 2007).

While it is possible for a dwelling house, which is accepted development (i.e. without a planning approval) in the Low density residential (LDR) zone, to be constructed in an area that has been filled without a planning approval, the construction of the dwelling will be regulated through a building application. In approving a dwelling house, the building application must amongst other matters assess the stability of the structure, considering soil type and landform characteristics, and conversely, the impact of the structure on the stability of the land. This process, which occurs outside City Plan, ensures structures such as dwelling houses are designed and constructed to avoid potential impacts caused by soil subsidence.

*Officer analysis: (A. Subsidence)*

Based on feedback provided by Council's Engineering Assessment Team, the existing provisions within City Plan are considered to be appropriate and no further amendments are recommended.

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<sup>1</sup> Where satisfying the qualifying criteria in the Table of Assessment for Operational Work

B. Riparian buffers need to be increased to 200m each side of creek lines and freshwater bodies – larger areas have higher habitat values

Provisions relating to riparian buffers are contained within the Waterway Corridors and Wetlands Overlay (WCWO) code, with relevant extracts shown below. Furthermore, the spatial extent of the associated overlay map covers areas based on buffer distances and stream order, consistent with Table 8.2.11.3.1 (e.g. the overlay will cover areas within 50m each side of a waterway classified as 'stream order 5').

The background information supporting the NoM suggests increasing riparian buffer widths to 200m, regardless of stream order. While the intent is well understood, the scientific rationale for using this distance has not been provided and the practical implications of seeking to establish a significantly larger riparian buffer requires further consideration. Given the overlay was constructed using the buffer distances reflected in Table 8.2.11.3.1 of the WCWO code (i.e. with a maximum 50m from the defining bank), using a larger distance would result in a significant number of additional properties being triggered for assessment against City Plan. Take for instance native vegetation clearing proposed to be undertaken within 200m of relevant waterway and covered by the ESO. In this example, all such clearing would trigger code assessment, impacting a significant number of properties within both the urban and rural parts of the City. In this regard, the increase in riparian buffer widths to 200m, regardless of stream order, would impact on a significantly larger number of properties than is currently being considered as part of the proposed Wildlife Corridor Plan major amendment (within the urban footprint).

This outcome may be considered unnecessary and unreasonable, given the nominal riparian buffers widths currently in City Plan are generally within the ranges specified by other South East Queensland Local Government Areas, as outlined in the table below:

Local Government Areas	Nominal Riparian Buffer Width for Waterways	Source
Moreton Bay Regional Council	20 – 50m	Moreton Bay Regional Council Planning Scheme
Brisbane City Council	20 – 30m	Brisbane City Council Planning Scheme
Sunshine Coast Council	10 – 25m	Sunshine Coast Planning Scheme
City of Ipswich	30 – 40m	Ipswich Planning Scheme
Noosa Shire	10m	Noosa Shire Planning Scheme
Somerset Regional Council	25 – 100m	Somerset Region Planning Scheme

If the intent is to mandate a 200m buffer width, it must be understood that the State Government has made it clear in previous feedback provided to Council (e.g. when it proposed to mandate a minimum lot size of 400m<sup>2</sup> in the LDR zone), that such amendments where wholly prescriptive are inconsistent with the performance based planning system. In this regard, it is unlikely that the State would view such an amendment favourably.

Another option would be for Council to consider increasing the riparian buffer requirements listed in column two of Table 8.2.11.3.2 of the Waterway corridors and wetlands overlay code, as well as increasing the spatial extent of the overlay map, as discussed above. However if the buffer distance is too onerous, it is unlikely a development proponent would adopt the acceptable outcome. Instead, it is likely that a development application would seek to demonstrate achievement of the associated performance outcome (PO), supported by analysis undertaken by a suitably qualified professional. If Council were to pursue this option, it must be understood that

there are cost implications associated with preparing the necessary technical reporting and as discussed previously, such costs would potentially be incurred by a large number of landowners and developers due to the significantly increased spatial coverage of the WCWO. This would also trigger code assessable applications for the clearing of any native vegetation within the mapped area of the WCWO where identified as matters of local environmental significance (MLES) or matters of state environmental significance (MSES) under the ESO.

Strategic planning officers have consulted with Council's Environmental Assessment Team (EAT) and their position is that the relevant provision (PO2) within the WCWO code, as outlined below, is appropriate. On this basis no changes are recommended in relation to increasing the mandated or nominal riparian buffer widths in the WCWO code. However, both the EAT and Planning Assessment Team agree that PO8 (also outlined below) could be improved to place a definitive, not optional, obligation on a development proponent to achieve the outcomes listed. This is because the existing assessment provisions contain wording such as 'wherever possible', potentially resulting in an applicant putting forward a case that achieving the performance outcome is not possible on the basis of cost/practicality. This outcome is not ideal, as it would undermine achievement of the code's purpose.

### 8.2.11.3 Waterway corridors and wetlands overlay code (relevant extracts)

**Table 8.2.11.3.1—Benchmarks for assessable development**

Performance Outcomes	Acceptable Outcomes
<b>For assessable development</b>	
<b>PO1PO2</b> A riparian buffer is maintained along and around waterways and wetlands that is vegetated, development free, and is of a sufficient width to: <ol style="list-style-type: none"> <li>(1) Protect water quality;</li> <li>(2) Protect the stability of stream bank and bed;</li> <li>(3) Allow for natural hydrological and geomorphological processes;</li> <li>(4) Minimise erosion;</li> <li>(5) Maintain or achieve healthy water temperatures and in-stream conditions; and</li> <li>(6) Support viable wildlife habitat and movement.</li> </ol>	<b>AO2.1</b> A development free, vegetated buffer area is provided in accordance with Table 8.2.11.3.2. <b>AO2.2</b> No clearing occurs within the buffer area provided in accordance with Table 8.2.11.3.2.
<b>PO8</b> Development incorporates opportunities for revegetation to enhance stream and habitat condition, biodiversity and wildlife movement wherever possible.	No acceptable outcome is nominated.

**Table 8.2.11.3.2—Minimum buffer distances and riparian vegetation requirements**

Category	Riparian buffer requirements (measured as the distance from the defining banks)
Stream order 3 and 4	25
Stream order 5 and greater	50

*Officer analysis: (B. Riparian buffer widths)*

Amendment option	Officer recommendation
1. Seek to mandate a minimum buffer width of 200m each side of waterways. Incorporate relevant provisions as acceptable outcomes, performance outcomes and overall outcomes within the WCWO code.	Do not proceed with this amendment.
2. Increase the riparian buffer width requirements to 200m in Table 8.2.11.3.2 of the WCWO code.	Do not proceed with this amendment.
3. Redraft provisions within the WCWO code (e.g. PO8) to remove clauses that may enable development proponents to circumvent the outcomes sought. For example, this provision could be reworded as follows:  Development <del>incorporates opportunities for revegetation to enhance</del> facilitates weed removal and results in revegetation that enhances stream and habitat condition, biodiversity and wildlife movement. <del>wherever possible.</del>	Proceed with this amendment.

**C. Old farm dams with significant ecological values are being removed unnecessarily**

The assessment benchmarks relating to stormwater management are primarily contained within the Healthy Waters code. With specific regard to old farm dams, in this context referred to collectively as an 'artificial water body', performance outcome 2 (PO2) reads as follows:

<b>PO2</b>  On-site stormwater management systems do not rely on the retention of existing artificial water bodies, except where such water bodies: <ol style="list-style-type: none"> <li>(1) Perform significant ecological, water quality or recreation functions;</li> <li>(2) Do not pose a significant risk to stream health or water quality;</li> <li>(3) Are structurally sound;</li> <li>(4) Do not pose any risk to community health and safety; and</li> <li>(5) Will not impose a significant maintenance or cost burden on the community in the short or long terms.</li> </ol>	No acceptable outcome is nominated.  Editor's note—Council would generally expect that such waterbodies are not retained as many are currently in poor condition and need substantial remediation. Where an existing waterbody is proposed to be retained as an integral component of water management on the site, an assessment should be done in accordance with Planning Scheme Policy 2 – Infrastructure works. This assessment should be done in conjunction with an ecological assessment report so that conflicts between competing environmental values can be identified and resolved.
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The background information supporting the NoM asserts that in many instances, old farm dams are removed unnecessarily and that in some instances, ecological reporting which supports the removal of dams downplays their ecological significance. Currently PO2, including the associated editor's note in column 2, is drafted with a presumption that artificial water bodies, generally speaking, should be removed. It is worth acknowledging that the existing policy position of City Plan, which indicates a preference to remove farm dams, is a reversal of the presumptive position in the superseded Redlands Planning Scheme 2006. Under the superseded planning scheme, the presumption was for retaining and rehabilitating dams, and this policy intent is espoused in a number of locations throughout the document including the Kinross Road and South East Thornlands Structure Plan Overlay codes, as well as the Waterway, Wetlands and Moreton Bay Planning Scheme Policy.

It is understood in drafting the current City Plan there was agreement across groups in Council that this position should be changed recognising that many farm dams:

- Were constructed without engineering oversight or have become susceptible to failure due to the penetration of root systems into the dam wall, which poses a potential safety threat (i.e. they are not structurally sound or reasonably capable of being made structurally sound).

- Are in poor ecological condition (e.g. they are eutrophic or anaerobic).
- If retained, would likely create a significant ongoing maintenance and or safety burden.

Despite these concerns, it is acknowledged that a number of farm dams may provide important ecological functions. Recognising these circumstances, Council may wish to consider amending City Plan so no implied preference is given in regard to the removal of artificial wetlands. This will ensure a development proponent understands that the removal/retention of a dam will be determined on a case by case basis strictly in accordance with the key outcomes outlined in the performance and overall outcomes.

*Officer analysis: (C. The removal of old farm dams)*

Amendment option	Officer recommendation
1. Retain the existing provisions.	Do not retain the existing provisions.
2. Change the provisions to indicate an inferred preference for retaining artificial waterbodies, as was the case in the former <i>Redlands Planning Scheme 2006</i> .	Do not change the provisions to indicate an inferred preference for retaining artificial waterbodies.
<p>3. Within the Healthy Waters code, change the wording of provisions and editor's note so that there is no inferred preference for removing or retaining artificial water bodies as an element of on-site stormwater management systems. For example, this might occur as follows:</p> <p><b>PO2 On-site stormwater management systems do not rely on the retention of existing artificial water bodies, except where such water bodies</b></p> <p><b>Artificial water bodies are retained as part of on-site stormwater management systems, or for other purposes, where it can be demonstrated that they:</b></p> <ol style="list-style-type: none"> <li>1. perform significant ecological, water quality or recreation functions;</li> <li>2. do not pose a significant risk to stream health or water quality;</li> <li>3. are structurally sound;</li> <li>4. do not pose any risk to community health and safety; and</li> <li>5. Will not impose a significant maintenance or cost burden on the community in the short or long terms.</li> </ol> <p>Editor's note—<del>Council would generally expect that such water bodies are not retained as many are currently in poor condition and need substantial remediation.</del> Where an existing waterbody is proposed to be retained as an integral component of water management on the site, an assessment should be done in accordance with Planning Scheme Policy 2 – Infrastructure works. This assessment should be done in conjunction with an ecological assessment report so that conflicts between potentially competing environmental values, risk and ongoing maintenance can be identified and resolved.</p>	Proceed with this amendment.

- D. Council should not allow development in flood risk areas or ensure flood risks are appropriately mitigated. Furthermore, Council should update its flood risk mapping; and
- E. New development is causing flooding (due to changed flow patterns), seepage and water quality issues (e.g. through sedimentation)

As part of the information package supplied to the Planning Minister seeking formal approval to commence City Plan, a 'Natural Hazards Study and Risk Assessment' was prepared to address the requirements of the State Planning Policy (SPP). The policy response for dealing with flood risks, as espoused in the City Plan and supported by Council at the time, is briefly summarised as follows:

- Where flood zoning intersects with an existing zone that supports further development, regulate impacts through provisions in the Flood and Storm Tide Hazard Overlay (FSTHO) code.
- Development involving the accommodation or congregation of vulnerable sectors of the community is not located within flood or storm tide hazard areas.
- Development is not intensified in areas where the FSTHO covers land that may become a future urban area (e.g. the Emerging Community Zone).

The approach to flood risk management discussed in the background information for the NoM, for the most part, directly aligns with existing policy position of Council discussed above. This is highlighted in the following passage of text:

*'Flood risk management should aim to reduce a community's flood risk to acceptable levels, either by reducing exposure to flooding by prudent land use planning, or by reducing the vulnerability of people and property to flooding' (Attachment 1).*

In this regard, the existing policy framework, as examined through the risk assessment and approved by the State as part of its formal review of City Plan, is considered to be an appropriate response to addressing general flood risks. On this matter, it is also worth acknowledging that Council's City Assets Group are currently overseeing compilation of new flood mapping for all of the City's mainland catchments. Once this body of work has been finalised, amendments to the FSTHO mapping in City Plan will be considered.

The other specific matters cited in the background information for the NoM (i.e. changes to flow paths, seepage and sedimentation) are considered where development is made assessable against the planning scheme, namely through provisions contained within the FSTHO and Healthy Waters codes. For example, the FSTHO code contains the following performance outcome:

<p><b>PO3</b></p> <p>Development does not change inundation characteristics outside the subject site in ways that result in:</p> <ol style="list-style-type: none"> <li>(1) Loss of flood storage;</li> <li>(2) Loss of or changes to flow paths;</li> <li>(3) Acceleration or retardation of flows;</li> <li>(4) Any reduction in flood warning times elsewhere on the floodplain;</li> <li>(5) Any other worsening of inundation impacts on other properties or public infrastructure.</li> </ol>	<p>No acceptable outcome is nominated.</p>
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As supporting information for the NoM, the author also provided officers with images and videos of flooding issues that had been experienced by a property owner in Thornlands. The flooding is understood to have occurred during a significant rainfall event following the completion of the development but prior to construction of any dwellings on the site. This specific matter was raised with representatives from the Engineering Assessment Team and Development Control, who confirmed that they had been involved in reviewing the flood impacts. In this instance, the underlying cause of the flooding was determined to be limited surface water bunding and blockages of the surface water pits within each of the new lots adjacent to the downstream property, which resulted in flooding impacts to the adjoining property. Subsequently, this issue



was addressed as a compliance matter (i.e. it did not result because of deficiencies in City Plan) and the developer was obliged to undertake rectification works to address the issue.

With regard to the proposal to establish a 200m buffer each side of creek lines for the purpose of flood protection, officers reiterate that no scientific rationale for this approach has been established. On this basis, the existing provisions within the FSTHO of City Plan are considered to be appropriate and do not require further amendment. Despite this, officers note that new and improved flood mapping is expected to be progressively incorporated into City Plan as Council refines and updates its mapping of flood affected areas.

*Officer analysis: (D. Development in flood prone areas & E. New development is causing flooding and water quality issues)*

Based on a more detailed review of provisions within the FSTHO code and Healthy Waters code, as well as feedback provided by the Engineering, Environmental and Planning Assessment Teams, strategic planning officers are satisfied that City Plan contains an appropriate regulatory framework to manage the impacts of flooding. Therefore, no amendments to City Plan are recommended.

F. Establishing wide corridors near core areas, free from edge effects, will enable native species to survive.

Council is currently exploring the possibility of establishing a regulatory framework to protect environmental corridors that exist between core habitats in urban parts of the City as part of a potential future major amendment, to reflect the policy intent of the Wildlife Connections Plan. This is considered to be the most appropriate mechanism for resolving any perceived deficiencies in relation to environmental corridor protection in City Plan. As such, no further amendments to City Plan are recommended.

**Part 1b: Evaluate the pros and cons of making reconfiguring a lot impact assessable where all land within the Recreation and Open Space zone is not proposed to be contained within a single lot.**

This section of the report evaluates the pros and cons of making Reconfiguring a Lot (RaL) impact assessable (see table below), where all land within the Recreation and Open Space (ROS) zone is not proposed to be contained within a single lot. To clarify, this amendment is not intended to apply where the RaL is being undertaken by Redland City Council.

Under the former Redlands Planning Scheme 2006 reconfiguration involving the creation of additional lots within the then Open Space zone triggered impact assessment. The level of assessment for reconfiguration within the current ROS zone was subsequently amended to code assessable with the commencement of the current City Plan in 2018. It is understood this change recognised that in some instances the ROS zone boundary may be inaccurate and limited encroachment into the zone may be justified once detailed site planning was undertaken. Where such situations occurred, based on the City Plan drafting principles of greater risk tolerance, a code assessment rather than impact assessment was considered appropriate. Similarly, in circumstances where more significant reconfiguration was proposed within the ROS zone the outcomes of the zone code and the bounded assessment against the relevant codes was considered to be potentially more effective in refusing such proposals than impact assessment, where the assessment of the RaL would be undertaken against the entirety of the planning scheme. It is also noted that no submissions were received in regards to the proposed level of assessment for reconfiguration within the ROS zone when the City Plan undertook statutory public consultation in 2015.

The pros and cons of making reconfiguring a lot impact assessable where all land within the Recreation and open space zone is not proposed to be contained within a single lot is summarised in the table below:

Pros	Cons
Impact assessable development must be publicly notified. This provides an opportunity for the community to make a submission on the development proposal.	Increases development assessment costs, due to the higher Council assessment fee and public notification requirements.
The increased uncertainty with regard to costs and risk may serve to discourage development proponents from creating additional lots in the ROS zoned part of the lot (i.e. in areas where the community would not reasonably expect for new lots to be created).	A submitter who makes a properly made submission is afforded third-party appeal rights to appeal the assessment manager's decision on the development application. This can increase the 'risks' associated with the development, by impacting on assessment timeframes and costs.
Greater consistency with the overall outcomes of the recreation and open space zone.	<p>Under the <i>Planning Act 2016</i>, development applications subject to code assessment can only be assessed against the applicable codes - this is known as 'bounded code assessment'. This means that other parts of the scheme, for example the strategic framework, cannot be used to determine an application. A bounded code assessment therefore provides a greater degree of certainty for developers and the community, as the assessment is against provisions within the relevant codes and there is a clear framework to determine if the development complies/doesn't comply.</p> <p>Conversely, impact assessment is a broader assessment of the development's suitability against the entirety of the planning scheme, including the strategic framework. This assessment category may provide less certainty with regard to the outcome of an application.</p>

Currently the City Plan approach to require code assessment for any proposal to reconfigure a lot that results in the creation of additional lots within the ROS zone ensures a streamlined assessment process (i.e. bounded code assessment), whereby limited encroachment into the zone may be reasonably approved while more significant reconfiguration proposals may be opposed. There is however opportunity to further strengthen the code to better protect ROS zoned land by more clearly expressing reconfiguration generally avoids further fragmentation of the land and seeks to avoid the creation of additional residential lots extending into the zone.

It is also noted, that as set out in the Table below, only a small number of R/L applications on split zoned properties have been lodged under the City Plan since its commencement in 2018. These applications have generally all involved minor encroachment in the ROS zone. To date, it is understood these applications have not created issues in the community, although it is understood that one of the applications in the list, located in Thornlands, provided a rationale for drafting the background information included in Part 1b of the NoM, which led to the Council resolution.

Address	Application	Zones
43-51 Kinross Road Thornlands QLD 4164	RAL18/0103.03	LDR/ROS
1-13 Beckwith Street Ormiston QLD 4160	RAL19/0087	LDR/ROS
124-134 Thornlands Road Thornlands QLD 4164	RAL20/0020	LDR/ROS
128-158 Dundas Street Ormiston QLD 4160	RAL20/0092	LDR/ROS
35-37 Valentine Road Birkdale QLD 4159	RAL20/0052	LMDR/ROS
521-523 Redland Bay Road Victoria Point QLD 4165	RAL19/0009	MDR/ROS
10 Colburn Avenue Victoria Point QLD 4165	RAL19/0062	MDR/ROS
27-35 Salisbury Street Redland Bay QLD 4165	RAL19/0069	MDR/ROS
449 Boundary Road Thornlands QLD 4164	RAL20/0076	MDR/ROS

**Note:** These applications have all been received since City Plan commenced on 8 October 2018.

While it is reasonable to consider whether the community should be afforded an opportunity to lodge submissions as part of an impact assessment process where a reconfiguration proposal involves the creation of additional lots within the Recreation and open space zone no significant issues have been identified to date in regards to the existing level of assessment. On this basis no changes to the assessment level for reconfiguration in the ROS zone are recommended. However it is considered appropriate to further strengthen the outcomes of the ROS zone to specifically recognise reconfiguration generally avoids further fragmentation of the land and seeks to avoid the creation of residential lots extending into the zone.

#### *Officer analysis*

Amendment option	Officer recommendation
1. Retain the existing provisions.	Do not retain the existing provisions.
2. Retain the RaLas code assessable in the Recreation and Open Space zone but insert additional provisions into the zone code outcomes recognising reconfiguration generally avoids further fragmentation of the land and seeks to avoid the creation of additional residential lots extending into the zone	Proceed with this amendment.
3. Within the tables of assessment for RaL, increase the level of assessment from code (by default) to impact assessment in the Recreation and Open Space zone, where all land within the Recreation and Open Space zone is not contained within one single lot. Also clarify that the current level of assessment remains unchanged where being undertaken by Redland City Council.	Do not change the provisions to increase the level of assessment for reconfiguration in the ROS zone from code to impact assessable

## STRATEGIC IMPLICATIONS

### Legislative Requirements

Should Council decide to proceed with a major amendment to City Plan, the prescribed process outlined under the *Minister's Guidelines and Rules* (MGR), a statutory document under the *Planning Act 2016*, will be followed.

### Risk Management

The risks involved have been discussed, where relevant, in the issues section. If Council decides to proceed with a major amendment to the planning scheme, mandatory public consultation requirements, undertaken in accordance with the MGR, will ensure the community is given the opportunity to provide feedback on any proposed changes.

**Financial**

If Council decides to proceed with a major amendment to City Plan, the work would be funded as part of the operating budget of the City Planning and Assessment Group.

**People**

The staff resourcing required to make any future amendments to City Plan amendment will be primarily drawn from the Strategic Planning Unit of Council's City Planning and Assessment Group. Future work will involve collaboration across Council including the Media, Communication & Engagement and GIS Teams.

**Environmental**

Environmental matters have been discussed, where relevant.

**Social**

Social matters have been discussed, where relevant.

**Human Rights**

There are no known human rights issues associated with this report.

**Alignment with Council's Policy and Plans**

The officer recommendation aligns with the Natural Environment and Liveable Neighbourhoods goals contained in Council's Corporate Plan: Our Future Redlands – A Corporate Plan to 2026 and Beyond. This includes managing waterway values and undertaking land use planning to sustainably manage growth and quality development in the city.

**CONSULTATION**

Consulted	Date	Comment
Representatives from the Engineering, Environment and Planning Assessment teams	11 June 2021	Discussed the efficacy of existing provisions within City Plan and identified potential amendments to be undertaken to address the issues raised.

**OPTIONS****Option One**

That Council resolves as follows:

1. To undertake amendments to City Plan in accordance with the officer analysis contained within this report.
2. To include the proposed amendments in the next general major amendment to City Plan.

**Option Two**

That Council resolves as follows:

1. To undertake amendments to City Plan as determined by Council.
2. To include the proposed amendments in the next general amendment to City Plan.

**Option Three**

That Council resolves not to undertake amendments to City Plan.

**OFFICER'S RECOMMENDATION**

**That Council resolves as follows:**

- 1. To undertake amendments to City Plan in accordance with the officer analysis contained within this report.**
- 2. To include the proposed amendments in the next general major amendment to City Plan.**

## GENERAL MEETING MINUTES

21 APRIL 2021

## 17.2 ASSESSMENT BENCHMARKS FOR ARTIFICIAL WATER BODIES

Objective Reference: A5328445

Attachments: Nil

In accordance with section 6.16 of *Council Meeting Standing Orders*, at the General Meeting scheduled for Wednesday, 21 April 2021, Cr Paul Gollè moved the motion as follows:

**COUNCIL RESOLUTION 2021/106**

Moved by: Cr Paul Gollè

Seconded by: Cr Paul Bishop

That Council resolves to request officers to undertake the following:

1. To prepare a report to Council by the end of July 2021 which:
  - a) Provides options and recommendations related to assessment benchmarks in the City Plan for artificial waterbodies and buffers to waterways (for the purposes of flood protection).
  - b) Evaluates the pros and cons of making reconfiguring a lot impact assessable where all land within the Recreation and Open Space zone is not proposed to be contained within a single lot.
2. To prepare a major amendment as part of the next general amendment package, pursuant to Part 4 of the Minister's Guideline's and Rules under the *Planning Act 2016*, if required, incorporating the proposed changes to City Plan as supported by Council.

**CARRIED 8/3**

Crs Wendy Boglary, Peter Mitchell, Paul Gollè, Lance Hewlett, Rowanne McKenzie, Tracey Huges, Adelia Berridge and Paul Bishop voted FOR the motion.

Crs Karen Williams, Mark Edwards and Julie Talty voted AGAINST the motion.

**BACKGROUND**Background for 1a

In former agricultural, now developed landscapes such as the Redlands, natural habitat is often only available in small, isolated patches or corridors consisting of dry creek lines, historic dams, wetlands, and riparian bushland.

These changing landscapes are unable to support their full complement of native plants and wildlife, and those that have survived may have trouble.

Many species of native animals are not migratory or nomadic and may have small territories requiring a mixture of bushland habitat and open grassland areas for feeding and protection, relying on manmade water bodies such as historic farm dams.

Other mammals such as the flying fox look for roosting sites along creek lines and dams and often the human interaction creates long term issues.

As residential development continues through the South East Queensland Regional Plan, corridor habitats are being deemed as creek line corridors, impacting native species habitation due to buffers only being 50 metres either side of the centre line of the water body.

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The long-term survival of native species depends on the movement of genes from one population to another over many generations. Where corridors are broken or freshwater bodies are impacted by back filling or the removal of established freshwater ecosystems such as historic farm dams, populations of native plants and animals (even those living in protected habitats) may become isolated and may eventually become inbred and this can lead to local or regional extinctions.

Natural re entrants in the Redlands, historically have been used to capture freshwater for livestock and irrigation through the construction of dams. However, as food production has departed, those historic freshwater dams now form large important ecological waterways complimenting wildlife corridors. Historic farm dams are often the only freshwater source available for native species as creek lines become impacted through drought and urban residential development.

Wildlife corridors consisting of creek lines and captured freshwater bodies to include re entrants shaped to catch fresh water, should be wider consisting of a buffer from centre of waterline 200 metres either side. Corridors should reflect 3 key elements, water, remnant bushland habitat and open grassed feeding areas. In general, the wider the corridor, or the larger the patch, the more resilient it will be, and the greater its habitat value, giving a wider range of species the chance of survival.

Establishing wide corridors in core areas free from edge effects will provide enough resources for native species to survive. Edge effects are described as the human interaction, which also consists of water flow from established dwellings washing into creek lines and freshwater dams, impacting water quality.

A recent ecological report provided by a developer and accepted by council in the justification of back filling natural wetlands to accommodate lots, footpaths and road networks suggested, the area was an old farm dam not connected to existing wetlands and a mosquito infested breeding ground for cane toads, justifying the action to back fill the area.

This was not factual, and the existence of many varied species of birdlife and mammals are present, with the dividing line between councils managed wetlands and the alleged farm dam, being a barbwire fence line, dividing private and council ownership.

The water body is in fact one continuous area flowing down into the bay, fed naturally by existing creek lines and overland flow forming a riparian corridor. The creek line and main water body is approximately 25 metres or less from existing urban residential structures and has areas already experiencing subsidence.

Some residents living in that area, have expressed concerns over subsidence as residential yards begin to sink. Put simply, subsidence is the downward shifting of the ground. If a structural engineer tells you your home is suffering from subsidence, what they are really telling you is that your home is sinking. Many of the homes in that area have been raised through back filling and retaining walls, creating an artificial means of levelling an area away from natural water flow areas, to create building lots. However, this has not prevented water impacts to streets and homes.

A report regarding the 2011 floods drafted by Macquarie University stated, the fundamental question that needs addressing is not the insurability of flood risk, but how best to deal with the legacy of poor land-use planning decisions that has left some homeowners in locations now designated as high risk. Development in low-lying areas, for example, has occurred despite the history of flooding and has resulted in large concentrations of properties being left exposed.



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How to reduce this exposure to flooding should be the key policy objective. Flood risk management should aim to reduce a community's flood risk to acceptable levels, either by reducing exposure to flooding by prudent land-use planning, or by reducing the vulnerability of people and property to flooding. The authors believe that nothing will change until local councils are held accountable for bad land-use planning decisions.

Insurance is not an alternative to risk management; it is a means of transferring the residual risk once risk management measures have been put in place. To actively contribute to flood risk management, insurance must act to reduce the number of homes at risk. The only mechanism available is to ensure and thereby encourage homeowners and local councils to undertake appropriate mitigation efforts and enact risk-informed land-use planning practices.

Development must either be prevented or allowed only in a flood-resilient manner. A recent study of publicly available flood risk information on local government websites identified that less than 50% of local councils provide flood risk information. Of those with a recognised flood risk, only 67% provided flood maps online.

Wetlands in Australia, more locally in the Redlands help to improve water quality supplied to downstream environments in several ways. By spreading out and slowing down flows they reduce erosion and prevent sediment being transported downstream where it might affect the ecology and productivity of other environments, in particular estuaries, seagrasses, and the bay.

When wetlands, dams and creek lines are preserved and healthy, their soils and vegetation can capture, process and store nutrients and/or contaminants, and if the natural rhythms and flows of the wetland are undisturbed, the release of potential stressors such as sediments, nutrients, acids and/or metals from the soil and urban development can be prevented. Healthy wetlands can assist in removing harmful bacteria, and wetlands can also be important in the management of urban stormwater and effluent by improving the removal of nutrients, suspended material, and pathogens from water prior to its return to the environment.

Wetlands, historic farm dams and riparian corridors in the Redlands are threatened by earthworks where developers have been allowed to back fill natural overland flow paths, drastically changing the landscape. Drainage and water extraction from urban development are all activities which now pose threats to private properties through flooding, further impacting wildlife corridors, depleting, and changing natural overland flows.

Far from being useless, disease-ridden places, wetlands, historic farm dams and natural creek lines provide values that no other ecosystem can. These include natural water quality improvement, flood protection, shoreline erosion control, wildlife habitat and opportunities for recreation and aesthetic appreciation.

More importantly these freshwater areas, consisting of overland flow, offer life to an already stressed range of native species.

**Background for 1b**

Currently in City Plan, the level of assessment for Reconfiguring a Lot (RaL) on a property containing a split zone such as the Recreation and Open Space (ROS)/ Low Density Residential (LDR) is code assessable. In line with the amendment implemented as part of Minor Amendment Package 01/2014 to the former Redland Planning Scheme 2006 (attached), this amendment seeks for the level of assessment to be increased to impact assessment where land within the ROS zone is not proposed to be contained within a single lot.

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The reason for considering this amendment is two-fold. Firstly, the level of assessment would serve to discourage a private landowner from creating additional lots in the Recreation and Open Space Zoned portion of the lot. Secondly, where an applicant did propose to create lots in the Recreation and Open Space Zoned part of the lot (i.e. in areas where the community would not reasonably expect for new lots to be created), the community would be given the opportunity to make submissions that would be considered as part of the development assessment process. This amendment is not intended to apply where the RaL is being undertaken by Redland City Council.

**15      REPORTS FROM INFRASTRUCTURE & OPERATIONS**

Nil

## **16 NOTICES OF INTENTION TO REPEAL OR AMEND A RESOLUTION**

In accordance with s.262 *Local Government Regulation 2012*.

**17 NOTICES OF MOTION****17.1 NOTICE OF MOTION CR WENDY BOGLARY - PURCHASE OF LAND AT WELLINGTON POINT****Objective Reference:** A5516356**Attachments:** Nil

In accordance with section 6.16 of *Council Meeting Standing Orders*, Cr Wendy Boglary intends to move the motion as follows:

**MOTION**

**That Council investigates the purchase of land at Wellington Point.**

**BACKGROUND**

The background around this matter is considered to be confidential under Section 254J(3)(g) of the *Local Government Regulation 2012*, and the Council is satisfied that discussion of this matter in an open meeting would, on balance, be contrary to the public interest as it deals with negotiations relating to a commercial matter involving the local government for which a public discussion would be likely to prejudice the interests of the local government.

## 18 URGENT BUSINESS WITHOUT NOTICE

In accordance with s.6.17 of Council Meeting Standing Orders, a Councillor may bring forward an item of urgent business if the meeting resolves that the matter is urgent.

<b>Urgent Business Checklist</b>	<b>YES</b>	<b>NO</b>
To achieve an outcome, does this matter have to be dealt with at a general meeting of Council?		
Does this matter require a decision that only Council make?		
Can the matter wait to be placed on the agenda for the next Council Meeting?		
Is it in the public interest to raise this matter at this meeting?		
Can the matter be dealt with administratively?		
If the matter relates to a request for information, has the request been made to the CEO or a General Manager Previously?		

## 19 CONFIDENTIAL ITEMS

### COUNCIL MOTION

That Council considers the confidential report(s) listed below in a meeting closed to the public in accordance with Section 254J of the *Local Government Regulation 2012*:

#### 19.1 Commercial Lease Renewal

This matter is considered to be confidential under Section 254J(3)(g) of the *Local Government Regulation 2012*, and the Council is satisfied that discussion of this matter in an open meeting would, on balance, be contrary to the public interest as it deals with negotiations relating to a commercial matter involving the local government for which a public discussion would be likely to prejudice the interests of the local government.

#### Overview

To recommend that Council approve the disposal of land or an interest in land under the Local Government Regulation 2012, for the purposes of renewing an existing lease.

#### 19.2 Sutgold Pty Ltd V Redland City Council (Planning and Environment Court Appeal 39/2021 and 1612/20)

This matter is considered to be confidential under Section 254J(3)(e) of the *Local Government Regulation 2012*, and the Council is satisfied that discussion of this matter in an open meeting would, on balance, be contrary to the public interest as it deals with legal advice obtained by the local government or legal proceedings involving the local government including, for example, legal proceedings that may be taken by or against the local government.

#### Overview

To provide Council with an update in the matters of Sutgold Pty Ltd (Sutgold) v Redland City Council (Council) (Planning & Environment Court Appeals 39/2021 and 1612/20) and set out the relevant information to enable Council to consider its position on the appeal.



## **20 MEETING CLOSURE**